

**AGENDA**  
**VILLAGE OF PLEASANT PRAIRIE**  
**PLEASANT PRAIRIE VILLAGE BOARD**  
**PLEASANT PRAIRIE WATER UTILITY**  
**PLEASANT PRAIRIE SEWER UTILITY**  
**Village Hall Auditorium**  
**9915 – 39<sup>th</sup> Avenue**  
**Pleasant Prairie, WI**  
**November 19, 2012**  
**6:00 p.m.**

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Minutes of Meetings – November 5, 2012
5. Public Hearings
  - A. Consider appeal of Claude Jensen of vicious dog determination.
  - B. Proposed 2013 General Fund, Clean Water Utility, Fleet Internal Service Fund and Solid Waste Utility budgets.
    - 1) Citizen Comments.
    - 2) Closing of Budget Hearing.
    - 3) Board of Trustee Comments.
    - 4) Resolution #12-39 relating to Adoption of 2013 Budget and Property Tax Levy including Capital, Debt Service and other funds of the Village budget.
    - 5) Resolution #12-41 relating to the adoption of the 2013 Clean Water Utility Budget.
    - 6) Resolution #12-42 relating to the adoption of the 2013 Fleet Internal Service Fund Budget.
    - 7) Resolution #12-43 relating to the adoption of the 2013 Solid Waste Utility Budget.
6. Citizen Comments (Please be advised per State Statute Section 19.84(2), information will be received from the public and there may be limited discussion on the information received. However, no action will be taken under public comments.)
7. Administrator's Report

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8. New Business

- A. Receive Plan Commission recommendation and consider the Settlement Agreement between the Village of Pleasant Prairie and VIDHYA Corp, VIII, Inc. for the BP Amoco located at 10477 120th Avenue related to the remedial activities and conditions to correct the illicit discharges at the property.
- B. Receive Plan Commission recommendation and consider Ordinance #12-40 to amend the BP-Amoco Planned Unit Development Ord. No. 01-32 to reflect the proposed new site conditions and business operations of the BP Amoco gasoline station and AM/PM convenience store located at 10477 120th Avenue.
- C. Receive Plan Commission recommendation and consider a Digital Security Imaging System Agreement and associated Access Easement for the BP Amoco gasoline station and AM/PM convenience store located at 10477 120th Avenue.
- D. Consider renewal of the Class "A" Fermented Malt Beverage license for BP AM/PM located at 10477 120<sup>th</sup> Avenue.
- E. Receive Plan Commission and consider Ordinance #12-39 to amend Section 420-48 L of the Village Zoning ordinance related to parking area setbacks.
- F. Consider Resolution #12-38 to initiate the discontinuance of a portion of 93<sup>rd</sup> Street between Lakeshore Drive and 3<sup>rd</sup> Avenue within the Carol Beach Estates Unit 5A Subdivision.
- G. Consider award of contract for the Cooper Road Sewer Rehabilitation project from 76<sup>th</sup> and 81<sup>st</sup> Streets.
- H. Consider Resolution #12-44 authorizing the placing of utilities and special charges on the tax roll.
- I. Consider Ordinance #12-41 to amend Chapter 23 of the Municipal Code relating to worthless payment charges and overpayments.
- J. Consider Ordinance #12-42 to amend Chapter 30 of the Municipal Code relating to Municipal Court.
- K. Consent Agenda (All items listed under the Consent Agenda are considered routine and will be enacted by one motion. There will be no separate discussion of these items unless a Board member so requests, in which event the item will be removed from the General Order of Business and considered at this point on the agenda.)
  - 1) Approve a draw on the Whispering Knolls development letter of credit.
  - 2) Approve the request of William and Catherine Wamboldt for a Lot Line Adjustment between 11934 28<sup>th</sup> Avenue and 11904 28<sup>th</sup> Avenue.

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- 3) Approve the request of Fair Oaks Farms and Central Storage Warehouse located at 7600 and 7800 95<sup>th</sup> Street, respectively, for a Certified Survey Map to adjust the lot lines and to dedicate a shared fire lane access easement.
- 4) Approve a Christmas Tree License for DG Hardware, 4523 75<sup>th</sup> Street.
- 5) Approve a disallowance of the claim filed by Patricia Carrier for injuries sustained June 5, 2012 at the RecPlex.

9. Village Board Comments

10. Adjournment.

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 – 39<sup>th</sup> Avenue, Pleasant Prairie, WI (262) 694-1400

**VILLAGE OF PLEASANT PRAIRIE  
PLEASANT PRAIRIE VILLAGE BOARD  
PLEASANT PRAIRIE WATER UTILITY  
PLEASANT PRAIRIE SEWER UTILITY  
9915 - 39th Avenue  
Pleasant Prairie, WI  
November 5, 2012  
6:00 p.m.**

A regular meeting of the Pleasant Prairie Village Board was held on Monday, November 5, 2012. Meeting called to order at 6:00 p.m. Present were Village Board members John Steinbrink, Monica Yuhas, Steve Kumorkiewicz, Clyde Allen and Mike Serpe. Also present were Michael Pollocoff, Village Administrator; Tom Shircel, Assistant Administrator; Jean Werbie-Harris, Community Development Director; Dave Mogensen, Interim Police Chief; John Steinbrink Jr., Public Works Director; Kathy Goessl, Finance Director; Mike Spence, Village Engineer; and Vesna Savic, Secretary. One citizen attended the meeting.

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. MINUTES OF MEETINGS - OCTOBER 1 AND 15, 2012**

Monica Yuhas:

Motion to approve.

Steve Kumorkiewicz:

Second.

John Steinbrink:

Motion by Monica, second by Steve. Any additions, corrections?

**YUHAS MOVED TO APPROVE THE MINUTES OF THE VILLAGE BOARD MEETINGS OF OCTOBER 1 AND OCTOBER 15, 2012 AS PRESENTED IN THEIR WRITTEN FORM; SECONDED BY KUMORKIEWICZ; MOTION CARRIED 5-0.**

- 5. CITIZEN COMMENTS**

Vesna Savic:

No signups.

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John Steinbrink:

Anybody wishing to speak under citizens' comments?

## **6. ADMINISTRATOR'S REPORT**

Mike Pollocoff:

Mr. President, I have one thing I'd like to report on. As you know last week we received an alert from the National Weather Service for 18 foot waves at the shoreline on Lake Michigan. This was the result of the hurricane on the east coast. We got the report at basically 1:45 p.m. that it was going to be happening the next morning, early in the morning into the early morning. I really want the Board to know a number of things went well. The best things that went well is the department heads came together. We put together an action plan inside of two and a half hours to do a number of things. One was to advise the residents that they should consider evaluation. We didn't want to do a mandatory order. Public Works put together a plan to quickly secure sand bags, and they used work release, people from Kenosha County which did get a lot of publicity as well it should because it really was a big effort.

But we also had a plan to bring in materials, rocks, to stabilize the road because we knew with an 18 foot wave a good section of Lakeshore Drive would be gone. Besides getting equipment placed in locations as the storm started to recede we'd be able to open up the channels and have that ready. The Police Department did an excellent job of getting the word out. They notified everybody from 95<sup>th</sup> Street down to the State Line, from the lake to 4<sup>th</sup> Avenue in I think it was just inside of four hours. That's pretty good. When you think when you knock on the door there's going to be somebody who is going to have questions, somebody is going to say thanks for doing it, there's people saying you're crazy, none of that is going to happen. I mean there's always going to be some conversation that occurs at the door.

The Fire Department, Doug had both stations staffed in order to be able to respond to the aftermath. Because everything had to be put in place. Chris Lopour had the press releases and the announcements going out as quick as possible. We went into EOC the next morning, and everything was in place for it to happen. Luckily the storm was far enough south from us that as it curled it started to bring the winds instead of hitting us from the straight from the east it started coming in from the northwest. So it was moving the waters out. We had some water go over the breakwaters down by the marina and the state line, the warning was greater as you went towards Chicago from here.

We've had in 1986 a storm of 12 to 14 feet hit the Lake Michigan shoreline, and we lost large sections of Lakeshore Drive. There were a couple of houses that went in. Significant damage was done up and down the coast. And then in the intervening period the Village put a lot of shoreline protection in along Lakeshore Drive. We implemented that program to allow residents to buy concrete from the Village that we acquired from Illinois when they rebuilt their highway system. There's a lot of private shore protection that was beefed up. And we did it as a project where they paid the Village a special assessment for the price of trucking the material and getting

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it in place. So when I look back there were a lot of things that happened previously that helped us. And the other thing that helped us was the lake level had gone down.

But, nonetheless, 18 feet at the shoreline we would have sustained serious damage. So John, Jr. put out a call for volunteers to help fill the bags. I've got a list of 25 volunteers that helped us. There were some that wouldn't give their names. Guys across the street at the bank put t-shirts on in their dress shoes and slacks that were down there filling up sand bags. A lot of people just showed up. So it was nice to see the community come behind us and help where they good. So, again, I couldn't have been more proud of the department heads for pulling everything together. Mike Spence he was studying elevations for the storm surge on the fly, and I mean on the fly, to get this thing put together.

It was a good exercise. Thank God it didn't happen, but it gave us a chance for us to drill under serious stress to put something together and to get the EOC and some of the guys who haven't been at EOC because we really haven't had a good EOC drill in quite a while. Tom Shircel and Mike and I hadn't been at one in quite a while either to get that done. So I think one thing I can report to you is I think the Village staff and our people and our resources that we've acquired over the year has really put us in a good condition. And hopefully we don't see one of these again for another 20 years.

Michael Serpe:

I'd like to comment on this while we're on this subject. I couldn't be more proud of what I witnessed myself. And one thing that did bother me about the whole incident was I saw a resident from Carol Beach being interviewed on Channel 6, and his statement was they over-reacted, and my blood pressure probably went through the roof. Here's a Public Works Department, a Village that comes together, a whole bunch of volunteers that are going down there to work for the benefit of the property owners that are in Carol Beach south of 95<sup>th</sup> Street, and this guy's got to say we over-reacted, that we responded to the notice from the U.S. Weather Service that these waves are going to hit. And, John, you and everybody involved responded appropriately. Had that notice come through and no action was taken and the waves hit, I wonder what this guy's statement would have been then? I wish there was a pill for diarrhea of the mouth.

John Steinbrink:

Okay, anything else, Mike?

Mike Pollocoff:

No.

John Steinbrink:

Alright, thank you. Clyde?

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Clyde Allen:

I want to comment just further on Mike. Very well orchestrated. I couldn't have been more proud to see everybody pull together the way they did, whether it be department heads, public works crew, police, fire, everybody just pulled together. The volunteers were simply amazing. So thank you to everybody out there and Chase for sending the eight people out there that went out there. Thanks again.

Steve Kumorkiewicz:

Mike and John I think that you [inaudible] to the Village residents. You know how to react to the conditions [inaudible]. Your response to the emergency, your organization to put the plan into effect. I got an opportunity to go and stay, watch what they were doing on Tuesday morning, and I was amazed that we got inmates from the Correctional Center. There was some people here in the Village. I was surprised they were there, but they were working shoulder to shoulder with the crews. And so anybody [inaudible] the same person that I hear from them [inaudible] by the beach Monday night. Thank you because you two guys make sure the Village is ready for any situation that can come up. Together with the Police Department, Fire Department, Public Works, everybody involved thank you all of you.

## 7. NEW BUSINESS

- A. **Consider Resolution #12-37 - Initial Resolution regarding Midwestern Disaster Area Revenue Bond Financing for Central Storage & Warehouse Company. Information with respect to the job impact of the project will be available at the time of consideration of the Initial Resolution.**

Mike Pollocoff:

Well, this is a bond that it's an initial resolution regarding the disaster area revenue bond financing for Central Storage & Warehouse. Now, it's not a disaster. That was a part of the funding package that was put together with those RIBs. In this resolution we're declaring our intent that we would issue those revenue bonds in that the bonds do not constitute a financial obligation to the Village. The Village is not at risk with these. What it does in essence is puts and provides our tax exempt status for the Central Storage to buy the equipment they're going to need to do it. They need to enter into an agreement with someone to purchase those bonds, market them and everything, and the Village reviews those documents, and they compensate the Village for our attorney's time to do it. It's a good program. It's one of the few programs we can do. This round of financing through the disaster fund and that's connected to it is probably almost done. So I'd recommend that the Village Board adopt the initial resolution and do some resolution for these bonds.

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Steve Kumorkiewicz:

I've got a question for Mike. Mike, do these types of bonds that we see right here is the first time that we're dealing as I remember with this particular type because that's part of the stimulus plan, right?

Mike Pollocoff:

No.

Steve Kumorkiewicz:

That was created in 2009?

Mike Pollocoff:

No. No, in the Midwest there was major flooding in 2008. And in that ominous bill that funded the rehabilitation for the areas that were flooded, that FEMA assistance gave money, they had also provided additional funds as an amendment to the bill that was attached to it which is aid. Now, they have to the extent that there was not that much financial damage, they have taken money from what was originally disaster assistance and used it for this. But it was prior to the financial collapse. It was prior to that.

Steve Kumorkiewicz:

Okay, you're right.

Clyde Allen:

Mike, does this go against our maximum allowable debt?

Mike Pollocoff:

Nope, it's not counted as an indebtedness of the Village at all.

Clyde Allen:

Okay, thank you.

Monica Yuhas:

Motion to approve Resolution 12-37.

Clyde Allen:

Second.



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John Steinbrink:

Motion by Monica, second by Clyde. This calls for a roll call vote. Any further discussion on this item?

**YUHAS MOVED TO ADOPT Resolution #12-37 - Initial Resolution regarding Midwestern Disaster Area Revenue Bond Financing for Central Storage & Warehouse Company. Information with respect to the job impact of the project will be available at the time of consideration of the Initial Resolution; SECONDED BY ALLEN; ROLL CALL VOTE – STEINBRINK – YES; YUHAS – YES; KUMORKIEWICZ – YES; ALLEN – YES; SERPE – YES; MOTION CARRIED 5-0.**

**B. Consider renewal of the Class “A” Fermented Malt Beverage license for BP AM/PM located at 10477 120<sup>th</sup> Avenue.**

Mike Pollocoff:

Mr. President, this item is still being considered. The Plan Commission is going to be conducted a hearing, a continuation of the hearing, on November 12<sup>th</sup>. Staff may be recommending denial at that hearing, and as such the liquor license would be one of the issues. But with that being said I'm recommending that this license be renewed from a period from November 6, 2012 through November 20, 2012.

Michael Serpe:

You say there's a time frame [inaudible] successful negotiation [inaudible].

Mike Pollocoff:

We're not anywhere really. The staff could be bringing a recommendation to --

Michael Serpe:

So this could come back for renewal again after November 20<sup>th</sup>, right?

Mike Pollocoff:

It could, but right now there's an environmental problem out there. The problems haven't been resolved. We have significant items we're waiting on. Short of hearing [inaudible] resolution on this as it is the staff is going to be recommending that the permit be suspended.

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Michael Serpe:

Just a question. Let's say it takes another three months for this thing to come to a resolution on the environmentalists and they're successful on cleaning it up, we're probably going to issue that license as normal?

Mike Pollocoff:

Well, if they were to complete their plans and complete the things that they said that they would complete, we would have a consent decree that we could agree on which would have stipulations and fines and some action that the Village could take. But we're not even at that point yet. So if we had the consent document put together that said what was going to happen, then we could say we'll extend through the end of the year. Because you don't perform on the consent decree then everything is gone and they will have agreed to that. We can't get to the point where we have enough information to put a consent decree together.

Michael Serpe:

And we're lacking that information because of their furnishing or lack of furnishing.

Mike Pollocoff:

We don't have it.

Michael Serpe:

Then why would we even --

Mike Pollocoff:

Because if we don't do this we'd have to have a revocation hearing.

Michael Serpe:

Okay.

Mike Pollocoff:

That's the trick box we're in on that. Because once they have it we can't take it unless they cease to exist and then we would have to go through that process.

Michael Serpe:

I'll go for the approval of the license through November 20<sup>th</sup> you said?

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Mike Pollocoff:

Right.

Michael Serpe:

And I will say this, if there's no action between now and then I think we should discuss the possibility of revocation and let them know that we're talking about that.

Mike Pollocoff:

Okay.

Clyde Allen:

Second.

John Steinbrink:

Motion by Mike, second by Clyde. Any further discussion?

**SERPE MOVED TO CONCUR WITH STAFF'S RECOMMENDATION AND RENEW THE CLASS "A" FERMENTED MALT BEVERAGE LICENSE FOR BP AM/PM LOCATED AT 10477 120<sup>TH</sup> AVENUE FROM NOVEMBER 6 THRU NOVEMBER 20, 2012; SECONDED BY ALLEN; MOTION CARRIED 5-0.**

**C. Receive resignation of Robert Ramsdell as a member of the Police and Fire Commission.**

Mike Pollocoff:

Mr. Chairman, as you can see we have this letter from Bob resigning his position with the Police and Fire Commission. Bob has been an excellent member of that Commission. I've been here almost 28 and he was here 10 or 15 before me. So I think he's put his time in. We've got to let him go if he wants to go. So I'd recommend that we accept his resignation and thank him for his service and that we begin the process to locate a replacement.

Michael Serpe:

I served with Bob for a couple years, '87 and '88 on the Commission, and quiet person, nice person, and he listens to everything and he makes the right decisions. I wish him well in his retirement from the Commission. I imagine he considered that probably his full-time job forever. So I would move to accept his resignation and wish him well.

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Steve Kumorkiewicz:

Second.

John Steinbrink:

Motion by Mike, second by Steve for acceptance of Robert Ramsdell's resignation. Any further discussion?

**SERPE MOVED TO ACCEPT THE RESIGNATION OF ROBERT RAMSDELL AS A MEMBER OF THE POLICE AND FIRE COMMISSION; SECONDED BY KUMORKIEWICZ; MOTION CARRIED 5-0.**

**D. Consider Operator License applications on file.**

Mike Pollocoff:

Mr. President, we have one we're recommending for approval, Sharon Jeschke through June 30, 2014. And we have one we're recommending not be granted a license, Mr. Matt Haupt who had submitted a license application, and he has not completed it completely or honestly, and he had additional civil and criminal convictions in the past five years. We requested information to be exposed and he didn't. For that reason Chief Mogensen is requesting that the license be denied at this time.

Clyde Allen:

I'll make a motion to approve the Jeschke license and to deny the Haupt license.

Michael Serpe:

Second.

John Steinbrink:

Motion by Clyde, second by Mike. Any further discussion?

**ALLEN MOVED TO APPROVE THE OPERATOR LICENSE FOR SHARON JESCHKE THROUGH JUNE 30, 2014 AND TO DENY THE OPERATOR LICENSE TO MATT HAUPT BASED ON INTERIM POLICE CHIEF DAVE MOGENSEN'S RECOMMENDATION AS THE APPLICANT DOES NOT MEET THE QUALIFICATIONS SET FORTH BY ORDINANCE; SECONDED BY SERPEL MOTION CARRIED 5-0.**

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## **8. VILLAGE BOARD COMMENTS**

Michael Serpe:

I have a comment. Who's older, you or Mike? Okay, by a long shot. You look older, too, and you act older, too. Happy birthday to Clyde Allen and Mike Pollocoff?

Mike Pollocoff:

Thank you.

Steve Kumorkiewicz:

Happy birthday, both of you.

John Steinbrink:

I just want to add what we ended up with was an exercise that went very well. I know Monica didn't get to participate. She has just about every badge for doing something around the Village. But I did see she was down there and had a little scooper shovel, a pail and an old handbag and she kept filling and emptying that. I just about want to give her the badge anyway.

Clyde Allen:

I just want to comment that Saturday evening was an absolutely wonderful, successful evening again with the Fire & Rescue Steak by Fire. Everybody I talked to had a great time. The food was great thank you to our chef, Chef Serpe, and Chef David was there helping out. But as usual great event, great turnout, and everybody went away very full that I talked to. So they all had a good time. Thank you very much again. Big success.

Mike Pollocoff:

We have one more announcement, too. One of our Trustees has been given a great honor in the State. Monica has been placed and selected to be a member of the Board of Directors for the League of Wisconsin Municipalities. And that is a high honor for somebody who is serious about their business and has exhibited how serious she is and knowledgeable. So the last person that had that kind of honor was Roger Prange.

John Steinbrink:

And she even comes with her own whammy, so it works pretty good.

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Michael Serpe:

I have a question I have to ask. You've worked with the Fire Department, you've worked with the Police Department, you've worked with Public Works. Are you now going to sit in the Governor's seat for a day?

Monica Yuhas:

Probably not. But I would like to thank everyone up here as far as President Steinbrink, Trustee Serpe, Trustee Allen, Trustee Kumorkiewicz, Administrator Mike Pollocoff. When I decided to run for office I came in as green as they come. And in the last six years I've learned a tremendous amount from everyone up here. And everyone's always available to answer questions and give guidance, and that's very important. But also to the department heads and to the staff and to the employees. I've learned so much in the last six years, and I wouldn't have that knowledge if it wasn't for you having that open door and letting me come in and spend time in your departments. And I'm hoping to take what I've learned and bring that to the League. And then also take what I learn at the League and bring it back. I'm looking forward to it, and I thank everyone for your support and your continuing effort to make us better as elected officials because it's always there. So than you all very much.

Michael Serpe:

Well deserved, Monica.

Monica Yuhas:

Thank you.

John Steinbrink:

I think you're going to lower the median age by, what, 40 years, Mike?

Mike Pollocoff:

Yeah.

Monica Yuhas:

Probably.

John Steinbrink:

But it is a good honor and you deserve that. And you've really shown what you can do and what you can absorb, and there's a lot to absorb in this job. Congratulations.

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Monica Yuhas:

Thank you, Mr. President.

John Steinbrink:

Anything else under Village Board comments?

**9. ADJOURNMENT**

**ALLEN MOVED TO ADJOURN THE MEETING; SECONDED BY SERPE; MOTION CARRIED 5-0 AND MEETING ADJOURNED AT 6:28 P.M.**



*Deputy Chief David Mogensen  
Interim Chief of Police*

**October 25, 2012**

Mr. Claude A. Jensen  
12000 44<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

Dear Mr. Jensen,

I am writing regarding a dog bite incident which occurred at your residence during the evening hours on October 17, 2012. A seven year-old boy was bitten on the face by your female pitbull mix named Chloe. The boy required emergency care and received approximately two-dozen stitches for injuries to his eye socket, cheek, and chin. Because of this incident I am compelled to take the action specified below.

In accordance with section 119-4(D)(2) of the Village of Pleasant Prairie Code I am deeming your dog, Chloe, to be vicious and as such will be humanely destroyed.

You have the option to request a special hearing before the Village Board for a determination as to whether or not the dog is vicious as defined in the Village of Pleasant Prairie Code. You will have twenty (20) days from the date of the mailing or personal delivery of this notice to request such hearing by filing a written request with the Village Clerk. If you do request a hearing it will be scheduled within not less than 10 nor more than 30 days of the date the written request is received by the Village Clerk. In such event, upon request, the Police Chief shall, within 10 days, provide you with a written list of facts upon which the determination was made to deem the dog vicious.

If you do not request a hearing before the Village Board, or do not request permission to remove the dog from the Village in accordance with section 119-2E of the Village of Pleasant Prairie Code, the dog will be forthwith



humanely destroyed at your expense. Your nonresponse to this notice shall be deemed conclusive evidence that the dog is in fact vicious, and the dog will be forthwith humanely destroyed at your expense.

Your dog is currently impounded at your cost at the Kenosha County Humane Society and will remain impounded until a determination is made by the Village Board that the dog is in fact not vicious. You also have the option of removing the dog from the Village in accordance with Section 119-2E of the Village Code, which states:

**E. Sale or transfer of animal determined to be vicious.**

**(1)** No person may sell or transfer possession of a vicious animal to another person or entity without first notifying the person to whom the vicious animal is being sold or transferred, in writing, of the fact that such animal has been licensed as a vicious dog or has been found to be a vicious animal by the Village Board. Said owner shall further advise the transferee of the requirements of the applicable Pleasant Prairie Village ordinances if the animal is to be kept or housed within the Village of Pleasant Prairie.

**(2)** No person may sell or transfer possession of a dog licensed as a vicious dog or found by the Village Board of Pleasant Prairie to be vicious, or presumptively found to be vicious by the owner's or keeper's failure to request a hearing by the Village Board, to another person or entity without first notifying the Village Clerk thereof in writing at least five days in advance of the sale or transfer of possession, which notice shall include the transferee's name, address and municipality and where said transferee intends to keep the vicious animal. Within five days of the receipt of the transfer notice, the Village Clerk shall mail a notice to the clerk of the municipality wherein said vicious dog is to be transferred advising said clerk of the fact that the dog has been licensed as or found to be a vicious animal by the Village Board of Pleasant Prairie and that the dog is being moved to that particular municipality.

This is an unfortunate situation for everyone involved so I want to make sure this goes as smoothly as possible to avoid undue hardship as we go through this process. Please contact me after reviewing this notice so that we can discuss how you wish to proceed.

Sincerely,

-----  
*David Mogensen*  
*Interim Chief of Police*


COPY

10/29/2012

TO WHOM IT MAY CONCERN :

I CLAUDE JENSEN OF 12000 44<sup>TH</sup> AVE  
PLEASANT PRAIRIE WI WISH TO REQUEST  
A SPECIAL HEARING BEFORE THE VILLAGE  
BOARD IN REGARDS TO MY DOG BITE  
INCIDENT WHICH OCCURED ON OCT. 17, 2012  
IN WHICH A 7 YEAR OLD HAD GOTTEN BITE  
BY MY DOG CHLOE. MY DOG HAS BEEN  
IMPOUNDED FOR REVIEW AND THEY CAME  
TO A CONCLUSION THAT SHE IS INDEED  
NOT VICIOUS. I BELIEVE THIS WAS A  
UNFORTUNATE SITUATION AND WOULD ASK  
FOR THE VILLAGE TO LET ME TAKE BACK  
MY DOG. THIS HAPPENED AT MY RESIDENCE  
SHE WASN'T ON THE LOOSE. THANK YOU.

SINCERELY,

  
CLAUDE JENSEN

RECEIVED

OCT 30 2012

PLEASANT PRAIRIE



Office of the Village Clerk  
**Jane M. Romanowski**

NOTICE OF HEARING  
RE: VICIOUS DOG DETERMINATION

Mr. Claude A. Jensen  
12000 44<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

Mr. Jensen:

**PLEASE TAKE NOTICE** that pursuant to your request, a hearing will be held before the Village Board of Trustees on November 19, 2012 at a regular board meeting starting at 6:00 p.m. in the auditorium at the Village Hall, 9915 39<sup>th</sup> Avenue, Pleasant Prairie, Wisconsin.

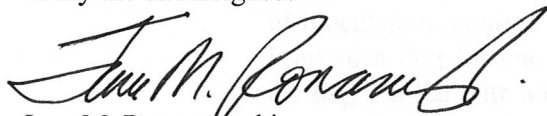
The purpose of this hearing will be to determine whether or not your dog is a vicious animal and if it is, should it be destroyed in conformity with Section 119-4(D)(2) of the Pleasant Prairie Municipal Code.

1. You have the right to be represented by counsel.
2. You will have the right to call any witnesses.
3. You may cross examine any witnesses presented by the Village of Pleasant Prairie.

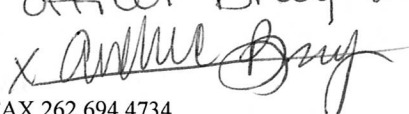
All testimony will be given under oath. If there are witnesses which you wish to attend the hearing but cannot obtain their voluntary appearance, we will issue subpoenas for the attendance of those witnesses, and we will arrange to have the Police Department of the Village of Pleasant Prairie serve those subpoenas.

"It will be the duty of the Village of Pleasant Prairie at the time of the hearing to prove that the dog is a vicious animal as defined in Section 119-4(D)(2) of the ordinance. Accordingly, the Village of Pleasant Prairie will offer its evidence to the Village Board first. However, please be aware that a determination by the Police Chief that a dog has bitten, attacked or injured any person shall constitute a *prima facie* showing that such dog is vicious. You will then be permitted to present any evidence or call any witnesses in an attempt to rebut the *prima facie* showing that such dog is vicious."

A copy of the entire ordinance is attached your reference. If there is any reason why this date is inconvenient, please notify the undersigned.

  
Jane M. Romanowski  
Village Clerk

cc: Village Board of Trustees  
David Mogensen, Interim Police Chief

Served:  
Notice delivered to  
Claude A Jensen (ID by ILDC)  
on 11/15/12 at 00:39 am  
by Officer Brey #171  
x 

## Chapter 119

### ANIMALS

#### ARTICLE I Dog Licensing and Regulation

§ 119-1. License procedure; rabies control.

§ 119-2. License for vicious dog.

§ 119-3. License for wolf hybrid animal.

§ 119-4. Regulation of dogs.

§ 119-5. Requirements relating to wolf-dog hybrids.

§ 119-6. Confinement and disposition of dogs.

§ 119-7. Violations and penalties.

#### ARTICLE II Animal Control

§ 119-8. Running at large.

§ 119-9. Removal of animal waste.

§ 119-10. Violations and penalties.

[**HISTORY:** Adopted by the Village Board of the Village of Pleasant Prairie as indicated in article histories. Amendments noted where applicable.]

#### GENERAL REFERENCES

Nuisances — See Ch. 234.

Peace and good order — See Ch. 250.

Parks and recreation — See Ch. 242.

#### ARTICLE I Dog Licensing and Regulation [Adopted 10-19-1998 (§ 12.04 of the 1988 Code)]

##### § 119-1. License procedure; rabies control.

- A. License required. Every person residing in the Village who owns a dog which is more than five months of age on January 1 of any year shall annually, at the time and in the manner prescribed by law for the payment of personal property taxes, obtain a license therefor.
- B. Fees. Such owner shall pay to the Clerk such fees as are stated in Chapter 214 of this Code.
- C. Issuance of license. Upon receipt of the required fee and the exhibition of the certificate of inoculation required by Subsection E, the Clerk shall issue to such person a license to keep such dog for one year. Such person shall, upon procuring the license, place upon the dog a collar with a tag furnished to him by the Village Clerk.
- D. State regulations. Chapter 174, Wis. Stats., shall apply so far as applicable.
- E. Certificate of inoculation required. [Amended 9-22-2003 by Ord. No. 03-40]

- (1) Vaccination required.
  - (a) Except as provided in § 174.054, Wis. Stats, no person residing in the Village shall own, harbor or keep any dog more than five months of age unless the dog or animal has been inoculated with an anti-rabic vaccine by a veterinarian:
    - [1] During the last 12 months, if the vaccine administered was a "killed one year" rabies vaccine.
    - [2] During the last 36 months, if the vaccine administered was a "multi-year" rabies vaccine.
  - (b) If the owner obtains a dog or brings the dog into the Village after the dog has reached five months of age, the owner shall have the dog vaccinated against rabies within 30 days after the dog is obtained or brought into the Village unless the dog has been vaccinated as evidenced by a current certificate of rabies vaccination.
- (2) Rabies certificate. A veterinarian who vaccinates a dog against rabies shall complete and issue to the owner a certificate of rabies vaccination bearing a serial number and in the form approved by the Wisconsin Department of Agriculture, Trade and Consumer Protection stating the owner's name and address, the name, sex, whether spayed or unspayed, neutered or unneutered, breed and color of the dog, the date of the vaccination, the type of rabies vaccine administered and the manufacturer's serial number, the date the immunization expires as specified for that type of vaccine by the Centers for Disease Control of the United States Department of Health and Human Services, and the city, village or town where the dog is required to be licensed.
- (3) Vaccination records. Each veterinarian shall retain a copy of the rabies vaccination certificate in a file maintained for this purpose until the date that the immunization expires or until the animal is revaccinated, whichever occurs first.
- (4) Rabies tags. After issuing the certificate of rabies vaccination, the veterinarian shall deliver to the owner a rabies vaccination tag of durable material bearing the same serial number as the certificate, the year the vaccination was given and the name, address and telephone number of the veterinarian. The owner shall immediately attach the rabies vaccination tag or a substitute tag to a collar. The collar with the tag attached shall be kept on the dog at all times. This requirement does not apply to a show dog during competition or training, to a dog while hunting, to a dog securely confined indoors or to a dog securely confined in a fenced area.
- (5) Cost. The owner shall pay the cost of the rabies vaccination and the cost associated with the issuance of a certificate of rabies vaccination and the delivery of a rabies vaccination tag.
- (6) Impoundment and notice thereof. The Police Department may impound any dog that does not carry the rabies tag required by Subsection E(4). If the owner or

keeper of the dog can be ascertained with reasonable effort, he/she shall be notified of the animal's impoundment. The owner or keeper of any dog so impounded may reclaim it by the payment of the fees hereinafter set forth in § 119-6D.

- (7) State regulations. Section 95.21, Wis. Stats., shall apply so far as applicable.

**§ 119-2. License for vicious dog.**

- A. Fee and term. The license term shall be from January 1 through December 31. The license fee, which is not proratable, shall be as provided in Chapter 214 of this Code, which fee shall cover the cost of the Village-issued tags and signs.
- B. Conditions for license issuance. A license may be granted and issued subject to the following terms and conditions:
- (1) The applicant shall provide the Village with a liability insurance policy written by an insurance company licensed to do business in the State of Wisconsin which policy covers death and personal injury in the amount of \$500,000 and property damage in the amount of \$100,000 and which policy names the Village of Pleasant Prairie as a coinsured. Said policy shall further provide that notice will be made to the Village Clerk at least 30 days in advance of any material change in the terms of the policy or in the event of its termination or nonrenewal.
  - (2) The applicant shall provide the Village with a certificate from a licensed qualified veterinarian showing that the dog has been inoculated for rabies and distemper within two years prior to the application.
  - (3) The applicant shall provide the Village with evidence that the dog has been neutered or spayed.
- C. Numbered and separate licenses. All licenses granted and issued for a vicious dog shall be consecutively numbered, starting with the letters "kv" and the numbers "0001." Each vicious animal shall be separately licensed. The Village Clerk shall issue license tags which are octagonal in shape, no less than 1 1/2 inches in diameter and fluorescent yellow in color.
- D. Conditions for license maintenance. A license granted and issued hereunder for a vicious dog is conditioned upon the following:
- (1) The license number being tattooed on the left inner thigh of the animal by a licensed veterinarian or professional tattooer.
  - (2) Maintenance of the insurance required by Subsection B(1) above.
  - (3) The vicious animal, while on the premises where kept, shall be placed within a secured building or within a secured fence of sufficient height and construction to maintain the animal within. Said fence containment area shall have a fence cover or other cover so as to eliminate the possibility that the dog could exit the enclosure by climbing the side walls thereof. Said fence enclosure shall be inspected and approved by the Village of Pleasant Prairie's Inspection Department.

- (4) The posting of signs no smaller than 24 inches in size on each of the four sides of any said fenced enclosure, made of metal or plastic, fluorescent yellow in color, bearing the wording "Warning - Vicious Animal" in English print no smaller than three inches high and also bearing the license number of the vicious animal no smaller than one inch high and posted at such location as is viewable from the public sidewalk, if any, in the vicinity of any walk or drive approaching any entrance to the building in which the vicious animal is kept.
- (5) The vicious animal, while off the premises where kept, shall be muzzled with a no-bite type muzzle and restrained as to movement by a sturdy collar or harness and leash secured by and under the direct control and supervision of a mentally competent adult person.

E. Sale or transfer of animal determined to be vicious.

- (1) No person may sell or transfer possession of a vicious animal to another person or entity without first notifying the person to whom the vicious animal is being sold or transferred, in writing, of the fact that such animal has been licensed as a vicious dog or has been found to be a vicious animal by the Village Board. Said owner shall further advise the transferee of the requirements of the applicable Pleasant Prairie Village ordinances if the animal is to be kept or housed within the Village of Pleasant Prairie.
- (2) No person may sell or transfer possession of a dog licensed as a vicious dog or found by the Village Board of Pleasant Prairie to be vicious, or presumptively found to be vicious by the owner's or keeper's failure to request a hearing by the Village Board, to another person or entity without first notifying the Village Clerk thereof in writing at least five days in advance of the sale or transfer of possession, which notice shall include the transferee's name, address and municipality and where said transferee intends to keep the vicious animal. Within five days of the receipt of the transfer notice, the Village Clerk shall mail a notice to the clerk of the municipality wherein said vicious dog is to be transferred advising said clerk of the fact that the dog has been licensed as or found to be a vicious animal by the Village Board of Pleasant Prairie and that the dog is being moved to that particular municipality.

**§ 119-3. License for wolf hybrid animal.**

- A. Fee and term. The license term shall be from January 1 through December 31. The license fee, which is not proratable, shall be as provided in Chapter 214 of this Code, which fee shall cover the cost of the Village-issued tags and signs.
- B. Conditions for license issuance. A license may be granted and issued for a wolf hybrid animal subject to the following conditions:
  - (1) The applicant provide the Village with a liability insurance policy written by an insurance company licensed to do business in the State of Wisconsin which policy covers death and personal injury in the amount of \$500,000 and property damage in the amount of \$100,000 and which policy names the Village of Pleasant Prairie

as a coinsured. Said policy shall further provide that notice will be made to the Village Clerk at least 30 days in advance of any material change in the terms of the policy or in the event of its termination or nonrenewal.

- (2) The applicant shall provide the Village with a certificate from a licensed qualified veterinarian showing that the dog has been inoculated for rabies and distemper within two years prior to the application.
  - (3) The applicant shall provide the Village with evidence that the dog has been neutered or spayed.
- C. Numbered and separate licenses. All licenses granted and issued for a wolf hybrid animal shall be consecutively numbered, starting with the letters "WH" and the numbers "0001." Each wolf hybrid animal shall be separately licensed. The Village Clerk shall issue license tags which are octagonal in shape, no less than 1 1/2 inches in diameter and fluorescent yellow in color. **[Amended 4-18-2005 by Ord. No. 05-13]**
- D. Conditions for license maintenance. A license granted and issued hereunder for a wolf hybrid animal is conditioned upon the following: **[Amended 4-18-2005 by Ord. No. 05-13]**
- (1) The license number being tattooed on the left inner thigh of the animal by a licensed veterinarian or professional tattooer.
  - (2) Maintenance of the insurance required by Subsection B(1) above.
  - (3) The wolf-dog hybrid shall be kept in an enclosure in the rear or side of a principal structure of at least 1,600 square feet and surrounded by a secured fence at least seven feet high with an overhang of fencing angling into the fenced area. The wolf hybrid shall not be kept in the front or side yard of said property.
  - (4) A barrier or wall shall be placed a minimum of two feet below grade inside the pen beneath the vertical fencing to prevent the wolf-dog hybrid from digging out along the fence.
  - (5) A six-foot-high solid childproof barrier fence shall be installed not less than six feet away from the fenced enclosure to prevent the possibility of children reaching through the fence to touch the animal.

#### § 119-4. Regulation of dogs.

- A. Definitions. As used in this section, the following terms shall have the meanings indicated:

AT LARGE — Off the premises of the owner and not under the control of the owner or a member of his or her immediate family, either by leash, cord, chain, rope or other physical restraint mechanism.

DOG — Both male and female.



OWNER or KEEPER — Any person or persons, firm, association or corporation owning, keeping, harboring or possessing a dog.

B. Running at large.<sup>1</sup>

- (1) No dog may run at large, as defined above, within the Village of Pleasant Prairie. Any owner or keeper of any dog found to be running at large shall be strictly responsible for said dog running at large and shall be subject to the penalty hereinafter provided without regard to whether the owner or keeper intended that the dog run at large.
- (2) Any owner or keeper of a dog found to be running at large within the Village of Pleasant Prairie shall be subject to a forfeiture of between \$1 and \$500.

C. Limitation on number of dogs. No person shall keep, house or maintain more than four adult dogs one year or older on any separate parcel of real estate located within the Village of Pleasant Prairie unless the property has received a valid conditional use permit from the Village. **[Amended 11-5-2007 by Ord. No. 07-48]**

D. Harboring certain dogs prohibited.

- (1) No person shall own, harbor or keep a dog which:
  - (a) Habitually pursues any vehicle upon any public street, highway, or alley.
  - (b) Habitually barks or howls causing unreasonable annoyance to persons of ordinary sensibilities.
  - (c) Is required to be licensed under this article but is not so licensed.
  - (d) Is vicious and is not licensed and maintained in accordance with § 119-2 of this article.
- (2) A determination by the Police Chief that a dog has bitten, attacked or injured any person shall constitute a prima facie showing that such dog is vicious. Any dog cited by the Police Chief as being vicious shall be immediately impounded at the expense of the owner or keeper. Within three days of the Police Chief's citation that the animal is vicious, the Police Chief shall send to the owner or keeper of the alleged vicious dog a notice by certified mail to said owner's or keeper's last known address, or by personal service, advising the owner or keeper that the dog will be humanely destroyed and setting forth the following options for the owner with respect to said alleged vicious animal and advising the owner that the animal may only be removed from the Village in accordance with § 119-2E of this article:
  - (a) The owner or keeper may request a special hearing before the Village Board for a determination as to whether or not the dog is vicious as defined in this Code. The owner or keeper shall be advised that he has 20 days from the date of the mailing of the notice to request such a hearing by filing a written

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1. Editor's Note: See also Art. II, Animal Control, of this chapter.

request with the Village Clerk. If such hearing is requested, the hearing will be scheduled within not less than 10 nor more than 30 days of the date the written request for hearing is received by the Village Clerk. In such event, upon request, the Police Chief shall, within 10 days, provide the owner or keeper of said dog with a written list of facts upon which the Chief relied in citing the dog as vicious.

- (b) If the owner or keeper of the dog does not request a hearing before the Village Board or does not request permission to remove the dog in accordance with § 119-2E of this article, the owner's or keeper's nonresponse shall be deemed conclusive evidence of the fact that the dog is in fact vicious, and the dog will be forthwith humanely destroyed at the expense of the owner.
- (3) Any animal charged by the Police Chief with being vicious shall be impounded at the owner's cost until a determination is made by the Village Board that the dog is in fact not vicious or the owner makes arrangements to remove the dog from the Village in accordance with § 119-2E of this article. All such impoundment charges shall be paid by the owner or keeper of the dog.

**§ 119-5. Requirements relating to wolf-dog hybrids.**

- A. Definition. "Wolf-dog hybrid" is defined as an animal formed with the union of a dog and wolf species and possessing physical characteristics typically attributed thereto.
- B. Violations. Any person violating any of the provisions of this article relating to wolf-dog hybrids for each such offense shall be punished by a fine of not less than \$300 nor more than \$500. Each day such an animal is possessed or harbored within the Village of Pleasant Prairie without complying with the provisions of the Pleasant Prairie Village Code shall constitute a separate offense.
- C. Impoundment and destruction.
  - (1) Any unlicensed wolf-dog hybrid which is owned, possessed, harbored, kept or maintained in violation of this article shall be impounded and destroyed by the Village or its agents at the expense of the owner and/or possessor. Written notice of the impoundment and intention to destroy said animal shall be given to the owner or keeper, if ascertainable, and/or possessor within a reasonable time after such impoundment. Any owner or keeper and/or possessor may, within 20 days after the mailing of such notice or after service of such notice, request in writing the right to be heard by the Police Chief of the Village of Pleasant Prairie.
  - (2) The Police Chief or his designee shall, within seven days of such request, cause notice of a meeting to be sent by certified mail to the person requesting to be heard. Said notice shall be sent the person's address as stated in the written request. Said meeting shall be held not less than seven days nor more than 20 days from the mailing of the meeting notice. At the meeting between the owner and/or possessor and the Police Chief, the Police Chief shall consider whether the dog is in fact a wolf-dog hybrid and, if the Chief determines it is, whether there is any

reasonable likelihood that the owner and/or possessor will be able to comply with this article relating to the licensing and possessing of such animal within a reasonable period of time, not to exceed 30 days.

- (3) The Police Chief shall, at the conclusion of the hearing, advise the owner and/or possessor whether he intends to have the animal destroyed and shall forward to the Village Clerk his written report of the meeting with a copy to be given or mailed to the owner and/or possessor. The date of the report shall be the "determination date." Said report shall contain the Police Chief's conclusions as to whether the dog is a wolf-dog hybrid and, if the Police Chief believes it to be, whether there is a reasonable likelihood that the owner and/or possessor can comply with this article within a reasonable period of time, not to exceed 30 days. The Police Chief may also withhold his decision for 30 days to allow the owner and/or possessor time to comply with this article, and in that event the report shall indicate that the dog shall be destroyed if full compliance is not achieved within 30 days.
- (4) If the owner and/or possessor is not satisfied with the decision of the Police Chief, said person may appeal to the Village Board by filing a written notice of appeal with the Village Clerk within 20 business days of the receipt of the written determination from the Police Chief.
- (5) The Village Board shall cause said appeal to be heard in not less than 10 days nor more than 30 days from the receipt of the written notice of said appeal and shall cause the Clerk to mail by certified mail a notice of said hearing or obtain personal service not less than seven days prior to the hearing. The issues to be determined by the Village Board in such a hearing are whether the animal is in fact a wolf-dog hybrid and, if it is, whether there is any reasonable likelihood that the owner and/or possessor can comply with this article within a reasonable period of time, not to exceed 30 days from the date of the meeting with the Police Chief. If the Board decides compliance is not likely, it shall order the dog destroyed after the expiration of 30 days from the determination date. The animal shall not be destroyed and shall remain impounded until the time for appeal has expired and until any timely appeal has been heard. The Village elects not to be bound by Ch. 68, Wis. Stats., with respect to administrative procedures.

**§ 119-6. Confinement and disposition of dogs.**

- A. Confinement. The Police Department or any officer appointed by the Village Board shall apprehend any dog running at large within the Village or which does any of the things prohibited under this article and confine the same in a suitable place.
- B. Disposition of unclaimed dogs. The Police Department or keeper of a pound shall keep all dogs apprehended for seven days (unless sooner claimed by the owner or keeper). If any dog is not reclaimed by the rightful owner or keeper within such time, the dog may be sold for the amount incurred in apprehending, keeping and caring for the dog, or it may be destroyed in a proper and humane manner.
- C. Owner or keeper to pay costs. The owner or keeper of any dog so confined may reclaim such dog at any time before the same is disposed of upon payment of all costs and

charges incurred in apprehending, keeping and caring for the dog. Such costs and charges may include expenses for inoculations or other medical treatment of the dog. The owner's or keeper's payment of costs and charges incurred in apprehending, keeping and caring for the dog shall be made directly to the Village Treasurer.

- D. Owner or keeper to post bail. The owner or keeper of any dog so confined shall, in addition to any costs required to be paid under Subsection C, post bail in the following amounts prior to reclaiming the dog:
- (1) For the first offense involving such dog within one calendar year: \$25.
  - (2) For the second offense involving such dog within one calendar year: \$50.
  - (3) For the third offense involving such dog within one calendar year: \$75.
  - (4) For the fourth or more offenses involving such dog within one calendar year: \$100.

**§ 119-7. Violations and penalties.**

In addition to the suspension or revocation of a license issued under this article, any person who shall violate any provision of this article or any regulation, rule or order made hereunder shall be subject to a penalty as provided by Chapter 1, § 1-4 of this Code.

ARTICLE II

**Animal Control**

[Adopted 12-6-1999 (§ 9.08 of the 1988 Code)]

**§ 119-8. Running at large.**

- A. No person having in his possession or under his control any animal or fowl shall allow the same to run at large in or upon any street, bike path, trail, walkway, beach, public ground, or park or within any platted subdivision or within any residential, institutional, commercial or manufacturing zoning districts within the Village, except on any parcel owned or occupied by such person in the Village. [Amended 3-15-2010 by Ord. No. 10-14]
- B. No livestock shall be kept closer than 200 feet to any dwelling located on an adjacent property. [Amended 3-15-2010 by Ord. No. 10-14]
- C. Any animal beyond the boundaries of its owner's property or the property of the person in custody or control of said animal must be under positive control by leash.

**§ 119-9. Removal of animal waste.**

- A. It shall be unlawful for the owner or person in custody or control of any animal to allow such animal to defecate or urinate upon the public property of the Village, the rights-of-way of the Village and the private property of another other than the owner or keeper of said animal.

- B. If such animal shall defecate upon property other than that of the owner or keeper of the animal, the owner or keeper must immediately clean up the feces and make proper disposition of it so as not to endanger the health and safety of the public.
- C. If an animal shall defecate upon the property of the owner or keeper of such animal, the owner or keeper must clean up the feces and make proper disposition of it within a reasonable period of time so as not to endanger the health and safety of the public.

**§ 119-10. Violations and penalties.**

Except as otherwise provided, any person who shall violate any provision of this article shall be subject to a penalty as provided by Chapter 1, § 1-4, of this Code.



*Deputy Chief David Mogensen  
Interim Chief of Police*

**November 6, 2012**

Claude Jensen  
12000 44<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

Dear Mr. Jensen,

I am enclosing a copy of my report detailing my reasons for my decision to declare your dog Chloe as vicious. This is the same report that will be presented to the Village Board to aid them in making their determination during the upcoming hearing.

You should be receiving correspondence from the Village Clerk advising you of the date and time of the hearing. Should you have any questions as we proceed with this process, please feel free to contact me at the number at the bottom of this page.

Sincerely,

---

*David Mogensen  
Interim Chief of Police*

(Enclosure)



*Deputy Chief David Mogensen  
Interim Chief of Police*

**November 2, 2012**

**Report of David Mogensen, Interim Chief of Police**

**RE: PPPD Case # 12-16674**

On October 18, 2012 Lt. Paul Marik of this Department received a call from Children's Hospital in Milwaukee reporting that they had a seven year old child at their facility who was bitten by a dog in the Village of Pleasant Prairie on the evening of October 17<sup>th</sup>. The child's name is Zavier Zavala. Lt. Marik reports that he spoke with social worker Michelle Hill who advised that the child was being watched by a family friend and was bitten by their dog. She advised that the boy was bitten so badly that he would need reconstructive facial surgery.

Lt. Marik then spoke with the mother of the child, Brooke Zavala, on the phone. She said that her son was being watched by Mr. Jensen, who is a family friend. Brooke advised Lt. Marik that the dog "Chloe" is always "rambunctious" but she did not consider her to be vicious. She said the dog is never usually around the kids but that it is jumpy and excitable. Brooke did advise that there was one other time where the dog nipped at her son but he did not require medical attention.

Lt. Marik then spoke with the dog's owner, Claude Jensen, who advised that he did not see what happened as he was in another room getting dinner ready. Claude advised that the dog had never bitten anyone before but agreed with Brooke that the dog was excitable and jumpy. Lt. Marik advised him that the dog would need to be quarantined but was told there was nobody at the residence so arrangements would need to be made at a later time. In the meantime, Claude was going to obtain

the medical records for Chloe and turn them over to the police.

On October 19, 2012 at approximately 12:30PM Officer Bonogofsky of this department met with Claude Jensen at Safe Harbor Humane Society in Kenosha so that the dog could be quarantined until this case was resolved. Officer Bonogofsky indicates in his report that at while Claude was walking the dog to the building it pulled backwards and broke free from its collar. With the assistance of one of the Humane Society employees they were able to re-secure the dog.

Officer Laura Hoffman was assigned to follow up on this investigation by going to Children's Hospital to speak with the victim and his mother, Brooke. Brooke told Officer Hoffman that Xavier and her younger daughter had just walked into Claude Jensen's house when Chloe jumped on Xavier knocking him to the ground and bit him. She said that Chloe had scratched Xavier before when they were playing but had never tried to bite him. She described Chloe as a hyper dog but not one that was aggressive and she didn't know what could have happened to cause Chloe to bite him.

Officer Hoffman then attempted to speak with Xavier, but he wouldn't talk. She asked him to hold up one finger if it hurt too much to talk, which he did. Officer Hoffman then photographed Xavier's injuries. She noted that Xavier's lower lip was extremely swollen and Brooke said that his lower lip had been split in a downward direction and had to be stitched back together. He also had a large laceration on his right cheek that required numerous stitches. There was also a smaller laceration near his right eyebrow, also requiring stitches. Officer Hoffman asked how many stitches were needed and Brooke said there were too many to count.

Officer Hoffman later contacted Harbor Animal Hospital in Winthrop Harbor, because that is where Chloe was registered and had received his vaccinations. Hoffman indicates that Chloe was last seen by them on September 20, 2010. They advised they would forward the vaccination records to the police department.



On Tuesday, October 23, 2012 I was able to review the completed reports regarding this incident and view the photographs taken by Officer Hoffman of the victim, Zavier Zavala. I also learned that Mr. Jensen has not licensed Chloe with the Village of Pleasant Prairie as is required in Section 119-1 of the Village of Pleasant Prairie Code of Ordinances. Village ordinance also requires that all dogs more than five months of age shall be vaccinated for rabies. Chloe's rabies vaccination had expired on November 6, 2011.

Based on the serious nature of the injuries and the fact that this appeared to be an unprovoked attack, I made the determination that the dog should be deemed as vicious in accordance with Section 119-4(D)(2) of the Village of Pleasant Prairie Code of Ordinances. Once determined to be vicious, the ordinance states that the dog is to be humanely destroyed, but provides Mr. Jensen the option to have this matter brought before the Pleasant Prairie Village Board for a hearing to have them either affirm my decision or reverse it.

Until the determination is made, the dog is to remain impounded at the Safe Harbor Humane Society at the owner's expense. I prepared a letter to Mr. Jensen to explain my decision and to explain the options available to him. The letter was delivered in person by Officer Bonogofsky of this department on October 25, 2012.

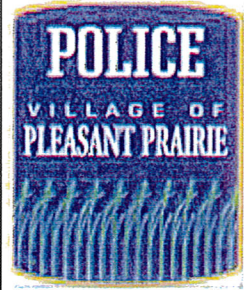
Summary for the basis of my determination to deem Chloe as vicious:

- This was an unprovoked attack on a seven-year-old child.
- The injuries sustained by this child are very severe, requiring dozens of stitches which will likely leave this child scarred for life.
- The child had injuries to his right cheek, the bridge of his nose, his lower lip, and the left side of his neck.
- At the time of the incident the dog's rabies vaccination was expired as of November 6, 2011.

- The dog was not licensed in the Village which would have required proof of rabies vaccination before a license would have been issued.

**Supporting Documents:**

1. Incident reports of Lt. Marik, Officer Hoffman, and Officer Bonogofsky
2. Pleasant Prairie Animal Injury Report
3. Vaccination Certificate
4. Children's Hospital Animal Bite Report
5. Vicious dog notice sent to Claude Jensen
6. Lake County Health Department Rabies Certificate
7. Lake County Animal Bite Report
8. Lake County Health Department Order for Examination of Domestic Animal
9. Two photographs of victim's injuries



Pleasant Prairie Police Department

Incident Report

Date: 10/18/2012  
CFS Code-1: 9006  
Incident Report Number: 12-016674

Incident: Animal Control			
Incident Report Number: 12-016674	Between: Date - Time	And/At: Date-Time 10/18/12	01:13
Incident Location: 12000 44th Ave, Pleasant Prairie, WI, 53158			
CFS Code-1: 9006	CFS Code-2:	CFS Code-3:	Offense Code-4:
CFS Code-5:	CFS Code-6:	CFS Code-7:	CFS Code-8:

V	Name (Last, First, Middle) Zavala, Zavier	DOB: 05/25/2005	Race/Sex U/M
Address: (Address, City, State, Zip) 1823 20th st, Zion, IL, 60099			Home Phone Number
Employer			Work Phone Number
Employer Address			Cell Phone Number (847) 912-5367
	Name (Last, First, Middle)	DOB:	Race/Sex
Address: (Address, City, State, Zip)			Home Phone Number
Employer			Work Phone Number
Employer Address			Cell Phone Number

**SUMMARY**

Received a call from Children's Hospital concerning dog bite to a 7 year old who will need facial surgery.

Vehicle Information: (Year, Make, Model, Style, Color)				
License Number:	State:	Expiration Year:	Vin:	Insurance Company:
Other Vehicle Information:			NCIC#	
Reporting Officer(s): Marik, Paul D.		Payroll Number: 149	Payroll Number:	Report Date:
Time Received: 01:13:49	Time Cleared: 01:15:18	Unit(s) Assigned:	Pages: 1 Of 4	
Reviewed by: Marik, Paul D.		Payroll Number 149	Copy To	

Pleasant Prairie Police Department

Continuation

Incident Report Number  
12-016674

Incident Location:  
12000 44th Ave, Pleasant Prairie, WI, 53158

Incident Date:  
10/18/2012

**NAMES**

**Other-1**

Zavala, Brooke N F-31 of 1823 20th st, Zion,IL,60099  
DOB: 03/19/1981 DL: Z140-0748-1681  
HT: 503 WT: 180 Hair: Blond or Strawberry  
Eyes: Hazel  
Cell Phone: (847) 912-5367

**Other-2**

Jensen, Claude A W/M-40 of 12000 44th Ave, Pleasant Prairie,WI,53158  
DOB: 12/10/1971 DL: J525-1017-1450-06  
HT: 509 WT: 165 Hair: Brown  
Eyes: Blue  
Cell Phone: (224) 627-1685

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Reporting Officer(s):  
Marik, Paul D.

ID Number  
149

ID Number

Pages:  
2 OF 4

## Pleasant Prairie Police Department

Continuation

Incident Report Number 12-016674	Incident Location: 12000 44th Ave, Pleasant Prairie, WI, 53158	Incident Date: 10/18/2012
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**NARRATIVE**

Lt. Paul Marik #149 reports the following as having occurred on 10-17-12 in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

At about 1:00am on 10-18-12 the police department received a phone call from Children's Hospital concerning a dog bite of a 7 year old. I spoke with a social worker named Michelle Hill who had interviewed the family in the emergency room. Michelle stated that a 7 year old was being watched by a family friend in Pleasant Prairie and the dog, at the home, bit a 7 year old boy. The boy was bitten so badly that he will require reconstructive facial surgery according to Michelle. Michelle stated that the bite took off most of the boy's bottom lip.

Michelle provided the following names to me of the involved parties:

Victim: Zavier Zavala m/w 05-25-05 residing at 1823-20th St. Zion, IL. 60099

Mother: Brooke N. Zavala f/w 03-19-81 same address. Phone: 847-912-5367

Dog Owner: Claude A. Jensen m/w 12-10-71 residing at 12000-44th Ave. Pleasant Prairie, WI. 53158 Phone: (224) 627-1685

I spoke with the boy's mother (Brooke) on the phone. She stated that her son Zavier was being watched by Mr. Jensen who is a family friend. The incident took place at the home of Mr. Jensen on 10-17-12 around dinner time. Brooke said the dog is a pitbull mix named "Chloe". She said that the dog is always "rambunctious" but she did not consider her to be vicious. I asked Brooke about her opinion of the dog concerning its temperment and she said that the dog is never usually around the kids but that she is jumpy and excitable. She did say there was one other time in the past where the dog nipped at her son but that it did not require medical attention. I explained that we would be sending an officer to the hospital the next day to take some photographs of her son's injuries for our records and she agreed that would be ok.

Next I spoke with the dog owner (Claude Jensen) on the phone. Mr. Jensen said he did not see what happened since he was in the other room getting dinner ready. Mr. Jensen said his dog has not bitten anyone in the past but agreed with Brooke that the dog is excitable and jumpy. I explained that the police department would need to quarantine the dog, check for current vaccination records, and have the humane society make a determination on the viciousness of the animal. Mr. Jensen agreed to call us later in the day when he returned from the hospital so as to make arrangements for us to take the dog. There was nobody home at the time of this report to be able to secure the animal any quicker.

Mr. Jensen stated that all of the dog's vaccination records were through the Winthrop Harbor Animal Hospital (847) 746-1915 and that he would obtain those records for us today. Per village ordinance 119-4 D(2), a determination by the

Reporting Officer(s): Marik, Paul D.	ID Number 149	ID Number	Pages: 3 Of 4
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Pleasant Prairie Police Department

Continuation

Incident Report Number  
12-016674

Incident Location:  
12000 44th Ave, Pleasant Prairie, WI, 53158

Incident Date:  
10/18/2012

Police Chief that a dog has bitten, attacked or injured any person shall constitute a prima facie showing that such dog is vicious. Therefore, protocols established within the ordinance will be followed unless it is otherwise proven the dog is not vicious.

This matter will be sent to the Pleasant Prairie Detective Bureau for follow-up to assist Interim Chief of Police Dave Mogensen in establishing a determination of the viciousness of the dog. A request has been sent for Social Worker Michelle Hill to fax over a statement concerning her interviews with the family at the hospital. No further information at this time. See all related reports.

Reporting Officer(s):  
Marik, Paul D.

ID Number  
149

ID Number

Pages:  
4 Of 4

# Pleasant Prairie Police Department

# Supplementary Report

Incident Report Number 12-016674	Incident Location: 12000 44th Ave, Pleasant Prairie, WI, 53158	Incident Date: 10/18/2012
New Incident:	Original CFS Code - 1: 9006	New CFS Code - 1 : New CFS Code - 2:

**NARRATIVE**

On 10-19-2012 at approx 12:30PM I PPPD Officer Bonogofsky #166 was instructed by PPPD Lt. Reilly # 138 to respond to Safe Harbor Humane Society located at 7811 60th Street in Kenosha Wisconsin and meet with an individual named Claude Jensen. Jensen was to bring his pitbull dog to be Quarantined /kept at this location.

I met up with Claude as he walking his white pitbull into the building. As Claude was approaching the front door the dog pulled backwards out of his collar and got free from Claude. Claude dropped his coffee as he was going after the dog. Claude was able to re-secure the dog into the collar after a worker from Safe Harbor came out to assist him.

Claude surrendered his dog to the Safe Harbor staff at this point.

On 10-25-2012 at approx 3:30PM, I served Claude Jensen at 12000 44th Ave In theVillage Of Pleasant Prairie a "Vicious Animal Notification". I handed the letter to him while he was standing outside his residence.

PPPD #166  
J. Bonogofsky

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Reporting Officer(s): Bonoqofsky, John J.	Payroll Number: 166	Payroll Number:	Report Date: 10/25/2012
Reviewed by: Reilly, Daniel W.	Payroll Number 138	Copy To:	1 Of 1

# Pleasant Prairie Police Department

# Supplementary Report

Incident Report Number 12-016674	Incident Location: 12000 44th Ave, Pleasant Prairie, WI, 53158	Incident Date: 10/18/2012
New Incident:	Original CFS Code - 1: 9006	New CFS Code - 1 : New CFS Code - 2:

**NAMES**

**Other**

Harbor Animal Hospital -112 of 1915 Ninth St, Winthrop Harbor, IL, 60096  
 DOB: 01/01/1900  
 Work Phone: (847) 746-1915

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Reporting Officer(s): Hoffman, Laura J.	Payroll Number: 151	Payroll Number:	Report Date: 10/19/2012
Reviewed by: Reilly, Daniel W.	Payroll Number 138	Copy To:	1 Of 2



Incident Report Number

12-016674

Incident Location:

12000 44th Ave, Pleasant Prairie, WI, 53158

Incident Date:

10/18/2012

**NARRATIVE**

Officer Laura Hoffman #151 reports the following:

On Friday 10/19/12, R/O responded to Children's Hospital to speak with Zavier and his mother Brooke. R/O arrived and first spoke with Brooke who stated that she was at work when Zavier was bite so she did not witness anything. Brooke stated that from what she was told, Claude, Zavier and her younger daughter and just walked into the house when Chloe jumped on Zavier, knocking him down and biting him. Brooke stated that Chloe had scratched Zavier before when they were playing but has never tried to bite him. Brooke described Chloe as a hyper dog but not one that was aggressive and she didn't know what could have happened that would cause Chloe to bite Zavier.

R/O then attempted to speak with Zavier who wouldn't talk. R/O asked Zavier to hold up one finger if it hurt him too much to talk, which he did. R/O then asked Zavier if she could take some photos of his injuries and he indicated yes by moving his head up and down. R/O noted that Zavier's lower lip was extremely swollen and Brooke said that his lower lip had been split in a downward direction and had to be stitched back together. Zavier also had a large laceration on his right cheek that required numerous stitches along with a smaller laceration near his right eyebrow, also requiring stitches. R/O asked Brooke how many stitches Zavier injuries required and she stated that she was told too many to count.

R/O later contacted Harbor Animal Hospital located at 1915-9th St., Winthrop Harbor, IL 60096. R/O was advised that Chloe was not up to date on her vaccination records showing that last time she was seen by them was on 09/22/10. A copy of the vaccinations records were faxed to R/O (see attached). See attached reports and photos for additional information.

Reporting Officer(s):

Hoffman, Laura J.

ID Number

151

ID Number

Pages:

2 Of 2



PLEASANT PRAIRIE POLICE DEPARTMENT  
ANIMAL-RELATED INJURY REPORT

Date 10-19-12

Complaint # 12-16674

Owner of Animal Claude A. Jensen

Address 12000-44th Pl. Prairie WI TX# 204-607-1685

Name of Person Injured Zavier Zavala

D O B 05-25-05 Address 1823-20th 20W IL 60099

TX# 847-912-5347 Date Injured 10-17-12

Nature of Injuries & Location on Body LACERATIONS ON FACE, LOWER  
LIP REQUIRING STITCHES

Location of Incident 12000-44th Pl. Prairie WI 53158

Type of Animal Causing Injury \_\_\_\_\_

Description of Animal PIT BULL MIX

Disposition of Animal QUARANTINED AT KENOSHA STATE HARBOR

Has Animal had Shots?  Yes  No Date of Shots EXPIRED 11-6-11

Rabies Tag Number 86-17743

Veterinarian HARBOR ANIMAL HOSPITAL

Additional Information \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Hammann 151  
Investigating Officer

2012-Oct-17 07:38 PM CTCA MRM C ER 8478726264

1/1

07/07/2006 11:53

NO. 231 P02



**Lake County**  
Health Department and  
Community Health Center

Animal/Rabies Control

**ANIMAL BITE REPORT**

Animal/Rabies Control ordinance requires that Bite Reports be ~~mailed~~ telephoned to this office at (847) 949-9925 or you may fax at (847) 949-9878.

DATE OF COMPLAINT: 10-17-2012	DATE OF BITE: 10-17-2012
ANIMAL SPECIES:	ANIMAL BREED: PIT BULL ANIMAL NAME: <del>CHLOE</del>

NAME OF PERSON BITTEN: ZADIER ZAVALA	CITY WHERE BITE OCCURRED: WILMINGTON ILLINOIS
HOME PHONE: 847-912-5367	WORK/CELL PHONE: ( )
ADDRESS: 1823 20TH AVE	CITY: ZION STATE: IL
DOB: 6/25/2005 Sex: <input checked="" type="checkbox"/> Male <input type="checkbox"/> Female	PART OF BODY BITTEN: FACE AND
SEVERITY: <input type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input checked="" type="checkbox"/> SERIOUS	STITCHES REQUIRED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
DATE OF LAST TETANUS: 2 YRS AGO	

DOCTOR'S NAME: DR. BRAUNIFF	DOCTOR'S PHONE: 847-872-6220
ADDRESS: 2520 ELISHA	CITY: ZION STATE: IL

ANIMAL OWNER'S NAME: CLAUDE JOHNSON	ANIMAL OWNER'S PHONE: 224-627-1625
ADDRESS: 1315 PARK	CITY: W.H. STATE: IL

HAS BEEN /  WILL BE (check one)  
PLACED UNDER OBSERVATION AT: ANIMAL HOSPITAL

NAME OF PERSON REPORTED BY (IMPORTANT):
<input type="checkbox"/> PHYSICIAN <input checked="" type="checkbox"/> NURSE <input type="checkbox"/> LAW ENFORCEMENT/RESCUE

M R M C  
2520 ELISHA AVE.  
ZION, ILLINOIS  
847-872-6220

This confirmation form must be ~~mailed~~ to (847) 949-9878.



# Lake County

Health Department and  
Community Health Center  
Animal Care & Control  
29278 N. Route 83  
Mundelein, Illinois 60060  
(847) 949-9925

STATE OF ILLINOIS )  
 ) SS,  
COUNTY OF LAKE )

DATE OF BITE 10/17/12  
DATE REPORTED 10/18/12  
DATE ORDER ISSUED \_\_\_\_\_  
TIME ORDER ISSUED \_\_\_\_\_

ORDER FOR EXAMINATION DOMESTIC ANIMAL

NAME: Claude Jensen  
ADDRESS: 1315 S Park Ave  
TOWN: Winthrop Harbor  
TELEPHONE: (224) 637-1685

The Lake County Health Department has received information that you are the owner, keeper, harborer or custodian of an animal, a dog "Chloe" reported to have bitten or scratched a person

The Lake County Animal Care & Control Ordinance requires that animals which have bitten or scratched a person or another animal be delivered to a veterinarian within twenty four hours after receipt of this order for examination and/or confinement of not less than ten days at the expense of the owner.

If your animal is currently immunized against rabies as evidenced by a valid vaccination certificate and the rabies vaccination is at least thirty days old, the animal may be confined on the premises of the owner following the initial examination by a veterinarian.

If evidence of a valid rabies vaccination cannot be provided, your animal must be impounded by a veterinarian and observed for at least ten days at the owner's expense.

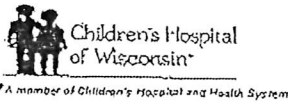
It is unlawful during the confinement period to sell, give away, destroy or allow an animal to be taken beyond the limits of Lake County or conceal such animal from Animal Control or other enforcement authorities.

Failure to comply with these instructions will result in the issuance of an ordinance violation ticket as specified in Chapter 16 in the amount of \$100.00. Each day of non-compliance constitutes a separate offense. In addition, legal action may be taken through court ordered removal of such animal(s) with additional penalties, impoundment fees, and possible fines of up to \$1000.00.

**Please contact the Animal Bite Department at 847-949-9925**

REPORT NUMBER: B12-001794

*Owner is required to take the dog to the vet immediately to be hospital confined for 10 days.  
Thank you!*



Animal Bite Exposure Report Form

LAST, FIRST: ZAVALA, ZAVIER
DATE OF: 05/25/05 M EDTC
DGS: Test
MRN: 239-024-5
VN: 48433232 E
DOS: 10.17.12

Person Bitten:

Name: Zavier Zavala DOB: 5/25/2005 Home Phone No: 847-912-5367
Parent/legal guardian: Brooke and Juan Zavala
Street Address: 1823 20th Street, Zion IL 60099
Municipality where lives: Lake County IL Zip: 60099
Primary Care Physician: Gabriel Phone No: 847-623-4464
Wound location (specify): facial - large flap laceration to right cheek, laceration to bridge of nose, laceration to lower lip, laceration to left neck
Incident Data: Date of bite: 10/17/12 Time of bite: 1900 AM/PM
Address of Incident: mother did not provide - phone
Municipality of incident: Kenosha County Health Department
Health Department notified: HHS Fax: 262-605-6715 phone - 262-605-6700

Animal Type: Dog Cat Other (please identify)
Sex: Male Female
Name of animal: Chloe License No:
Breed: pit mix Color: Age: 3-4 yrs
Vaccinated: Yes No Unknown
Veterinary Clinic: Phone No:

Owner data: Unknown Wildlife
Name: Claude Jensen DOB: Home Phone No: 224-627-1685
Street Address: listed as: 13000 44th Avenue, Pleasant Prairie
Municipality: Kenosha Zip: 53158

Comments: Injury occurred at dog owner's residence.
Zavier requires surgical intervention for injuries and is hospitalized at Children's Hospital.
Dog owner, friend of family - mother reported she did not know owner's address where injury occurred. Address found on anywho.com.

Completed by: Michele Hu, MSW Date: 10/18/12 Time: 0100
Phone No: 414-266-2496 Fax No:

Dog owner babysitting for Zavier at time of bite.



10/30/2012



Lake County

### Rabies Certificate

Health Department  
Animal Care and Control

Certificate #:  
Tag #: 8T17743

**Animal**

A454593 CHLOE - 4 YEARS 11 MONTHS OF AGE, SPAYED, PIT BULL/MIX, WHITE AND BROWN DOG

**Owner**

CLAUDE/JENNIFER JENSEN  
1315 S PARK AVE  
WINTHROP HARBOR, IL 60096-

(224) 627-1685

Tag Date: 11/6/2008  
Tag Term 36 Months  
Tag Expiration: 11/6/2011

Vaccine 25.00  
Vaccination Date: 11/6/2008  
Vaccination Expiration: 11/6/2011

**Veterinarian:**

HARBOR ANIMAL HOSPITAL  
1915 NINTH ST  
WINTHROP HARBOR, IL 60096-  
(847) 746-1915

Entered by hlcfh

## Vaccination Certificate

October 19, 2012

Patient: Chloe

Owner: Claude Jensen  
1315 South Park Ave  
Winthrop Harbor, IL 60096

Species: canine

Breed: Pitbull mix

Sex: FS

Age: 6 yrs & 4 mo

Color: White/brn speckled ears

Weight: 54.9 Lbs

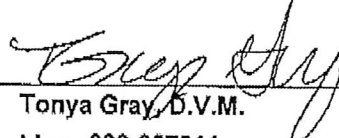
Microchip: 4817 0C1 155

Rabies Tag #: 8t-17743

Producer: MERIAL IMRAB

Lot #: 18061C

Due Date	Reminder	Last Given
9/22/2011	-> Heartworm Test	9/22/2010
9/22/2011	-> Distemp/Parvo/Lepto Annual Vaccination	9/22/2010
9/22/2011	-> Please Bring Stool Sample	8/5/2011
9/22/2011	-> Yearly Bordetella Vaccination	9/22/2010
9/22/2011	-> Physical Exam	9/22/2010
11/6/2011	-> Rabies vaccination	11/6/2008

  
Tonya Gray, D.V.M.

Lic.: 090-007911

Harbor Animal Hospital, Ltd.  
1915 Ninth Street  
Winthrop Hbr, IL 60096  
Tel: 847-746-1915









Village of  
Pleasant Prairie

2013

General Government  
Budgets

*Village of Pleasant Prairie*  
*Proposed 2013 Budget*  
*General Government*

- 1) Operating Fund – Page 3
  - a) Revenue & Expense Summary
  - b) Revenue & Expense Detail
  - c) Expenses by Department (Page 11-67)
  - d) New Programs (Page 68)
  - e) Revenue Enhancers (Page 69)
  - f) Program Reductions (Page 70)
  
- 2) Debt Fund – Page 71-73
  
- 3) Capital Fund – Page 74-77

Village of Pleasant Prairie

For the Twelve Months Ending December 31, 2009

	<u>Actual 10</u>	<u>Actual 11</u>	<u>2012 Amend</u>	<u>Actual 12</u>	<u>Estimate 12</u>	<u>Dept Request 13</u>	<u>Admin Request 13</u>
Revenues							
Property Tax	\$5,476,832.22	\$5,504,719.77	\$7,154,860.00	\$7,154,838.35	\$7,154,860.00	\$7,628,305.00	\$7,224,400.00
Departmental Revenue	1,916,848.53	2,000,195.70	1,986,623.00	1,418,342.58	2,162,685.00	2,164,115.00	2,349,115.00
Other Revenue	3,420,097.31	3,619,132.16	2,552,231.00	707,928.73	2,650,990.00	2,581,425.00	2,594,596.00
Total Revenue	<u>10,813,778.06</u>	<u>11,124,047.63</u>	<u>11,693,714.00</u>	<u>9,281,109.66</u>	<u>11,968,535.00</u>	<u>12,373,845.00</u>	<u>12,168,111.00</u>
Operating Expenses							
Village Board	86,548.83	84,039.39	90,494.00	65,262.35	92,837.00	94,331.88	94,265.88
Municipal Court	169,792.10	143,819.63	153,960.00	99,866.29	152,035.00	155,187.88	153,527.65
Administration	285,063.49	285,960.66	319,914.00	241,522.97	314,398.00	220,661.79	220,583.70
Village Clerk						88,627.16	88,599.18
Human Resources	123,539.89	132,580.67	133,549.00	87,147.24	132,524.00	140,183.95	140,136.09
Information Technologies	505,979.31	575,653.48	611,404.00	464,166.14	637,134.00	662,138.94	668,980.64
Finance	393,588.91	403,643.93	420,315.00	276,445.34	414,245.00	438,204.01	438,259.43
Assessing	561,793.29	572,801.50	595,472.00	382,647.30	637,811.00	607,808.63	608,716.28
Village Hall	86,839.24	92,485.36	93,438.00	69,138.96	98,034.00	93,006.26	108,009.65
Roger Prange	229,998.95	243,876.70	226,992.00	137,923.29	225,281.00	220,616.68	222,454.05
Police	3,084,970.80	3,410,766.19	3,485,981.00	2,265,966.25	3,450,501.00	3,569,146.40	3,564,144.46
Fire & Rescue	2,410,227.20	2,513,846.39	3,196,213.00	1,769,432.22	2,890,145.00	3,260,565.16	3,272,485.75
Inspection	266,042.77	236,639.03	234,384.00	153,864.95	234,683.00	246,596.89	246,810.77
Public Safety Communications	367,687.09	399,700.06	437,025.00	231,233.82	408,419.00	427,844.73	427,722.16
Engineering	274,041.43	251,444.40	263,774.00	186,577.00	251,759.00	277,868.49	278,067.94
Public Works	1,430,784.76	1,393,577.09	1,294,001.00	746,902.02	1,166,696.00	1,329,434.06	1,328,869.98
Street Lighting	234,721.80	251,985.76	237,705.00	139,559.78	242,532.00	242,655.06	257,698.71
Parks/Recreation	348,307.44	389,177.32	353,898.00	289,320.72	354,593.00	351,578.44	357,373.39
Community Development	358,997.98	369,231.87	367,928.00	201,589.40	330,220.00	385,005.47	374,892.23
Total Operating Expenses	<u>11,218,925.28</u>	<u>11,751,229.43</u>	<u>12,516,447.00</u>	<u>7,808,566.04</u>	<u>12,033,847.00</u>	<u>12,811,461.90</u>	<u>12,851,597.94</u>
New Programs						770,661.42	240,725.74
Revenue Enhancers						(80,890.00)	(80,890.00)
Program Reductions						(137,521.00)	
Transfers							
Out		(14,690.00)			(700,000.00)		
In	805,297.00	843,323.00	822,727.00		822,727.00	822,727.00	843,323.00
Total Other Expenses	<u>(805,297.00)</u>	<u>(828,633.00)</u>	<u>(822,727.00)</u>		<u>(122,727.00)</u>	<u>(270,476.58)</u>	<u>(683,487.26)</u>
Net Income	400,149.78	201,451.20	(6.00)	1,472,543.62	57,415.00	(167,140.32)	0.32
<b>FUND BALANCE</b>							
Beginning of Year	3,114,743.00	3,514,893.00	3,716,344.00	3,716,344.00	3,716,344.00	3,773,759.00	3,773,759.00
End of Year	3,514,892.78	3,716,344.20	3,716,338.00	5,188,887.62	3,773,759.00	3,606,618.68	3,773,759.32
Reserved	722,226.00	583,181.00	750,000.00	750,000.00	600,000.00	750,000.00	750,000.00
Unreserved Fund Balance	2,792,666.78	3,133,163.20	2,966,338.00	4,438,887.62	3,173,759.00	2,856,618.68	3,023,759.32
15% of Revenue	1,622,066.71	1,668,607.14	1,754,057.10	1,392,166.45	1,795,280.25	1,856,076.75	1,825,216.65

Village of Pleasant Prairie

For the Twelve Months Ending December 31, 2009

	<u>Actual 10</u>	<u>Actual 11</u>	<u>2012 Amend</u>	<u>Actual 12</u>	<u>Estimate 12</u>	<u>Dept Request 13</u>	<u>Admin Request 13</u>
Available	\$1,170,600.07	\$1,464,556.06	\$1,212,280.90	\$3,046,721.17	\$1,378,478.75	\$1,000,541.93	\$1,198,542.67

Village of Pleasant Prairie  
PLPRAIRIE13  
Total Pleasant Prairie: Page: 1ROL

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
411100000	General Property Tax	5,476,832	5,504,720	7,154,860	7,154,860	7,154,838	7,154,860	635,704	7,628,305	7,224,400	
<b>XTOTPROPTAX</b>	<b>Total General Property Taxes</b>	<b>5,476,832</b>	<b>5,504,720</b>	<b>7,154,860</b>	<b>7,154,860</b>	<b>7,154,838</b>	<b>7,154,860</b>	<b>635,704</b>	<b>7,628,305</b>	<b>7,224,400</b>	
411102000	Property taxes - miscellaneous	-1,085	-322	-7,120	-7,120	-22	-7,121	0	0	0	
411103000	Property taxes - billed in err	1,667	0	0	0	0	0	0	0	0	
411105000	Ag use penalty	0	0	0	0	3,008	3,008	0	0	0	
411400000	Mobile home tax/village share	137,880	135,197	135,000	135,000	22,105	144,262	12,011	144,000	144,000	
412100000	Hotel/motel taxes	45,472	48,204	44,920	44,920	25,035	48,300	4,025	48,300	48,300	
413100000	Utility tax equivalent	0	0	0	0	0	0	0	0	0	
418000000	Property tax penalty	76,132	45,695	46,000	46,000	44,829	46,000	3,837	46,000	46,000	
419001000	Other taxes	16,220	16,908	17,000	17,000	16,930	16,930	1,424	17,000	17,000	
<b>XTOTTAXREV</b>	<b>Total Taxes</b>	<b>276,288</b>	<b>245,683</b>	<b>235,800</b>	<b>235,800</b>	<b>111,886</b>	<b>251,379</b>	<b>21,297</b>	<b>255,300</b>	<b>255,300</b>	
434100000	Income Tax from State	1,941,660	1,949,407	1,888,427	1,888,427	283,264	1,891,611	157,344	1,887,930	1,887,930	
434200000	Fire Insurance Dues from State	75,150	76,484	76,484	76,484	79,302	79,302	79,302	79,302	79,302	
435210000	Law Enforcement Grant	23,449	36,883	15,000	55,111	29,241	40,112	5,000	60,000	60,000	
435211000	Grants	0	0	0	0	0	0	0	0	0	
435280000	Emergency Government Grant	0	109,632	0	0	70,608	70,608	0	0	0	
435291000	Ambulance service grant	6,512	5,687	5,687	5,687	0	5,687	5,600	5,600	5,600	
435310000	Road Grant from State	804,477	911,869	0	0	0	0	0	0	0	
435350000	Exempt Computer Aid	23,102	23,126	21,567	21,567	21,618	21,618	1,807	21,618	25,339	
436100000	State Pymt for Municipal Services	1,509	1,327	1,200	1,200	1,360	1,360	117	1,360	1,360	
<b>XTOTINTGOVRE</b>	<b>Total Intergovernmental Revenues</b>	<b>2,875,861</b>	<b>3,114,415</b>	<b>2,008,365</b>	<b>2,048,476</b>	<b>485,393</b>	<b>2,110,298</b>	<b>249,170</b>	<b>2,055,810</b>	<b>2,059,531</b>	
441000000	Liquor licenses	20,928	11,215	12,000	12,000	11,980	11,980	12,000	12,000	12,000	
441001000	Bartender licenses	7,257	5,495	6,500	6,500	3,860	6,500	549	6,500	6,500	
441002000	Cabaret licenses	0	0	0	0	0	0	0	0	0	
441003000	Cigarette licenses	1,400	1,100	1,200	1,200	1,200	1,200	100	1,200	1,200	
441004000	Theatre licenses	300	300	300	300	300	300	25	300	300	
441005000	Other general licenses	2,396	3,388	2,540	2,540	1,570	2,935	267	2,940	2,940	
442001000	Dog licenses	6,684	6,181	6,600	6,600	1,846	6,600	550	6,600	6,600	
443001000	Single Family Building Permits	153,207	156,787	129,000	129,000	130,280	215,000	11,098	133,000	133,000	
443002000	Two Family Building Permits	218	3,603	18,000	18,000	3,838	7,600	424	5,000	5,000	
443003000	Multi-Family Building Permits	386	0	0	0	169	169	2,087	25,000	25,000	
443004000	Fire Dept Permits	44,058	63,383	13,000	24,180	9,982	25,500	3,323	39,755	39,755	
443005000	Commercial/Industrial Permits	57,304	88,301	60,000	60,000	38,998	69,720	10,935	131,000	316,000	
443006000	Miscellaneous Permits	4,653	5,742	9,100	9,100	6,829	7,379	7,400	7,400	7,400	
443007000	Commercial Electrical Permits	13,932	23,639	16,000	16,000	11,539	17,000	1,424	17,000	17,000	
443008000	Electrical Licenses	3,850	4,120	3,600	3,600	3,600	3,750	0	0	0	
443009000	Application Fees	270	850	200	200	0	0	0	0	0	
443010000	Weights & Measures	5,669	6,930	6,300	6,300	0	6,300	525	6,300	6,300	
443011000	Inspection Services	0	0	200	200	0	0	0	0	0	
444002000	Application Fees	51,929	79,473	56,312	56,312	34,690	53,000	55,000	55,000	55,000	
444003000	Development Fees	10	500	0	0	0	0	0	0	0	
444004000	Tax Exemption Form Fee	420	0	420	420	420	420	0	0	0	
444005000	Single Family Zoning Permits	15,790	15,210	16,033	16,033	13,375	17,000	17,250	17,250	17,250	
444006000	Two Family Zoning Permits	0	405	0	0	220	205	205	205	205	
444007000	Multi-Family Zoning Permits	40	0	0	0	40	925	1,000	1,000	1,000	
444008000	Comm/Industrial Zoning Permits	5,345	6,330	4,300	4,300	2,490	4,000	4,000	4,000	4,000	
444009000	Misc Zoning Permits/Fees	4,418	6,595	5,000	5,000	1,390	6,000	6,000	6,000	6,000	
445001000	Property Record Maintenance Fee	-4,682	4,890	44,000	44,000	28,619	44,000	47,500	47,500	47,500	

Village of Pleasant Prairie  
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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origir
445003000	Parcel Creation Maintenance Fee	0	0	0	0	0	0	0	0	0	0
<b>XTOTLICPERRE</b>	<b>Total Licenses and Permits</b>	<b>395,781</b>	<b>494,437</b>	<b>410,605</b>	<b>421,785</b>	<b>307,236</b>	<b>507,483</b>	<b>181,662</b>	<b>524,950</b>	<b>709,950</b>	
451001000	Municipal Court Revenue	225,748	258,175	260,000	265,000	272,116	350,000	270,000	270,000	270,000	
451002000	Parking Ticket Revenue	14,108	13,958	14,000	27,034	7,380	25,378	3,337	40,000	40,000	
<b>XTOTFFREV</b>	<b>Total Fines and Forfeitures</b>	<b>239,856</b>	<b>272,133</b>	<b>274,000</b>	<b>292,034</b>	<b>279,496</b>	<b>375,378</b>	<b>273,337</b>	<b>310,000</b>	<b>310,000</b>	
461001000	Publication Fees	1,146	377	350	350	503	503	31	350	350	
461002000	Impact Fees	0	0	0	0	0	0	0	0	0	
461004000	Prequalification Fees	2,690	1,710	2,000	2,000	1,410	2,000	174	2,000	2,000	
461006000	Administrative Fees	4,848	4,328	4,800	4,800	2,836	4,687	400	4,800	4,800	
461007000	Special Assessment Letters	6,562	5,884	5,500	5,500	4,801	5,500	462	5,500	5,500	
461010000	Co Location Services	0	0	0	0	0	0	0	0	0	
461011000	Franchise Fee	262,736	277,877	280,000	280,000	143,897	283,000	285,200	285,200	285,200	
462100000	Police Department Earnings	9,906	8,560	5,000	5,000	12,712	16,435	1,250	15,000	15,000	
462200000	Fire Department Earnings	44,750	36,300	20,000	20,000	16,346	21,000	20,000	20,000	20,000	
462300000	Rescue Squad Earnings	334,479	300,448	345,936	345,936	179,601	310,347	309,155	309,155	309,155	
463100000	Highway Dept Earnings	2,718	13,479	3,000	3,000	6,638	8,000	250	3,000	3,000	
463101000	Engineering Dept Services	192,387	123,270	125,000	125,000	92,224	144,700	160,500	160,500	160,500	
463102000	ROW Permits	8,850	5,575	5,720	5,720	7,050	10,700	12,386	12,386	12,386	
463103000	IT Department Services	2,530	3,355	3,280	3,280	3,280	3,280	3,372	3,372	3,372	
463210000	Street Lighting	127,884	131,958	135,000	135,000	90,325	135,000	11,250	135,000	144,450	
464401000	Weed & Nuisance Control	7,387	9,409	12,000	12,000	3,445	6,000	837	10,000	10,000	
464402000	Public Works Compliance Rev	2,493	0	0	0	0	0	0	0	0	
467520000	Pleasant Prairie Days Revenue	0	0	0	0	0	0	0	0	0	
467530000	PFD - Raffle Ticket Sales	0	0	0	0	0	0	0	0	0	
<b>XTOTPUBCHRE</b>	<b>Total Public Charges for Service</b>	<b>1,011,367</b>	<b>922,531</b>	<b>947,586</b>	<b>947,586</b>	<b>565,069</b>	<b>951,152</b>	<b>805,267</b>	<b>966,263</b>	<b>975,713</b>	
473210000	School Liaison Officer	46,157	51,168	64,790	64,790	33,388	64,790	5,401	64,790	64,790	
473600000	Utility Lease Pmt for V Hall	59,976	59,976	59,976	59,976	0	59,976	4,998	59,976	59,976	
473601000	Auditorium Rental	0	0	0	0	0	0	0	0	0	
473901000	Assessing Contracts - Invoiced	285,966	296,466	293,356	293,356	235,643	281,256	289,407	289,407	289,407	
473901000A	Assessing Contracts - Fund Balance	0	0	0	0	0	13,900	20,493	20,493	20,493	
<b>XTOTSFREV</b>	<b>Total Special Fund Activity</b>	<b>392,099</b>	<b>407,610</b>	<b>418,122</b>	<b>418,122</b>	<b>269,030</b>	<b>419,922</b>	<b>320,299</b>	<b>434,666</b>	<b>434,666</b>	
481101000	Interest on Investments	45,079	28,967	45,000	45,000	26,491	57,875	4,587	55,000	55,000	
481103000	Penalty on General Invoice	7,725	5,181	7,300	7,300	3,639	7,300	612	7,300	7,300	
482001000	Tower Leases	71,673	76,601	76,601	76,601	54,485	76,601	6,388	76,601	76,601	
484401000	Insurance Award	0	5,571	5,000	5,000	0	5,000	424	5,000	5,000	
485001000	Donations	850	2,300	1,000	1,000	1,250	2,300	87	1,000	1,000	
485005000	Media Communications	15,125	16,343	7,000	7,000	10,019	21,250	20,500	20,500	20,500	
489001000	Miscellaneous Receipts	3,088	25,781	31,150	31,150	9,248	25,237	2,605	31,150	31,150	
489005000	Miscellaneous Sales	1,771	1,531	2,000	2,000	2,947	2,500	174	2,000	2,000	
489009000	Cash Overages/Shortages	383	244	0	0	81	0	0	0	0	
<b>XTOTMSGREV</b>	<b>Total Miscellaneous Rev</b>	<b>145,695</b>	<b>162,520</b>	<b>175,051</b>	<b>175,051</b>	<b>108,161</b>	<b>198,063</b>	<b>35,377</b>	<b>198,551</b>	<b>198,551</b>	
492001000	Operating Transfer In	0	0	0	0	0	0	0	0	0	
492002000	Transfer In - Tax Equivalent	805,297	843,323	822,727	822,727	0	822,727	68,567	822,727	843,323	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012 Origin	Adm
XTOTREV	Total Revenue	11,619,075	11,967,371	12,447,116	12,516,441	9,281,110	12,791,262	2,590,680	13,196,572	13,011,434	



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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	5,524,000	5,458,997	6,072,371	6,043,324	3,723,517	0	539,641	6,455,552	6,455,552	
111	Part - time salaries	541,223	599,504	597,697	603,676	346,753	0	50,443	604,107	615,557	
112	Overtime salaries	231,880	286,731	191,350	226,899	194,273	0	19,353	232,241	230,600	
113	Elected salaries	52,283	52,121	52,000	52,000	34,707	0	4,333	52,000	52,000	
114	Poc salaries	76,317	67,778	89,356	89,356	51,917	0	5,836	78,132	80,233	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	6,400	6,400	6,400	6,400	4,267	0	533	6,400	6,400	
124	Village Board per Diem	600	450	1,000	1,000	0	0	83	1,000	1,000	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	484,148	487,304	536,276	536,734	325,773	0	47,447	568,351	569,262	
152	Wisconsin retirement	850,161	827,294	796,777	797,178	468,899	0	63,911	765,052	776,579	
153	Worker's compensation	102,902	177,600	189,523	189,708	105,417	0	15,988	191,714	192,191	
154	Health & life benefits	1,210,868	1,483,594	1,599,858	1,599,871	968,805	0	136,272	1,635,264	1,635,300	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	1,157	1,192	2,303	2,303	883	0	0	0	0	
158	Long - term disability insurance	12,864	13,177	15,672	15,673	8,781	0	1,393	16,567	16,567	
197	Vacant Positions not filled	0	0	0	0	0	0	-7,868	-94,361	-94,361	
198	TID Hours Charge Out	-61,810	-53,899	-60,000	-60,000	0	0	-5,000	-60,000	-60,000	
199	Personnel Transfer	-598,254	-613,195	-620,312	-620,313	-404,332	1,589	-54,205	-648,766	-649,241	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	9,070,505	0	0	0	

<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>8,434,740</b>	<b>8,795,048</b>	<b>9,470,272</b>	<b>9,483,809</b>	<b>5,829,660</b>	<b>9,072,094</b>	<b>818,162</b>	<b>9,803,252</b>	<b>9,827,638</b>	
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200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	30,974	88,010	72,843	72,842	42,590	72,842	6,007	44,452	44,452	
202	Occupational health evaluatns	22,756	24,899	43,846	51,696	23,423	50,559	27,963	35,872	35,872	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	8,929	9,335	10,950	10,950	3,731	5,416	8,236	9,600	9,600	
206	Contractual printing	26,842	29,205	39,160	38,460	14,836	30,860	34,244	36,257	36,257	
207	Janitorial services	54,249	54,383	58,050	58,050	40,921	56,350	4,829	57,750	59,550	
209	A/r collection service	26,547	18,957	22,457	20,757	12,093	20,500	18,909	20,460	20,460	
210	Attorney fees	159,653	127,023	111,500	136,756	63,310	149,688	107,707	115,000	105,000	
211	Accounting/audit fees	54,682	56,160	61,000	59,000	48,637	59,000	5,087	61,000	61,000	
212	Engineering fees	3,343	119	1,350	1,850	485	1,050	387	1,300	1,300	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	118,734	235,132	100,700	108,660	38,373	90,336	56,297	85,337	85,337	
215	Commission/pollworker services	19,540	21,578	39,940	39,940	30,123	37,368	25,919	27,470	27,470	
216	Attorney fees - personnel svc	10,026	10,546	14,000	14,000	4,746	11,000	14,500	14,500	14,500	
217	Land use/plan consultants	0	11,875	0	0	18,238	18,500	7,500	7,500	7,500	
219	Manufacturing Assessment Fee	22,134	18,452	17,000	17,000	16,587	16,587	16,565	16,565	16,565	
220	Electric	318,402	350,622	322,450	322,450	201,566	331,100	39,796	333,100	348,150	
221	Natural gas	53,072	44,435	69,350	67,050	20,558	52,300	14,823	55,600	55,600	
222	Municipal sewer	5,263	5,731	5,963	5,963	4,303	6,063	1,436	6,144	6,144	
223	Municipal water	15,389	19,367	17,340	17,340	16,623	20,340	3,204	18,340	18,340	
224	Telephone service	48,176	53,287	112,914	112,874	76,422	112,209	92,547	112,424	112,424	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	25,247	24,522	16,206	16,106	11,922	17,234	10,699	16,826	16,826	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
226	Data/voice communications	43,567	44,034	59,050	59,050	36,195	56,625	40,236	54,932	54,932	
228	Garbage/Recycling	2,382	2,382	2,430	2,430	1,552	2,412	784	2,412	2,412	
229	Clean Water	35,078	38,135	40,632	40,632	23,885	40,407	3,777	40,407	40,407	
230	Equipment rental	655	3,214	2,000	2,000	74	2,000	174	2,000	2,000	
231	Equipment leases	0	0	0	0	0	0	0	0	0	
232	Facility Lease	0	0	0	0	0	0	0	0	15,000	
239	Telephone Transfer	0	0	-65,232	-65,232	-48,924	-65,232	-65,232	-65,232	-65,232	
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	
241	Software maintenance agreemt	145,161	189,789	256,239	256,239	215,496	234,620	199,140	244,867	244,867	
242	Contracted Equipment maintenance	55,617	65,982	60,624	60,624	39,617	61,085	37,392	63,638	63,638	
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	
244	Contracted Building maintenance	90,860	93,381	86,509	86,509	48,779	93,612	17,331	79,206	79,206	
245	Communications maintenance	0	0	0	0	0	0	0	0	0	
246	Vehicle maintenance	98,083	88,667	95,330	95,030	45,286	92,830	59,674	91,750	81,750	
260	Travel	12,890	12,203	16,664	18,674	9,042	18,349	17,245	18,719	18,719	
261	Meals & lodging	18,538	15,104	23,012	25,362	13,636	24,607	19,110	26,370	26,370	
262	Conferences/seminars/training	64,033	70,882	82,400	77,440	48,485	73,295	60,457	99,166	97,166	
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	
272	Attorney fees - consortium	0	0	4,000	4,000	0	2,000	4,000	4,000	4,000	
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	
274	Weights & measures	0	0	0	0	0	0	0	0	0	
275	Fire sprinkler plan review	23,601	29,369	7,900	16,000	13,831	16,000	27,335	27,335	27,335	
276	Stray animal care	14,213	15,580	16,360	16,360	12,010	16,360	1,367	16,360	16,360	
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	
285	Code enforcement	0	0	0	0	0	0	0	0	0	
286	Credit Card Processing Fee	519	985	1,200	1,000	519	1,000	1,000	1,000	1,000	
299	It department allocation	0	0	0	0	0	0	0	0	0	

<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>1,629,156</b>	<b>1,873,346</b>	<b>1,826,137</b>	<b>1,867,862</b>	<b>1,148,969</b>	<b>1,829,272</b>	<b>920,445</b>	<b>1,782,427</b>	<b>1,792,277</b>	
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300	Memberships & subscriptions	22,718	24,344	28,093	27,943	26,000	28,691	17,889	33,234	33,234	
310	Office supplies	13,452	15,245	21,750	21,750	10,953	25,277	16,852	26,400	24,500	
311	Copying/Printing	42,609	46,923	47,265	45,809	21,809	41,956	29,851	47,055	47,055	
312	Mailing	52,896	53,116	82,007	82,007	39,185	75,413	53,085	70,245	70,245	
330	Election Supplies	2,273	4,188	7,925	7,925	3,240	7,925	2,500	2,500	2,500	
332	Fire supplies & equipment	5,256	4,441	15,845	15,845	6,760	15,845	15,342	15,342	15,342	
333	Rescue supplies & equipment	17,266	29,984	29,574	29,574	13,348	29,574	31,186	31,186	31,186	
334	Police evidence	3,408	3,578	3,500	5,000	5,124	5,000	424	5,000	5,000	
336	Village board of review exp	31	802	100	100	447	500	600	600	600	
350	Minor equipment/tool replacem	61,426	71,919	64,470	78,112	89,924	101,423	115,765	135,620	135,620	
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	
352	Uniform services & uniforms	41,761	37,145	40,698	40,698	28,149	39,164	20,159	37,198	37,198	
353	Safety equipment	10,562	20,797	38,760	38,760	22,828	38,760	19,565	22,315	22,315	
354	Medical supplies	0	0	0	0	0	0	0	0	0	
355	Janitorial/cleaning supplies	7,673	6,550	7,694	7,694	4,197	8,344	3,311	8,294	8,294	

Village of Pleasant Prairie  
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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	98,214	121,714	111,100	111,100	84,212	110,702	41,424	101,000	101,000	
358	Squad materials	0	0	0	0	0	0	0	0	0	
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	
362	Equipment maintenance supplies	8,035	17,536	36,517	36,517	30,241	42,115	29,866	42,670	42,670	
364	Building maintenance supplies	15,393	8,409	12,780	12,780	11,226	14,258	4,952	13,180	13,180	
366	Vehicle Maintenance supplies	13,652	6,317	6,300	6,300	5,236	6,450	4,271	5,646	5,646	
370	Landscaping supplies	14,260	16,824	14,900	14,900	13,564	15,300	1,286	15,300	15,300	
371	Signs	6,592	6,072	4,600	4,600	4,894	4,900	393	4,650	4,650	
372	Gravel/crushed stone	34,624	20,309	20,000	20,000	6,056	20,000	1,674	20,000	20,000	
373	Pavement materials	47,044	33,245	30,000	30,000	25,768	30,000	2,500	30,000	30,000	
374	Salt	222,354	150,505	160,000	160,000	145,276	153,235	15,174	182,000	182,000	
375	Culvert installation	0	0	0	0	0	0	0	0	0	
399	Miscellaneous expense	11,650	8,974	12,085	12,185	5,823	11,460	5,945	12,160	12,160	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>753,148</b>	<b>708,935</b>	<b>795,963</b>	<b>809,599</b>	<b>604,259</b>	<b>826,292</b>	<b>434,014</b>	<b>861,595</b>	<b>859,695</b>	
510	Property & liability insurance	89,963	90,584	99,469	99,469	78,233	95,966	95,774	95,774	95,774	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	-184,900	-234,975	-235,000	-235,000	-156,667	-235,000	-22,110	-265,100	-257,300	
905	Internal Service Fund	484,167	513,972	490,278	490,708	304,110	445,223	72,746	533,514	533,514	
910	Settlements	12,650	4,319	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>11,218,925</b>	<b>11,751,229</b>	<b>12,447,118</b>	<b>12,516,447</b>	<b>7,808,566</b>	<b>12,033,847</b>	<b>2,319,031</b>	<b>12,811,462</b>	<b>12,851,598</b>	
990	New program requests	0	0	0	0	0	0	363,965	440,954	162,903	
991	New program requests - Personnel	0	0	0	0	0	0	27,476	329,707	77,823	
993	Revenue Enhancer	0	0	0	0	0	0	74,191	80,890	80,890	
994	Program Reductions	0	0	0	0	0	0	-11,472	-137,521	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>11,218,925</b>	<b>11,751,229</b>	<b>12,447,118</b>	<b>12,516,447</b>	<b>7,808,566</b>	<b>12,033,847</b>	<b>2,624,809</b>	<b>13,363,712</b>	<b>13,011,434</b>	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	0	0	0	0	0	0	0	0	0	
111	Part - time salaries	0	0	0	0	0	0	0	0	0	
112	Overtime salaries	0	0	0	0	0	0	0	0	0	
113	Elected salaries	32,282	32,121	32,000	32,000	21,374	0	2,667	32,000	32,000	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	6,400	6,400	6,400	6,400	4,267	0	533	6,400	6,400	
124	Village Board per Diem	600	450	1,000	1,000	0	0	83	1,000	1,000	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	2,959	2,978	3,014	3,014	1,964	0	251	3,014	3,014	
152	Wisconsin retirement	2,615	2,468	2,327	2,327	1,034	0	198	2,376	2,310	
153	Worker's compensation	50	99	118	118	58	0	8	91	91	
154	Health & life benefits	1,448	1,697	1,850	1,850	1,233	0	154	1,850	1,850	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	0	0	0	0	0	0	0	0	0	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	0	0	0	0	0	0	0	0	0	
199	Personnel Transfer	0	0	0	0	0	0	0	0	0	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	46,709	0	0	0	
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>46,354</b>	<b>46,213</b>	<b>46,709</b>	<b>46,709</b>	<b>29,930</b>	<b>46,709</b>	<b>3,894</b>	<b>46,731</b>	<b>46,665</b>	
200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	0	0	0	0	0	0	0	0	0	
202	Occupational health evaluatns	0	0	0	0	0	0	0	0	0	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	0	0	0	0	0	0	0	0	0	
206	Contractual printing	179	63	0	0	0	0	0	0	0	
207	Janitorial services	0	0	0	0	0	0	0	0	0	
209	A/r collection service	0	0	0	0	0	0	0	0	0	
210	Attorney fees	75	125	500	500	0	0	49	500	500	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	0	0	0	0	0	0	0	0	0	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	0	0	0	0	0	0	0	0	0	
215	Commission/pollworker services	0	0	0	0	0	0	0	0	0	
216	Attorney fees - personnel svc	0	0	0	0	0	0	0	0	0	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	0	0	0	0	0	0	0	0	0	
221	Natural gas	0	0	0	0	0	0	0	0	0	
222	Municipal sewer	0	0	0	0	0	0	0	0	0	
223	Municipal water	0	0	0	0	0	0	0	0	0	
224	Telephone service	0	0	0	0	0	0	0	0	0	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	0	0	0	0	0	0	0	0	0	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
226	Data/voice communications	0	0	0	0	0	0	0	0	0	0
228	Garbage/Recycling	0	0	0	0	0	0	0	0	0	0
229	Clean Water	0	0	0	0	0	0	0	0	0	0
230	Equipment rental	0	0	0	0	0	0	0	0	0	0
231	Equipment leases	0	0	0	0	0	0	0	0	0	0
232	Facility Lease	0	0	0	0	0	0	0	0	0	0
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	0
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	0
241	Software maintenance agreemt	0	0	0	0	0	0	0	0	0	0
242	Contracted Equipment maintenance	0	0	0	0	0	0	0	0	0	0
243	Contracted Maintenance agreement	0	0	0	0	0	0	0	0	0	0
244	Contracted Building maintenance	0	0	0	0	0	0	0	0	0	0
245	Communications maintenance	0	0	0	0	0	0	0	0	0	0
246	Vehicle maintenance	0	0	0	0	0	0	0	0	0	0
260	Travel	70	0	0	0	0	0	0	0	0	0
261	Meals & lodging	1,910	563	2,000	2,000	390	2,000	174	2,000	2,000	0
262	Conferences/seminars/training	1,239	1,584	1,250	1,250	345	1,250	125	1,500	1,500	0
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	0
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	0
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	0
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	0
274	Weights & measures	0	0	0	0	0	0	0	0	0	0
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	0
276	Stray animal care	0	0	0	0	0	0	0	0	0	0
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	0
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	0
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	0
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	0
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	0
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	0
285	Code enforcement	0	0	0	0	0	0	0	0	0	0
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	0
299	It department allocation	0	0	0	0	0	0	0	0	0	0
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>3,474</b>	<b>2,336</b>	<b>3,750</b>	<b>3,750</b>	<b>735</b>	<b>3,250</b>	<b>348</b>	<b>4,000</b>	<b>4,000</b>	
300	Memberships & subscriptions	8,344	9,685	9,885	9,885	11,628	11,628	1,012	12,001	12,001	0
310	Office supplies	6	115	150	150	32	150	150	150	150	0
311	Copying/Printing	0	0	0	0	0	0	0	0	0	0
312	Mailing	0	0	0	0	0	0	0	0	0	0
330	Election Supplies	0	0	0	0	0	0	0	0	0	0
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	0
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	0
334	Police evidence	0	0	0	0	0	0	0	0	0	0
336	Village board of review exp	0	0	0	0	0	0	0	0	0	0
350	Minor equipment/tool replacemt	0	0	0	0	0	0	0	0	0	0
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	0
352	Uniform services & uniforms	0	0	0	0	0	0	0	0	0	0
353	Safety equipment	0	0	0	0	0	0	0	0	0	0
354	Medical supplies	0	0	0	0	0	0	0	0	0	0
355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0	0	0

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	0	0	0	0	0	0	0	0	0	0
358	Squad materials	0	0	0	0	0	0	0	0	0	0
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	0
362	Equipment maintenance supplies	0	0	0	0	0	0	0	0	0	0
364	Building maintenance supplies	0	0	0	0	0	0	0	0	0	0
366	Vehicle Maintenance supplies	0	0	0	0	0	0	0	0	0	0
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	0
371	Signs	0	0	0	0	0	0	0	0	0	0
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	0
373	Pavement materials	0	0	0	0	0	0	0	0	0	0
374	Salt	0	0	0	0	0	0	0	0	0	0
375	Culvert installation	0	0	0	0	0	0	0	0	0	0
399	Miscellaneous expense	1,275	824	1,500	1,500	830	1,500	125	1,500	1,500	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>9,625</b>	<b>10,625</b>	<b>11,535</b>	<b>11,535</b>	<b>12,489</b>	<b>13,278</b>	<b>1,287</b>	<b>13,651</b>	<b>13,651</b>	
510	Property & liability insurance	27,097	24,865	28,500	28,500	22,109	29,600	29,950	29,950	29,950	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	0	0	0	0	0	0	0	0	0	
905	Internal Service Fund	0	0	0	0	0	0	0	0	0	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>86,549</b>	<b>84,039</b>	<b>90,494</b>	<b>90,494</b>	<b>65,262</b>	<b>92,837</b>	<b>35,479</b>	<b>94,332</b>	<b>94,266</b>	
990	New program requests	0	0	0	0	0	0	0	0	0	
991	New program requests - Personnel	0	0	0	0	0	0	0	0	0	
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	
994	Program Reductions	0	0	0	0	0	0	0	0	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>86,549</b>	<b>84,039</b>	<b>90,494</b>	<b>90,494</b>	<b>65,262</b>	<b>92,837</b>	<b>35,479</b>	<b>94,332</b>	<b>94,266</b>	

Village of Pleasant Prairie  
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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	45,819	36,781	39,310	39,310	25,466	0	3,838	41,839	41,839	
111	Part - time salaries	4,693	12,248	16,640	16,640	9,283	0	1,387	16,640	17,139	
112	Overtime salaries	3,747	1,122	2,934	2,934	1,206	0	273	3,282	1,641	
113	Elected salaries	20,000	20,000	20,000	20,000	13,333	0	1,667	20,000	20,000	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	5,666	5,348	6,035	6,035	3,757	0	548	6,255	6,167	
152	Wisconsin retirement	7,545	6,357	4,884	4,884	3,061	0	488	5,578	5,431	
153	Worker's compensation	132	207	237	237	131	0	16	188	185	
154	Health & life benefits	16,156	16,522	15,700	15,700	9,814	0	1,295	15,536	15,536	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	0	0	0	0	0	0	0	0	0	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	0	0	0	0	0	0	0	0	0	
199	Personnel Transfer	0	-6,953	-9,492	-9,492	-5,295	0	-797	-9,553	-9,835	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	96,248	0	0	0	
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>103,756</b>	<b>91,631</b>	<b>96,247</b>	<b>96,248</b>	<b>60,757</b>	<b>96,248</b>	<b>8,716</b>	<b>99,765</b>	<b>98,105</b>	
200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	0	841	601	601	351	601	39	369	369	
202	Occupational health evaluatns	387	31	0	0	0	0	0	0	0	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	0	0	0	0	0	0	0	0	0	
206	Contractual printing	765	47	100	100	0	0	50	50	50	
207	Janitorial services	0	0	0	0	0	0	0	0	0	
209	A/r collection service	0	0	0	0	0	0	0	0	0	
210	Attorney fees	34,500	34,500	34,500	34,500	23,000	34,500	34,500	34,500	34,500	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	0	0	0	0	0	0	0	0	0	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	2,067	2,655	2,550	7,550	5,380	7,400	6,300	6,300	6,300	
215	Commission/pollworker services	0	0	0	0	0	0	0	0	0	
216	Attorney fees - personnel svc	0	0	0	0	0	0	0	0	0	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	0	0	0	0	0	0	0	0	0	
221	Natural gas	0	0	0	0	0	0	0	0	0	
222	Municipal sewer	0	0	0	0	0	0	0	0	0	
223	Municipal water	0	0	0	0	0	0	0	0	0	
224	Telephone service	963	666	600	600	414	600	600	600	600	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	0	0	0	0	0	0	0	0	0	

Village of Pleasant Prairie  
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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origir
226	Data/voice communications	0	0	0	0	0	0	0	0	0	0
228	Garbage/Recycling	0	0	0	0	0	0	0	0	0	0
229	Clean Water	0	0	0	0	0	0	0	0	0	0
230	Equipment rental	0	0	0	0	0	0	0	0	0	0
231	Equipment leases	0	0	0	0	0	0	0	0	0	0
232	Facility Lease	0	0	0	0	0	0	0	0	0	0
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	0
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	0
241	Software maintenance agreem	7,304	6,014	6,194	6,194	6,194	6,194	6,379	6,379	6,379	6,379
242	Contracted Equipment maintenance	0	0	0	0	0	0	0	0	0	0
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	0
244	Contracted Building maintenance	0	0	0	0	0	0	0	0	0	0
245	Communications maintenance	0	0	0	0	0	0	0	0	0	0
246	Vehicle maintenance	0	0	0	0	0	0	0	0	0	0
260	Travel	456	210	400	410	58	410	650	650	650	650
261	Meals & lodging	226	637	562	912	226	912	1,000	1,000	1,000	1,000
262	Conferences/seminars/training	2,545	645	625	665	665	665	665	665	665	665
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	0
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	0
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	0
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	0
274	Weights & measures	0	0	0	0	0	0	0	0	0	0
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	0
276	Stray animal care	0	0	0	0	0	0	0	0	0	0
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	0
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	0
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	0
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	0
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	0
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	0
285	Code enforcement	0	0	0	0	0	0	0	0	0	0
286	Credit Card Processing Fee	519	985	1,200	1,000	519	1,000	1,000	1,000	1,000	1,000
299	It department allocation	0	0	0	0	0	0	0	0	0	0
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>49,731</b>	<b>47,232</b>	<b>47,332</b>	<b>52,532</b>	<b>36,806</b>	<b>52,282</b>	<b>51,183</b>	<b>51,513</b>	<b>51,513</b>	
300	Memberships & subscriptions	100	228	400	200	100	200	400	400	400	400
310	Office supplies	647	315	600	600	224	250	350	350	350	350
311	Copying/Printing	2,715	1,700	1,600	1,600	434	800	800	800	800	800
312	Mailing	2,157	2,281	2,060	2,060	1,141	1,800	1,800	1,800	1,800	1,800
330	Election Supplies	0	0	0	0	0	0	0	0	0	0
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	0
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	0
334	Police evidence	0	0	0	0	0	0	0	0	0	0
336	Village board of review exp	0	0	0	0	0	0	0	0	0	0
350	Minor equipment/tool replacem	10,228	195	0	0	0	0	0	0	0	0
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	0
352	Uniform services & uniforms	0	0	0	0	0	0	0	0	0	0
353	Safety equipment	0	0	0	0	0	0	0	0	0	0
354	Medical supplies	0	0	0	0	0	0	0	0	0	0
355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0	0	0



		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	0	0	0	0	0	0	0	0	0	0
358	Squad materials	0	0	0	0	0	0	0	0	0	0
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	0
362	Equipment maintenance supplies	0	0	0	0	0	0	0	0	0	0
364	Building maintenance supplies	0	0	0	0	0	0	0	0	0	0
366	Vehicle Maintenance supplies	0	0	0	0	0	0	0	0	0	0
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	0
371	Signs	0	0	0	0	0	0	0	0	0	0
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	0
373	Pavement materials	0	0	0	0	0	0	0	0	0	0
374	Salt	0	0	0	0	0	0	0	0	0	0
375	Culvert installation	0	0	0	0	0	0	0	0	0	0
399	Miscellaneous expense	68	0	350	350	213	200	300	300	300	300
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>15,916</b>	<b>4,718</b>	<b>5,010</b>	<b>4,810</b>	<b>2,111</b>	<b>3,250</b>	<b>3,650</b>	<b>3,650</b>	<b>3,650</b>	
510	Property & liability insurance	389	239	370	370	192	255	260	260	260	260
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	0
710	Merchandise	0	0	0	0	0	0	0	0	0	0
900	Contingency	0	0	0	0	0	0	0	0	0	0
901	Non Personnel Transfer	0	0	0	0	0	0	0	0	0	0
905	Internal Service Fund	0	0	0	0	0	0	0	0	0	0
910	Settlements	0	0	0	0	0	0	0	0	0	0
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>169,792</b>	<b>143,820</b>	<b>148,959</b>	<b>153,960</b>	<b>99,866</b>	<b>152,035</b>	<b>63,809</b>	<b>155,188</b>	<b>153,528</b>	
990	New program requests	0	0	0	0	0	0	0	0	0	0
991	New program requests - Personnel	0	0	0	0	0	0	0	0	0	0
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	0
994	Program Reductions	0	0	0	0	0	0	0	0	0	0
995	Program reductions	0	0	0	0	0	0	0	0	0	0
<b>XGT</b>	<b>Grand Total</b>	<b>169,792</b>	<b>143,820</b>	<b>148,959</b>	<b>153,960</b>	<b>99,866</b>	<b>152,035</b>	<b>63,809</b>	<b>155,188</b>	<b>153,528</b>	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	310,733	316,513	321,988	321,988	214,559	0	20,337	244,049	244,049	
111	Part - time salaries	0	0	0	0	0	0	0	0	0	
112	Overtime salaries	0	0	0	0	0	0	0	0	0	
113	Elected salaries	0	0	0	0	0	0	0	0	0	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	23,024	23,237	24,632	24,632	16,123	0	1,556	18,670	18,670	
152	Wisconsin retirement	34,176	29,256	18,997	18,997	12,491	0	1,363	16,351	16,229	
153	Worker's compensation	578	971	966	966	562	0	47	561	561	
154	Health & life benefits	31,100	33,190	31,240	31,240	23,391	0	3,864	46,367	46,367	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	0	0	0	0	0	0	0	0	0	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	-38,081	-34,969	-60,000	-60,000	0	0	-5,000	-60,000	-60,000	
199	Personnel Transfer	-145,384	-147,172	-143,215	-143,215	-95,904	0	-9,812	-117,359	-117,316	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	194,608	0	0	0	
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>216,146</b>	<b>221,026</b>	<b>194,608</b>	<b>194,608</b>	<b>171,222</b>	<b>194,608</b>	<b>12,354</b>	<b>148,639</b>	<b>148,561</b>	
200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	0	4,248	3,496	3,496	2,039	3,496	187	2,123	2,123	
202	Occupational health evaluatns	0	0	0	0	0	0	0	0	0	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	835	716	1,000	1,000	604	1,000	500	500	500	
206	Contractual printing	23,442	26,545	32,500	32,500	13,221	26,450	30,050	30,050	30,050	
207	Janitorial services	0	0	0	0	0	0	0	0	0	
209	A/r collection service	0	0	0	0	0	0	0	0	0	
210	Attorney fees	13,346	3,826	5,000	5,000	14,132	15,000	10,000	10,000	10,000	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	0	0	0	0	0	0	0	0	0	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	2,276	1,751	4,000	4,000	1,041	2,500	2,500	2,500	2,500	
215	Commission/pollworker services	15,040	16,303	32,040	32,040	27,635	32,040	0	0	0	
216	Attorney fees - personnel svc	1,069	2,681	4,000	4,000	2,051	4,000	4,000	4,000	4,000	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	0	0	0	0	0	0	0	0	0	
221	Natural gas	0	0	0	0	0	0	0	0	0	
222	Municipal sewer	0	0	0	0	0	0	0	0	0	
223	Municipal water	0	0	0	0	0	0	0	0	0	
224	Telephone service	1,444	1,332	1,200	1,200	819	1,200	1,200	1,200	1,200	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	1,206	569	1,200	1,200	222	1,200	1,100	1,100	1,100	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
226	Data/voice communications	439	802	1,500	1,500	483	1,500	1,500	1,500	1,500	
228	Garbage/Recycling	0	0	0	0	0	0	0	0	0	
229	Clean Water	0	0	0	0	0	0	0	0	0	
230	Equipment rental	0	0	0	0	0	0	0	0	0	
231	Equipment leases	0	0	0	0	0	0	0	0	0	
232	Facility Lease	0	0	0	0	0	0	0	0	0	
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	
241	Software maintenance agreemt	0	0	0	0	0	0	0	0	0	
242	Contracted Equipment maintenance	1,697	1,687	3,500	3,500	1,984	2,000	0	0	0	
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	
244	Contracted Building maintenance	0	0	0	0	0	0	0	0	0	
245	Communications maintenance	0	0	0	0	0	0	0	0	0	
246	Vehicle maintenance	0	0	0	0	0	0	0	0	0	
260	Travel	324	1,262	3,000	3,000	1,222	3,000	2,500	2,500	2,500	
261	Meals & lodging	1,606	1,632	3,600	3,600	1,025	3,600	3,000	3,000	3,000	
262	Conferences/seminars/training	2,881	2,598	4,850	4,850	2,485	4,330	4,200	4,200	4,200	
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	
274	Weights & measures	0	0	0	0	0	0	0	0	0	
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	
276	Stray animal care	0	0	0	0	0	0	0	0	0	
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	
285	Code enforcement	0	0	0	0	0	0	0	0	0	
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	
299	It department allocation	0	0	0	0	0	0	0	0	0	
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>65,605</b>	<b>65,952</b>	<b>100,886</b>	<b>100,886</b>	<b>68,963</b>	<b>101,316</b>	<b>60,737</b>	<b>62,673</b>	<b>62,673</b>	
300	Memberships & subscriptions	4,146	4,639	4,900	4,900	3,468	4,900	4,650	4,650	4,650	
310	Office supplies	1,397	1,384	3,000	3,000	785	2,800	2,700	2,700	2,700	
311	Copying/Printing	3,364	6,479	3,200	3,200	2,027	3,200	1,500	1,500	1,500	
312	Mailing	26,189	27,322	48,500	48,500	21,995	43,650	30,815	30,815	30,815	
330	Election Supplies	2,273	4,188	7,925	7,925	3,240	7,925	0	0	0	
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	
334	Police evidence	0	0	0	0	0	0	0	0	0	
336	Village board of review exp	0	0	0	0	0	0	0	0	0	
350	Minor equipment/tool replacemt	0	156	2,000	2,000	360	2,000	2,000	2,000	2,000	
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	
352	Uniform services & uniforms	0	0	0	0	0	0	0	0	0	
353	Safety equipment	0	0	0	0	0	0	0	0	0	
354	Medical supplies	0	0	0	0	0	0	0	0	0	
355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0	0	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	0	0	0	0	0	0	0	0	0	
358	Squad materials	0	0	0	0	0	0	0	0	0	
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	
362	Equipment maintenance supplies	0	0	0	0	0	0	0	0	0	
364	Building maintenance supplies	0	0	0	0	0	0	0	0	0	
366	Vehicle Maintenance supplies	0	0	0	0	0	0	0	0	0	
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	
371	Signs	0	0	0	0	0	0	0	0	0	
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	
373	Pavement materials	0	0	0	0	0	0	0	0	0	
374	Salt	0	0	0	0	0	0	0	0	0	
375	Culvert installation	0	0	0	0	0	0	0	0	0	
399	Miscellaneous expense	1,944	2,113	2,000	2,000	1,266	2,000	1,500	1,500	1,500	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>39,312</b>	<b>46,280</b>	<b>71,525</b>	<b>71,525</b>	<b>33,141</b>	<b>66,475</b>	<b>43,165</b>	<b>43,165</b>	<b>43,165</b>	
510	Property & liability insurance	1,601	1,803	1,995	1,995	930	1,099	1,135	1,135	1,135	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	-37,600	-49,100	-49,100	-49,100	-32,733	-49,100	-3,375	-40,500	-40,500	
905	Internal Service Fund	0	0	0	0	0	0	5,550	5,550	5,550	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>285,063</b>	<b>285,961</b>	<b>319,914</b>	<b>319,914</b>	<b>241,523</b>	<b>314,398</b>	<b>119,566</b>	<b>220,662</b>	<b>220,584</b>	
990	New program requests	0	0	0	0	0	0	0	0	0	
991	New program requests - Personnel	0	0	0	0	0	0	0	0	0	
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	
994	Program Reductions	0	0	0	0	0	0	0	0	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>285,063</b>	<b>285,961</b>	<b>319,914</b>	<b>319,914</b>	<b>241,523</b>	<b>314,398</b>	<b>119,566</b>	<b>220,662</b>	<b>220,584</b>	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adrr Origin
110	Salaries	0	0	0	0	0	0	7,290	87,476	87,476	
111	Part - time salaries	0	0	0	0	0	0	0	0	0	
112	Overtime salaries	0	0	0	0	0	0	0	0	0	
113	Elected salaries	0	0	0	0	0	0	0	0	0	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	0	0	0	0	0	0	558	6,692	6,692	
152	Wisconsin retirement	0	0	0	0	0	0	488	5,861	5,817	
153	Worker's compensation	0	0	0	0	0	0	17	201	201	
154	Health & life benefits	0	0	0	0	0	0	0	0	0	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	0	0	0	0	0	0	0	0	0	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	0	0	0	0	0	0	0	0	0	
199	Personnel Transfer	0	0	0	0	0	0	-3,028	-36,083	-36,067	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	0	0	0	0	
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>5,325</b>	<b>64,147</b>	<b>64,119</b>	
200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	0	0	0	0	0	0	0	0	0	
202	Occupational health evaluatns	0	0	0	0	0	0	0	0	0	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	0	0	0	0	0	0	450	450	450	
206	Contractual printing	0	0	0	0	0	0	0	0	0	
207	Janitorial services	0	0	0	0	0	0	0	0	0	
209	A/r collection service	0	0	0	0	0	0	0	0	0	
210	Attorney fees	0	0	0	0	0	0	0	0	0	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	0	0	0	0	0	0	0	0	0	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	0	0	0	0	0	0	0	0	0	
215	Commission/pollworker services	0	0	0	0	0	0	19,570	19,570	19,570	
216	Attorney fees - personnel svc	0	0	0	0	0	0	500	500	500	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	0	0	0	0	0	0	0	0	0	
221	Natural gas	0	0	0	0	0	0	0	0	0	
222	Municipal sewer	0	0	0	0	0	0	0	0	0	
223	Municipal water	0	0	0	0	0	0	0	0	0	
224	Telephone service	0	0	0	0	0	0	0	0	0	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	0	0	0	0	0	0	100	100	100	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origir
226	Data/voice communications	0	0	0	0	0	0	0	0	0	0
228	Garbage/Recycling	0	0	0	0	0	0	0	0	0	0
229	Clean Water	0	0	0	0	0	0	0	0	0	0
230	Equipment rental	0	0	0	0	0	0	0	0	0	0
231	Equipment leases	0	0	0	0	0	0	0	0	0	0
232	Facility Lease	0	0	0	0	0	0	0	0	0	0
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	0
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	0
241	Software maintenance agreemt	0	0	0	0	0	0	0	0	0	0
242	Contracted Equipment maintenance	0	0	0	0	0	0	2,700	2,700	2,700	0
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	0
244	Contracted Building maintenance	0	0	0	0	0	0	0	0	0	0
245	Communications maintenance	0	0	0	0	0	0	0	0	0	0
246	Vehicle maintenance	0	0	0	0	0	0	0	0	0	0
260	Travel	0	0	0	0	0	0	800	800	800	0
261	Meals & lodging	0	0	0	0	0	0	750	750	750	0
262	Conferences/seminars/training	0	0	0	0	0	0	625	625	625	0
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	0
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	0
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	0
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	0
274	Weights & measures	0	0	0	0	0	0	0	0	0	0
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	0
276	Stray animal care	0	0	0	0	0	0	0	0	0	0
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	0
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	0
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	0
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	0
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	0
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	0
285	Code enforcement	0	0	0	0	0	0	0	0	0	0
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	0
299	It department allocation	0	0	0	0	0	0	0	0	0	0
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>25,495</b>	<b>25,495</b>	<b>25,495</b>	
300	Memberships & subscriptions	0	0	0	0	0	0	235	235	235	0
310	Office supplies	0	0	0	0	0	0	500	500	500	0
311	Copying/Printing	0	0	0	0	0	0	4,500	4,500	4,500	0
312	Mailing	0	0	0	0	0	0	2,800	2,800	2,800	0
330	Election Supplies	0	0	0	0	0	0	2,500	2,500	2,500	0
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	0
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	0
334	Police evidence	0	0	0	0	0	0	0	0	0	0
336	Village board of review exp	0	0	0	0	0	0	0	0	0	0
350	Minor equipment/tool replacemt	0	0	0	0	0	0	0	0	0	0
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	0
352	Uniform services & uniforms	0	0	0	0	0	0	0	0	0	0
353	Safety equipment	0	0	0	0	0	0	0	0	0	0
354	Medical supplies	0	0	0	0	0	0	0	0	0	0
355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0	0	0

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	0	0	0	0	0	0	0	0	0	0
358	Squad materials	0	0	0	0	0	0	0	0	0	0
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	0
362	Equipment maintenance supplies	0	0	0	0	0	0	0	0	0	0
364	Building maintenance supplies	0	0	0	0	0	0	0	0	0	0
366	Vehicle Maintenance supplies	0	0	0	0	0	0	0	0	0	0
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	0
371	Signs	0	0	0	0	0	0	0	0	0	0
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	0
373	Pavement materials	0	0	0	0	0	0	0	0	0	0
374	Salt	0	0	0	0	0	0	0	0	0	0
375	Culvert installation	0	0	0	0	0	0	0	0	0	0
399	Miscellaneous expense	0	0	0	0	0	0	500	500	500	0
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>11,035</b>	<b>11,035</b>	<b>11,035</b>	<b>0</b>
510	Property & liability insurance	0	0	0	0	0	0	0	0	0	0
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	0
710	Merchandise	0	0	0	0	0	0	0	0	0	0
900	Contingency	0	0	0	0	0	0	0	0	0	0
901	Non Personnel Transfer	0	0	0	0	0	0	-1,162	-13,900	-13,900	0
905	Internal Service Fund	0	0	0	0	0	0	1,850	1,850	1,850	0
910	Settlements	0	0	0	0	0	0	0	0	0	0
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>42,543</b>	<b>88,627</b>	<b>88,599</b>	<b>0</b>
990	New program requests	0	0	0	0	0	0	0	0	0	0
991	New program requests - Personnel	0	0	0	0	0	0	0	0	0	0
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	0
994	Program Reductions	0	0	0	0	0	0	0	0	0	0
995	Program reductions	0	0	0	0	0	0	0	0	0	0
<b>XGT</b>	<b>Grand Total</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>42,543</b>	<b>88,627</b>	<b>88,599</b>	<b>0</b>

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	Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	364,593	371,063	405,749	405,749	262,376	0	35,081	420,977	420,977
111	Part - time salaries	45,081	39,536	43,373	43,373	28,412	0	4,141	49,695	51,186
112	Overtime salaries	0	0	0	0	34	0	0	0	0
113	Elected salaries	0	0	0	0	0	0	0	0	0
114	Poc salaries	0	0	0	0	0	0	0	0	0
115	Commissioned Services	0	0	0	0	0	0	0	0	0
120	Snow removal wages	0	0	0	0	0	0	0	0	0
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0
124	Village Board per Diem	0	0	0	0	0	0	0	0	0
128	Park commission salaries	0	0	0	0	0	0	0	0	0
129	School commission salaries	0	0	0	0	0	0	0	0	0
151	Social security	30,910	30,973	34,358	34,358	21,775	0	3,001	36,006	36,120
152	Wisconsin retirement	42,382	36,167	26,498	26,498	16,808	0	2,628	31,535	31,399
153	Worker's compensation	2,343	4,484	4,754	4,754	2,726	0	358	4,299	4,303
154	Health & life benefits	65,241	82,304	86,069	86,069	53,743	0	7,097	85,167	85,167
156	Life Insurance	0	0	0	0	0	0	0	0	0
157	Vision insurance	0	0	0	0	0	0	0	0	0
158	Long - term disability insurance	928	928	1,018	1,018	643	0	87	1,049	1,049
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0
198	TID Hours Charge Out	0	0	0	0	0	0	0	0	0
199	Personnel Transfer	-209,923	-202,362	-215,424	-215,424	-139,215	0	-18,790	-225,183	-225,713
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	386,395	0	0	0
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>341,554</b>	<b>363,093</b>	<b>386,395</b>	<b>386,395</b>	<b>247,301</b>	<b>386,395</b>	<b>33,604</b>	<b>403,545</b>	<b>404,487</b>
200	Temporary help	0	0	0	0	0	0	0	0	0
201	Unemployment	1,702	6,157	4,860	4,860	2,835	4,860	255	2,961	2,961
202	Occupational health evaluatns	65	158	200	200	113	113	200	200	200
204	Recording fees	0	0	0	0	0	0	0	0	0
205	Publication of notices/agendas	0	0	0	0	0	0	0	0	0
206	Contractual printing	0	0	125	125	0	0	125	125	125
207	Janitorial services	0	0	0	0	0	0	0	0	0
209	A/r collection service	0	0	0	0	0	0	0	0	0
210	Attorney fees	0	0	0	0	0	0	0	0	0
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0
212	Engineering fees	0	0	0	0	0	0	0	0	0
213	Network consultants	0	0	0	0	0	0	0	0	0
214	Consultant/contractual service	29,782	30,483	29,850	29,850	4,920	30,000	23,777	23,777	23,777
215	Commission/pollworker services	0	0	0	0	0	0	0	0	0
216	Attorney fees - personnel svc	0	0	0	0	0	0	0	0	0
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0
220	Electric	0	0	0	0	0	0	0	0	0
221	Natural gas	0	0	0	0	0	0	0	0	0
222	Municipal sewer	0	0	0	0	0	0	0	0	0
223	Municipal water	0	0	0	0	0	0	0	0	0
224	Telephone service	1,494	2,221	66,732	66,732	44,841	66,732	66,732	66,732	66,732
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0
225	Cellular telephone	4,603	2,545	2,700	2,700	3,338	4,200	3,600	3,600	3,600



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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
226	Data/voice communications	30,896	28,246	32,520	32,520	18,287	27,720	25,874	25,874	25,874	
228	Garbage/Recycling	0	0	0	0	0	0	0	0	0	
229	Clean Water	0	0	0	0	0	0	0	0	0	
230	Equipment rental	0	0	0	0	0	0	0	0	0	
231	Equipment leases	0	0	0	0	0	0	0	0	0	
232	Facility Lease	0	0	0	0	0	0	0	0	0	
239	Telephone Transfer	0	0	-65,232	-65,232	-48,924	-65,232	-65,232	-65,232	-65,232	
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	
241	Software maintenance agreemt	102,310	157,524	192,302	163,464	153,660	166,683	172,047	172,047	172,047	
242	Contracted Equipment maintenance	19,792	43,449	28,565	28,565	19,302	30,526	17,626	31,376	31,376	
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	
244	Contracted Building maintenance	0	0	0	0	0	0	0	0	0	
245	Communications maintenance	0	0	0	0	0	0	0	0	0	
246	Vehicle maintenance	29	1,759	2,000	2,000	0	0	0	0	0	
260	Travel	1,193	1,393	1,800	1,800	1,589	1,800	2,850	2,850	2,850	
261	Meals & lodging	4,383	3,147	3,300	3,300	3,240	3,300	4,350	4,350	4,350	
262	Conferences/seminars/training	13,060	2,974	6,000	6,000	5,143	6,000	6,000	6,000	6,000	
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	
274	Weights & measures	0	0	0	0	0	0	0	0	0	
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	
276	Stray animal care	0	0	0	0	0	0	0	0	0	
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	
285	Code enforcement	0	0	0	0	0	0	0	0	0	
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	
299	It department allocation	0	0	0	0	0	0	0	0	0	
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>209,310</b>	<b>280,055</b>	<b>305,722</b>	<b>276,884</b>	<b>208,343</b>	<b>276,702</b>	<b>258,204</b>	<b>274,660</b>	<b>274,660</b>	
300	Memberships & subscriptions	650	545	900	900	545	750	1,020	1,020	1,020	
310	Office supplies	1,179	2,270	2,450	2,450	1,236	5,200	5,400	5,400	3,500	
311	Copying/Printing	2,578	2,669	4,900	4,900	2,292	4,900	4,900	4,900	4,900	
312	Mailing	197	316	850	850	976	1,000	900	900	900	
330	Election Supplies	0	0	0	0	0	0	0	0	0	
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	
334	Police evidence	0	0	0	0	0	0	0	0	0	
336	Village board of review exp	0	0	0	0	0	0	0	0	0	
350	Minor equipment/tool replacemt	38,630	47,660	48,350	48,350	72,848	72,061	100,000	100,000	100,000	
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	
352	Uniform services & uniforms	0	0	0	0	0	0	0	0	0	
353	Safety equipment	0	0	0	0	0	0	0	0	0	
354	Medical supplies	0	0	0	0	0	0	0	0	0	
355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0	0	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	897	1,397	1,600	1,600	1,334	1,700	0	0	0	
358	Squad materials	0	0	0	0	0	0	0	0	0	
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	
362	Equipment maintenance supplies	2,421	9,485	20,400	20,400	17,270	20,398	20,700	20,700	20,700	
364	Building maintenance supplies	0	0	0	0	0	0	0	0	0	
366	Vehicle Maintenance supplies	37	65	300	300	0	0	0	0	0	
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	
371	Signs	0	0	0	0	0	0	0	0	0	
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	
373	Pavement materials	0	0	0	0	0	0	0	0	0	
374	Salt	0	0	0	0	0	0	0	0	0	
375	Culvert installation	0	0	0	0	0	0	0	0	0	
399	Miscellaneous expense	517	395	500	500	30	200	500	500	500	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>47,107</b>	<b>64,802</b>	<b>80,250</b>	<b>80,250</b>	<b>96,530</b>	<b>106,209</b>	<b>133,420</b>	<b>133,420</b>	<b>131,520</b>	
510	Property & liability insurance	1,409	1,104	1,275	1,275	925	1,228	1,150	1,150	1,150	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	-93,400	-133,400	-133,400	-133,400	-88,933	-133,400	-13,074	-156,800	-149,000	
905	Internal Service Fund	0	0	0	0	0	0	6,163	6,163	6,163	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>505,979</b>	<b>575,653</b>	<b>640,242</b>	<b>611,404</b>	<b>464,166</b>	<b>637,134</b>	<b>419,468</b>	<b>662,139</b>	<b>668,981</b>	
990	New program requests	0	0	0	0	0	0	3,885	46,510	96,403	
991	New program requests - Personnel	0	0	0	0	0	0	631	7,568	0	
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	
994	Program Reductions	0	0	0	0	0	0	-1,000	-12,000	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>505,979</b>	<b>575,653</b>	<b>640,242</b>	<b>611,404</b>	<b>464,166</b>	<b>637,134</b>	<b>422,983</b>	<b>704,217</b>	<b>765,384</b>	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	132,606	137,914	142,579	142,579	92,524	0	12,462	149,542	149,542	
111	Part - time salaries	0	0	0	0	0	0	0	0	0	
112	Overtime salaries	0	0	0	0	0	0	0	0	0	
113	Elected salaries	0	0	0	0	0	0	0	0	0	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	9,972	10,342	10,907	10,907	6,887	0	953	11,440	11,440	
152	Wisconsin retirement	14,583	12,840	8,412	8,412	5,447	0	835	10,019	9,945	
153	Worker's compensation	247	424	428	428	245	0	29	344	344	
154	Health & life benefits	25,636	32,889	31,240	31,240	19,525	0	2,576	30,911	30,911	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	0	0	0	0	0	0	0	0	0	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	0	0	0	0	0	0	0	0	0	
199	Personnel Transfer	-63,670	-69,650	-69,683	-69,684	-44,866	0	-6,108	-72,812	-72,785	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	123,882	0	0	0	
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>119,374</b>	<b>124,760</b>	<b>123,882</b>	<b>123,882</b>	<b>79,761</b>	<b>123,882</b>	<b>10,746</b>	<b>129,444</b>	<b>129,396</b>	
200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	0	1,829	1,552	1,552	905	1,552	82	940	940	
202	Occupational health evaluatns	0	0	0	0	0	0	0	0	0	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	3,652	3,676	4,500	4,500	1,601	500	3,000	3,000	3,000	
206	Contractual printing	0	32	125	125	0	0	125	125	125	
207	Janitorial services	0	0	0	0	0	0	0	0	0	
209	A/r collection service	0	0	0	0	0	0	0	0	0	
210	Attorney fees	245	646	2,000	2,000	0	1,500	1,500	1,500	1,500	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	0	0	0	0	0	0	0	0	0	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	0	0	0	0	0	0	0	0	0	
215	Commission/pollworker services	0	0	0	0	0	0	0	0	0	
216	Attorney fees - personnel svc	0	0	0	0	0	0	0	0	0	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	0	0	0	0	0	0	0	0	0	
221	Natural gas	0	0	0	0	0	0	0	0	0	
222	Municipal sewer	0	0	0	0	0	0	0	0	0	
223	Municipal water	0	0	0	0	0	0	0	0	0	
224	Telephone service	910	946	850	850	585	780	700	700	700	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	661	772	700	700	501	760	800	800	800	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origir
226	Data/voice communications	207	442	0	0	202	0	0	0	0	0
228	Garbage/Recycling	0	0	0	0	0	0	0	0	0	0
229	Clean Water	0	0	0	0	0	0	0	0	0	0
230	Equipment rental	0	0	0	0	0	0	0	0	0	0
231	Equipment leases	0	0	0	0	0	0	0	0	0	0
232	Facility Lease	0	0	0	0	0	0	0	0	0	0
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	0
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	0
241	Software maintenance agreemt	0	0	0	0	0	0	0	0	0	0
242	Contracted Equipment maintenance	299	0	0	0	0	0	0	0	0	0
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	0
244	Contracted Building maintenance	0	0	0	0	0	0	0	0	0	0
245	Communications maintenance	0	0	0	0	0	0	0	0	0	0
246	Vehicle maintenance	0	0	0	0	0	0	0	0	0	0
260	Travel	34	301	1,000	1,000	279	1,200	1,000	1,000	1,000	1,000
261	Meals & lodging	9	889	500	500	124	750	750	750	750	750
262	Conferences/seminars/training	552	1,409	1,600	1,600	5,252	5,000	5,000	5,000	5,000	5,000
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	0
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	0
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	0
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	0
274	Weights & measures	0	0	0	0	0	0	0	0	0	0
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	0
276	Stray animal care	0	0	0	0	0	0	0	0	0	0
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	0
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	0
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	0
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	0
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	0
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	0
285	Code enforcement	0	0	0	0	0	0	0	0	0	0
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	0
299	It department allocation	0	0	0	0	0	0	0	0	0	0
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>6,569</b>	<b>10,940</b>	<b>12,827</b>	<b>12,827</b>	<b>9,449</b>	<b>12,042</b>	<b>12,957</b>	<b>13,815</b>	<b>13,815</b>	
300	Memberships & subscriptions	403	375	500	500	655	655	650	650	650	650
310	Office supplies	572	906	550	550	229	200	300	300	300	300
311	Copying/Printing	1,077	811	1,000	1,000	602	1,000	87	1,000	1,000	1,000
312	Mailing	593	612	350	350	346	350	350	350	350	350
330	Election Supplies	0	0	0	0	0	0	0	0	0	0
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	0
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	0
334	Police evidence	0	0	0	0	0	0	0	0	0	0
336	Village board of review exp	0	0	0	0	0	0	0	0	0	0
350	Minor equipment/tool replacemt	0	0	0	0	0	0	0	0	0	0
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	0
352	Uniform services & uniforms	0	0	0	0	0	0	0	0	0	0
353	Safety equipment	0	0	0	0	0	0	0	0	0	0
354	Medical supplies	0	0	0	0	0	0	0	0	0	0
355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0	0	0

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	0	0	0	0	0	0	0	0	0	0
358	Squad materials	0	0	0	0	0	0	0	0	0	0
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	0
362	Equipment maintenance supplies	0	0	0	0	0	0	0	0	0	0
364	Building maintenance supplies	0	0	0	0	0	0	0	0	0	0
366	Vehicle Maintenance supplies	0	0	0	0	0	0	0	0	0	0
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	0
371	Signs	0	0	0	0	0	0	0	0	0	0
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	0
373	Pavement materials	0	0	0	0	0	0	0	0	0	0
374	Salt	0	0	0	0	0	0	0	0	0	0
375	Culvert installation	0	0	0	0	0	0	0	0	0	0
399	Miscellaneous expense	23	41	300	300	0	200	200	200	200	200
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>2,667</b>	<b>2,746</b>	<b>2,700</b>	<b>2,700</b>	<b>1,831</b>	<b>2,405</b>	<b>1,587</b>	<b>2,500</b>	<b>2,500</b>	
510	Property & liability insurance	230	210	240	240	173	295	325	325	325	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	-5,300	-6,075	-6,100	-6,100	-4,067	-6,100	-499	-5,900	-5,900	
905	Internal Service Fund	0	0	0	0	0	0	0	0	0	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>123,540</b>	<b>132,581</b>	<b>133,549</b>	<b>133,549</b>	<b>87,147</b>	<b>132,524</b>	<b>25,116</b>	<b>140,184</b>	<b>140,136</b>	
990	New program requests	0	0	0	0	0	0	0	0	0	
991	New program requests - Personnel	0	0	0	0	0	0	0	0	0	
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	
994	Program Reductions	0	0	0	0	0	0	0	0	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>123,540</b>	<b>132,581</b>	<b>133,549</b>	<b>133,549</b>	<b>87,147</b>	<b>132,524</b>	<b>25,116</b>	<b>140,184</b>	<b>140,136</b>	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	373,128	372,066	377,535	377,535	247,721	0	32,406	388,871	388,871	
111	Part - time salaries	1,954	0	0	0	0	0	0	0	0	
112	Overtime salaries	1,897	950	1,752	1,752	214	0	146	1,752	1,752	
113	Elected salaries	0	0	0	0	0	0	0	0	0	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	27,855	27,852	29,015	29,016	18,352	0	2,490	29,883	29,883	
152	Wisconsin retirement	41,263	34,734	22,378	22,378	14,597	0	2,181	26,172	25,976	
153	Worker's compensation	695	1,148	1,138	1,138	656	0	75	898	898	
154	Health & life benefits	78,097	98,618	93,720	93,720	58,575	0	7,728	92,734	92,734	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	0	0	271	271	0	0	23	279	279	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	-15,747	-16,061	0	0	0	0	0	0	0	
199	Personnel Transfer	-189,187	-187,059	-182,498	-182,498	-119,052	0	-15,670	-187,776	-187,525	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	343,312	0	0	0	
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>319,955</b>	<b>332,247</b>	<b>343,311</b>	<b>343,312</b>	<b>221,062</b>	<b>343,312</b>	<b>29,379</b>	<b>352,813</b>	<b>352,868</b>	
200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	4,290	5,136	4,186	4,186	2,442	4,186	212	2,489	2,489	
202	Occupational health evaluatns	0	0	0	0	0	0	0	0	0	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	778	730	1,000	1,000	0	1,000	87	1,000	1,000	
206	Contractual printing	1,036	1,754	1,600	1,600	240	1,600	137	1,600	1,600	
207	Janitorial services	0	0	0	0	0	0	0	0	0	
209	A/r collection service	1,391	0	500	500	0	500	49	500	500	
210	Attorney fees	335	332	500	500	105	500	49	500	500	
211	Accounting/audit fees	54,682	56,160	61,000	59,000	48,637	59,000	5,087	61,000	61,000	
212	Engineering fees	0	0	0	0	0	0	0	0	0	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	12,830	7,015	1,000	3,000	2,367	2,792	810	9,500	9,500	
215	Commission/pollworker services	0	0	0	0	0	0	0	0	0	
216	Attorney fees - personnel svc	0	0	0	0	0	0	0	0	0	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	0	0	0	0	0	0	0	0	0	
221	Natural gas	0	0	0	0	0	0	0	0	0	
222	Municipal sewer	0	0	0	0	0	0	0	0	0	
223	Municipal water	0	0	0	0	0	0	0	0	0	
224	Telephone service	3,472	4,112	3,700	3,700	2,529	3,372	3,400	3,400	3,400	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	0	0	0	0	0	0	0	0	0	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
226	Data/voice communications	0	0	500	500	0	500	49	500	500	
228	Garbage/Recycling	0	0	0	0	0	0	0	0	0	
229	Clean Water	0	0	0	0	0	0	0	0	0	
230	Equipment rental	0	0	0	0	0	0	0	0	0	
231	Equipment leases	0	0	0	0	0	0	0	0	0	
232	Facility Lease	0	0	0	0	0	0	0	0	0	
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	
241	Software maintenance agreemt	18,210	18,660	19,593	19,593	18,210	18,210	1,598	19,121	19,121	
242	Contracted Equipment maintenance	0	0	0	0	0	0	0	0	0	
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	
244	Contracted Building maintenance	0	0	0	0	0	0	0	0	0	
245	Communications maintenance	0	0	0	0	0	0	0	0	0	
246	Vehicle maintenance	0	0	0	0	0	0	0	0	0	
260	Travel	981	605	1,500	1,500	160	500	1,500	1,500	1,500	
261	Meals & lodging	890	34	1,150	1,150	288	650	1,200	1,200	1,200	
262	Conferences/seminars/training	2,199	1,024	2,925	2,925	955	1,730	252	2,925	2,925	
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	
274	Weights & measures	0	0	0	0	0	0	0	0	0	
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	
276	Stray animal care	0	0	0	0	0	0	0	0	0	
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	
285	Code enforcement	0	0	0	0	0	0	0	0	0	
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	
299	It department allocation	0	0	0	0	0	0	0	0	0	
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>101,092</b>	<b>95,563</b>	<b>99,154</b>	<b>99,154</b>	<b>75,932</b>	<b>94,540</b>	<b>14,430</b>	<b>105,235</b>	<b>105,235</b>	
300	Memberships & subscriptions	1,277	1,981	2,088	2,088	1,442	1,475	167	1,993	1,993	
310	Office supplies	1,747	2,671	2,600	2,600	1,153	2,990	274	3,200	3,200	
311	Copying/Printing	3,581	5,579	4,000	4,000	1,412	4,297	400	4,800	4,800	
312	Mailing	9,494	9,766	12,980	12,980	4,807	12,177	1,331	15,763	15,763	
330	Election Supplies	0	0	0	0	0	0	0	0	0	
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	
334	Police evidence	0	0	0	0	0	0	0	0	0	
336	Village board of review exp	0	0	0	0	0	0	0	0	0	
350	Minor equipment/tool replacemt	3,500	0	500	500	0	0	49	500	500	
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	
352	Uniform services & uniforms	0	0	0	0	0	0	0	0	0	
353	Safety equipment	0	0	0	0	0	0	0	0	0	
354	Medical supplies	0	0	0	0	0	0	0	0	0	
355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0	0	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	0	0	0	0	0	0	0	0	0	
358	Squad materials	0	0	0	0	0	0	0	0	0	
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	
362	Equipment maintenance supplies	0	0	0	0	0	0	0	0	0	
364	Building maintenance supplies	0	0	0	0	0	0	0	0	0	
366	Vehicle Maintenance supplies	0	0	0	0	0	0	0	0	0	
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	
371	Signs	0	0	0	0	0	0	0	0	0	
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	
373	Pavement materials	0	0	0	0	0	0	0	0	0	
374	Salt	0	0	0	0	0	0	0	0	0	
375	Culvert installation	0	0	0	0	0	0	0	0	0	
399	Miscellaneous expense	180	733	500	500	347	500	49	500	500	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>19,778</b>	<b>20,730</b>	<b>22,668</b>	<b>22,668</b>	<b>9,160</b>	<b>21,439</b>	<b>2,270</b>	<b>26,756</b>	<b>26,756</b>	
510	Property & liability insurance	1,364	1,504	1,581	1,581	1,224	1,354	1,400	1,400	1,400	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	-48,600	-46,400	-46,400	-46,400	-30,933	-46,400	-4,000	-48,000	-48,000	
905	Internal Service Fund	0	0	0	0	0	0	0	0	0	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>393,589</b>	<b>403,644</b>	<b>420,314</b>	<b>420,315</b>	<b>276,445</b>	<b>414,245</b>	<b>43,479</b>	<b>438,204</b>	<b>438,259</b>	
990	New program requests	0	0	0	0	0	0	0	0	0	
991	New program requests - Personnel	0	0	0	0	0	0	0	0	0	
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	
994	Program Reductions	0	0	0	0	0	0	0	0	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>393,589</b>	<b>403,644</b>	<b>420,314</b>	<b>420,315</b>	<b>276,445</b>	<b>414,245</b>	<b>43,479</b>	<b>438,204</b>	<b>438,259</b>	



		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	320,233	324,382	331,855	331,855	218,258	0	28,486	341,827	341,827	
111	Part - time salaries	19,242	23,725	30,532	30,532	17,490	0	2,544	30,532	31,448	
112	Overtime salaries	0	0	0	0	0	0	0	0	0	
113	Elected salaries	0	0	0	0	0	0	0	0	0	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	25,724	25,878	27,723	27,723	17,286	0	2,374	28,485	28,556	
152	Wisconsin retirement	36,477	31,520	21,381	21,381	13,837	0	2,079	24,948	24,823	
153	Worker's compensation	4,656	8,286	8,770	8,770	5,322	0	769	9,222	9,258	
154	Health & life benefits	72,003	82,265	78,140	78,140	53,980	0	6,443	77,319	77,319	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	380	379	391	391	254	0	34	402	402	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	-6,997	-2,870	0	0	0	0	0	0	0	
199	Personnel Transfer	-30,076	-32,215	-33,262	-33,262	-22,111	0	-2,844	-34,117	-34,105	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	465,530	0	0	0	
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>441,642</b>	<b>461,351</b>	<b>465,528</b>	<b>465,530</b>	<b>304,316</b>	<b>465,530</b>	<b>39,884</b>	<b>478,620</b>	<b>479,527</b>	
200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	0	4,881	4,111	4,111	2,398	4,111	2,389	2,389	2,389	
202	Occupational health evaluatns	0	0	0	0	0	0	0	0	0	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	140	141	150	150	116	116	150	150	150	
206	Contractual printing	0	0	150	150	0	100	150	150	150	
207	Janitorial services	0	0	0	0	0	0	0	0	0	
209	A/r collection service	0	0	0	0	0	0	0	0	0	
210	Attorney fees	47,495	36,112	50,000	50,000	18,383	77,500	35,000	35,000	35,000	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	0	0	0	0	0	0	0	0	0	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	9,706	4,992	5,000	5,000	392	5,000	5,000	5,000	5,000	
215	Commission/pollworker services	758	1,016	1,500	1,500	828	828	1,500	1,500	1,500	
216	Attorney fees - personnel svc	0	0	0	0	0	0	0	0	0	
217	Land use/plan consultants	0	11,875	0	0	18,238	18,500	7,500	7,500	7,500	
219	Manufacturing Assessment Fee	22,134	18,452	17,000	17,000	16,587	16,587	16,565	16,565	16,565	
220	Electric	0	0	0	0	0	0	0	0	0	
221	Natural gas	0	0	0	0	0	0	0	0	0	
222	Municipal sewer	0	0	0	0	0	0	0	0	0	
223	Municipal water	0	0	0	0	0	0	0	0	0	
224	Telephone service	2,805	3,331	2,900	2,900	1,980	2,985	2,900	2,900	2,900	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	332	439	600	600	176	450	600	600	600	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
226	Data/voice communications	745	925	950	950	158	947	950	950	950	
228	Garbage/Recycling	0	0	0	0	0	0	0	0	0	
229	Clean Water	0	0	0	0	0	0	0	0	0	
230	Equipment rental	0	0	0	0	0	0	0	0	0	
231	Equipment leases	0	0	0	0	0	0	0	0	0	
232	Facility Lease	0	0	0	0	0	0	0	0	0	
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	
241	Software maintenance agreemt	1,075	1,075	7,400	7,400	1,885	7,945	9,300	9,300	9,300	
242	Contracted Equipment maintenance	0	0	0	0	0	0	0	0	0	
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	
244	Contracted Building maintenance	0	0	0	0	0	0	0	0	0	
245	Communications maintenance	0	0	0	0	0	0	0	0	0	
246	Vehicle maintenance	194	2,435	2,000	2,000	396	1,800	0	0	0	
260	Travel	3,615	4,726	4,400	4,400	2,985	4,725	4,800	4,800	4,800	
261	Meals & lodging	1,084	1,237	2,500	2,500	492	2,705	2,500	2,500	2,500	
262	Conferences/seminars/training	1,418	700	3,405	3,405	463	2,965	3,405	3,405	3,405	
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	
272	Attorney fees - consortium	0	0	4,000	4,000	0	2,000	4,000	4,000	4,000	
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	
274	Weights & measures	0	0	0	0	0	0	0	0	0	
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	
276	Stray animal care	0	0	0	0	0	0	0	0	0	
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	
285	Code enforcement	0	0	0	0	0	0	0	0	0	
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	
299	It department allocation	0	0	0	0	0	0	0	0	0	
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>91,500</b>	<b>92,336</b>	<b>106,066</b>	<b>106,066</b>	<b>65,475</b>	<b>149,264</b>	<b>96,709</b>	<b>96,709</b>	<b>96,709</b>	
300	Memberships & subscriptions	1,933	1,310	2,650	2,650	2,263	2,610	2,675	2,675	2,675	
310	Office supplies	719	859	2,200	2,200	699	1,950	2,200	2,200	2,200	
311	Copying/Printing	3,460	1,894	2,400	2,400	946	2,250	2,300	2,300	2,300	
312	Mailing	5,444	5,210	7,500	7,500	4,678	7,349	7,500	7,500	7,500	
330	Election Supplies	0	0	0	0	0	0	0	0	0	
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	
334	Police evidence	0	0	0	0	0	0	0	0	0	
336	Village board of review exp	31	802	100	100	447	500	600	600	600	
350	Minor equipment/tool replacemt	172	0	900	900	455	800	900	900	900	
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	
352	Uniform services & uniforms	0	0	0	0	0	0	0	0	0	
353	Safety equipment	0	0	0	0	0	0	0	0	0	
354	Medical supplies	0	0	0	0	0	0	0	0	0	
355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0	0	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	2,087	2,860	5,500	5,500	1,692	5,002	0	0	0	
358	Squad materials	0	0	0	0	0	0	0	0	0	
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	
362	Equipment maintenance supplies	0	0	0	0	0	0	0	0	0	
364	Building maintenance supplies	0	0	0	0	0	0	0	0	0	
366	Vehicle Maintenance supplies	61	38	500	500	0	350	0	0	0	
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	
371	Signs	0	0	0	0	0	0	0	0	0	
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	
373	Pavement materials	0	0	0	0	0	0	0	0	0	
374	Salt	0	0	0	0	0	0	0	0	0	
375	Culvert installation	0	0	0	0	0	0	0	0	0	
399	Miscellaneous expense	98	0	200	200	0	150	200	200	200	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>14,005</b>	<b>12,972</b>	<b>21,950</b>	<b>21,950</b>	<b>11,181</b>	<b>20,961</b>	<b>16,375</b>	<b>16,375</b>	<b>16,375</b>	
510	Property & liability insurance	1,996	1,824	1,926	1,926	1,676	2,056	1,375	1,375	1,375	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	0	0	0	0	0	0	0	0	0	
905	Internal Service Fund	0	0	0	0	0	0	14,730	14,730	14,730	
910	Settlements	12,650	4,319	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>561,793</b>	<b>572,802</b>	<b>595,470</b>	<b>595,472</b>	<b>382,647</b>	<b>637,811</b>	<b>169,073</b>	<b>607,809</b>	<b>608,716</b>	
990	New program requests	0	0	0	0	0	0	0	0	0	
991	New program requests - Personnel	0	0	0	0	0	0	2,607	31,286	23,567	
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	
994	Program Reductions	0	0	0	0	0	0	0	0	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>561,793</b>	<b>572,802</b>	<b>595,470</b>	<b>595,472</b>	<b>382,647</b>	<b>637,811</b>	<b>171,681</b>	<b>639,095</b>	<b>632,283</b>	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	0	0	0	0	633	0	0	0	0	0
111	Part - time salaries	448	2,018	1,214	1,214	1,048	0	106	1,274	1,277	
112	Overtime salaries	0	0	0	0	0	0	0	0	0	
113	Elected salaries	0	0	0	0	0	0	0	0	0	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	34	154	93	93	126	0	8	97	98	
152	Wisconsin retirement	6	31	72	72	49	0	3	39	39	
153	Worker's compensation	15	65	52	52	51	0	5	55	55	
154	Health & life benefits	0	7	158	158	130	0	1	9	9	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	0	0	0	0	0	0	0	0	0	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	0	0	0	0	0	0	0	0	0	
199	Personnel Transfer	0	0	0	0	0	1,589	0	0	0	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	0	0	0	0	
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>503</b>	<b>2,275</b>	<b>1,589</b>	<b>1,589</b>	<b>2,038</b>	<b>1,589</b>	<b>123</b>	<b>1,475</b>	<b>1,479</b>	
200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	0	13	11	11	7	11	8	8	8	
202	Occupational health evaluatns	0	0	0	0	0	0	0	0	0	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	0	0	0	0	0	0	0	0	0	
206	Contractual printing	0	0	0	0	0	0	0	0	0	
207	Janitorial services	19,730	19,934	23,550	23,550	16,022	21,850	1,905	22,750	22,750	
209	A/r collection service	0	0	0	0	0	0	0	0	0	
210	Attorney fees	0	0	0	0	0	0	0	0	0	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	0	0	0	0	0	0	0	0	0	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	0	0	0	0	0	0	0	0	0	
215	Commission/pollworker services	0	0	0	0	0	0	0	0	0	
216	Attorney fees - personnel svc	0	0	0	0	0	0	0	0	0	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	23,738	26,566	24,750	24,750	15,257	26,000	2,174	26,000	26,000	
221	Natural gas	10,542	10,520	12,250	12,250	4,791	10,000	924	11,000	11,000	
222	Municipal sewer	956	1,012	1,250	1,250	783	1,350	118	1,350	1,350	
223	Municipal water	2,297	4,037	3,200	3,200	3,078	3,200	274	3,200	3,200	
224	Telephone service	0	0	0	0	0	0	0	0	0	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	0	0	0	0	0	0	0	0	0	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origir
226	Data/voice communications	0	0	0	0	0	0	0	0	0	0
228	Garbage/Recycling	450	450	450	450	263	450	43	450	450	0
229	Clean Water	2,790	2,977	3,100	3,100	1,845	2,900	249	2,900	2,900	0
230	Equipment rental	0	0	0	0	0	0	0	0	0	0
231	Equipment leases	0	0	0	0	0	0	0	0	0	0
232	Facility Lease	0	0	0	0	0	0	0	0	15,000	0
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	0
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	0
241	Software maintenance agreemt	0	0	0	0	0	0	0	0	0	0
242	Contracted Equipment maintenance	0	0	0	0	0	0	0	0	0	0
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	0
244	Contracted Building maintenance	15,195	15,396	16,000	16,000	18,775	23,123	1,404	16,540	16,540	0
245	Communications maintenance	0	0	0	0	0	0	0	0	0	0
246	Vehicle maintenance	0	0	0	0	0	0	0	0	0	0
260	Travel	0	0	0	0	0	0	0	0	0	0
261	Meals & lodging	0	0	0	0	0	0	0	0	0	0
262	Conferences/seminars/training	0	0	0	0	0	0	0	0	0	0
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	0
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	0
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	0
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	0
274	Weights & measures	0	0	0	0	0	0	0	0	0	0
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	0
276	Stray animal care	0	0	0	0	0	0	0	0	0	0
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	0
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	0
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	0
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	0
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	0
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	0
285	Code enforcement	0	0	0	0	0	0	0	0	0	0
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	0
299	It department allocation	0	0	0	0	0	0	0	0	0	0

<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>75,696</b>	<b>80,905</b>	<b>84,561</b>	<b>84,561</b>	<b>60,820</b>	<b>88,884</b>	<b>7,099</b>	<b>84,198</b>	<b>99,198</b>	
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300	Memberships & subscriptions	0	0	0	0	0	0	0	0	0	0
310	Office supplies	0	0	0	0	0	0	0	0	0	0
311	Copying/Printing	0	0	0	0	0	0	0	0	0	0
312	Mailing	0	0	0	0	0	0	0	0	0	0
330	Election Supplies	0	0	0	0	0	0	0	0	0	0
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	0
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	0
334	Police evidence	0	0	0	0	0	0	0	0	0	0
336	Village board of review exp	0	0	0	0	0	0	0	0	0	0
350	Minor equipment/tool replacemt	3,605	4,827	1,000	1,000	0	1,000	87	1,000	1,000	0
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	0
352	Uniform services & uniforms	0	0	0	0	0	0	0	0	0	0
353	Safety equipment	0	0	0	0	0	0	0	0	0	0
354	Medical supplies	0	0	0	0	0	0	0	0	0	0
355	Janitorial/cleaning supplies	1,745	1,373	1,750	1,750	920	1,500	155	1,750	1,750	0

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	0	0	0	0	0	0	0	0	0	
358	Squad materials	0	0	0	0	0	0	0	0	0	
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	
362	Equipment maintenance supplies	0	0	0	0	0	0	0	0	0	
364	Building maintenance supplies	3,853	851	2,000	2,000	3,580	2,478	174	2,000	2,000	
366	Vehicle Maintenance supplies	0	0	0	0	0	0	0	0	0	
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	
371	Signs	0	0	0	0	0	0	0	0	0	
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	
373	Pavement materials	0	0	0	0	0	0	0	0	0	
374	Salt	0	0	0	0	0	0	0	0	0	
375	Culvert installation	0	0	0	0	0	0	0	0	0	
399	Miscellaneous expense	0	0	0	0	0	0	0	0	0	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>9,203</b>	<b>7,052</b>	<b>4,750</b>	<b>4,750</b>	<b>4,500</b>	<b>4,978</b>	<b>416</b>	<b>4,750</b>	<b>4,750</b>	
510	Property & liability insurance	0	0	0	0	0	0	0	0	0	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	0	0	0	0	0	0	0	0	0	
905	Internal Service Fund	1,436	2,253	2,538	2,538	1,780	2,583	218	2,583	2,583	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>86,839</b>	<b>92,485</b>	<b>93,438</b>	<b>93,438</b>	<b>69,139</b>	<b>98,034</b>	<b>7,856</b>	<b>93,006</b>	<b>108,010</b>	
990	New program requests	0	0	0	0	0	0	0	0	0	
991	New program requests - Personnel	0	0	0	0	0	0	0	0	0	
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	
994	Program Reductions	0	0	0	0	0	0	0	0	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>86,839</b>	<b>92,485</b>	<b>93,438</b>	<b>93,438</b>	<b>69,139</b>	<b>98,034</b>	<b>7,856</b>	<b>93,006</b>	<b>108,010</b>	

Village of Pleasant Prairie  
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Roger Prange Building: Page: 4ROL

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	3,639	6,654	5,815	5,815	9,069	0	500	6,000	6,000	
111	Part - time salaries	978	3,177	2,699	2,699	930	0	232	2,781	2,813	
112	Overtime salaries	0	98	0	0	144	0	0	0	0	
113	Elected salaries	0	0	0	0	0	0	0	0	0	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	351	754	651	651	769	0	56	672	674	
152	Wisconsin retirement	414	689	502	502	564	0	44	529	527	
153	Worker's compensation	100	360	367	367	227	0	32	381	382	
154	Health & life benefits	861	1,847	2,162	2,162	2,216	0	166	1,992	1,995	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	0	0	0	0	0	0	0	0	0	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	0	0	0	0	0	0	0	0	0	
199	Personnel Transfer	0	0	0	0	0	0	0	0	0	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	18,316	0	0	0	
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>6,343</b>	<b>13,578</b>	<b>12,197</b>	<b>12,196</b>	<b>13,918</b>	<b>18,316</b>	<b>1,029</b>	<b>12,354</b>	<b>12,391</b>	
200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	0	123	211	211	57	211	12	56	56	
202	Occupational health evaluatns	0	0	0	0	0	0	0	0	0	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	0	0	0	0	0	0	0	0	0	
206	Contractual printing	0	0	0	0	0	0	0	0	0	
207	Janitorial services	34,519	34,449	34,500	34,500	24,899	34,500	2,924	35,000	36,800	
209	A/r collection service	0	0	0	0	0	0	0	0	0	
210	Attorney fees	0	0	0	0	0	0	0	0	0	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	0	0	0	0	0	0	0	0	0	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	0	0	0	0	0	0	0	0	0	
215	Commission/pollworker services	0	0	0	0	0	0	0	0	0	
216	Attorney fees - personnel svc	0	0	0	0	0	0	0	0	0	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	64,855	81,148	61,000	61,000	46,934	65,000	5,424	65,000	65,000	
221	Natural gas	31,748	25,470	40,000	40,000	12,473	30,000	2,500	30,000	30,000	
222	Municipal sewer	1,620	1,961	2,300	2,300	1,579	2,300	199	2,300	2,300	
223	Municipal water	2,741	3,871	4,000	4,000	2,965	4,000	337	4,000	4,000	
224	Telephone service	0	0	0	0	0	0	0	0	0	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	0	0	0	0	0	0	0	0	0	

Village of Pleasant Prairie  
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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origir
226	Data/voice communications	0	0	0	0	0	0	0	0	0	0
228	Garbage/Recycling	900	900	900	900	638	900	75	900	900	0
229	Clean Water	2,860	2,846	3,000	3,000	1,907	3,000	250	3,000	3,000	0
230	Equipment rental	0	0	0	0	0	0	0	0	0	0
231	Equipment leases	0	0	0	0	0	0	0	0	0	0
232	Facility Lease	0	0	0	0	0	0	0	0	0	0
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	0
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	0
241	Software maintenance agreemt	0	0	0	0	0	0	0	0	0	0
242	Contracted Equipment maintenance	0	0	0	0	0	0	0	0	0	0
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	0
244	Contracted Building maintenance	64,147	64,447	50,000	50,000	22,577	50,000	4,174	50,000	50,000	0
245	Communications maintenance	0	0	0	0	0	0	0	0	0	0
246	Vehicle maintenance	0	0	0	0	0	0	0	0	0	0
260	Travel	0	0	0	0	0	0	0	0	0	0
261	Meals & lodging	0	0	0	0	0	0	0	0	0	0
262	Conferences/seminars/training	0	0	0	0	0	0	0	0	0	0
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	0
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	0
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	0
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	0
274	Weights & measures	0	0	0	0	0	0	0	0	0	0
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	0
276	Stray animal care	0	0	0	0	0	0	0	0	0	0
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	0
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	0
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	0
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	0
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	0
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	0
285	Code enforcement	0	0	0	0	0	0	0	0	0	0
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	0
299	It department allocation	0	0	0	0	0	0	0	0	0	0
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>203,390</b>	<b>215,214</b>	<b>195,911</b>	<b>195,911</b>	<b>114,028</b>	<b>189,911</b>	<b>15,895</b>	<b>190,256</b>	<b>192,056</b>	
300	Memberships & subscriptions	0	0	0	0	0	0	0	0	0	0
310	Office supplies	0	0	0	0	0	0	0	0	0	0
311	Copying/Printing	0	0	0	0	0	0	0	0	0	0
312	Mailing	0	0	0	0	0	0	0	0	0	0
330	Election Supplies	0	0	0	0	0	0	0	0	0	0
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	0
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	0
334	Police evidence	0	0	0	0	0	0	0	0	0	0
336	Village board of review exp	0	0	0	0	0	0	0	0	0	0
350	Minor equipment/tool replacemt	2,141	1,051	3,500	3,500	1,368	3,500	299	3,500	3,500	0
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	0
352	Uniform services & uniforms	0	0	0	0	0	0	0	0	0	0
353	Safety equipment	0	0	0	0	0	0	0	0	0	0
354	Medical supplies	0	0	0	0	0	0	0	0	0	0
355	Janitorial/cleaning supplies	2,789	2,498	2,200	2,200	1,334	2,500	187	2,200	2,200	0



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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	0	0	0	0	0	0	0	0	0	
358	Squad materials	0	0	0	0	0	0	0	0	0	
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	
362	Equipment maintenance supplies	0	0	0	0	0	0	0	0	0	
364	Building maintenance supplies	6,304	3,452	5,000	5,000	3,940	5,000	424	5,000	5,000	
366	Vehicle Maintenance supplies	0	0	0	0	0	0	0	0	0	
370	Landscaping supplies	312	51	500	500	0	500	49	500	500	
371	Signs	0	0	0	0	0	0	0	0	0	
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	
373	Pavement materials	0	0	0	0	0	0	0	0	0	
374	Salt	0	0	0	0	0	0	0	0	0	
375	Culvert installation	0	0	0	0	0	0	0	0	0	
399	Miscellaneous expense	0	0	0	0	0	0	0	0	0	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>11,546</b>	<b>7,052</b>	<b>11,200</b>	<b>11,200</b>	<b>6,643</b>	<b>11,500</b>	<b>959</b>	<b>11,200</b>	<b>11,200</b>	
510	Property & liability insurance	3,814	4,065	4,485	4,485	2,621	3,554	3,607	3,607	3,607	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	0	0	0	0	0	0	0	0	0	
905	Internal Service Fund	4,906	3,968	3,200	3,200	714	2,000	274	3,200	3,200	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>229,999</b>	<b>243,877</b>	<b>226,993</b>	<b>226,992</b>	<b>137,923</b>	<b>225,281</b>	<b>21,765</b>	<b>220,617</b>	<b>222,454</b>	
990	New program requests	0	0	0	0	0	0	0	0	0	
991	New program requests - Personnel	0	0	0	0	0	0	0	0	0	
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	
994	Program Reductions	0	0	0	0	0	0	0	0	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>229,999</b>	<b>243,877</b>	<b>226,993</b>	<b>226,992</b>	<b>137,923</b>	<b>225,281</b>	<b>21,765</b>	<b>220,617</b>	<b>222,454</b>	

Village of Pleasant Prairie  
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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adrr Origin
110	Salaries	1,876,168	1,928,664	2,000,168	1,971,118	1,258,665	0	180,173	2,147,280	2,147,280	
111	Part - time salaries	31,775	34,183	31,723	37,702	25,409	0	4,246	50,952	51,500	
112	Overtime salaries	48,413	92,113	39,424	74,973	80,760	0	6,506	78,074	78,074	
113	Elected salaries	0	0	0	0	0	0	0	0	0	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	148,108	156,239	158,456	158,913	102,473	0	14,606	174,137	174,179	
152	Wisconsin retirement	315,571	342,300	343,679	344,080	210,379	0	26,842	320,261	326,652	
153	Worker's compensation	35,416	68,553	63,719	63,719	39,856	0	5,782	68,908	68,925	
154	Health & life benefits	408,791	517,533	512,333	512,346	314,714	0	43,794	525,532	525,532	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	1,157	1,192	2,303	2,303	883	0	0	0	0	
158	Long - term disability insurance	11,134	11,449	13,272	13,272	7,712	0	1,185	14,065	14,065	
197	Vacant Positions not filled	0	0	0	0	0	0	-7,868	-94,361	-94,361	
198	TID Hours Charge Out	0	0	0	0	0	0	0	0	0	
199	Personnel Transfer	0	0	0	0	0	0	0	0	0	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	3,148,254	0	0	0	

<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>2,876,533</b>	<b>3,152,226</b>	<b>3,165,077</b>	<b>3,178,426</b>	<b>2,040,852</b>	<b>3,148,254</b>	<b>275,265</b>	<b>3,284,849</b>	<b>3,291,847</b>	
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200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	0	27,404	22,969	22,969	13,398	22,969	1,120	13,396	13,396	
202	Occupational health evaluatns	1,498	4,133	2,400	10,150	1,071	8,456	200	2,400	2,400	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	0	0	0	0	0	0	0	0	0	
206	Contractual printing	0	188	300	300	0	300	50	600	600	
207	Janitorial services	0	0	0	0	0	0	0	0	0	
209	A/r collection service	800	740	1,200	1,200	90	1,000	100	1,200	1,200	
210	Attorney fees	22,408	7,668	5,000	25,000	19,466	25,000	424	5,000	5,000	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	0	0	0	0	0	0	0	0	0	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	0	0	0	800	759	759	0	0	0	
215	Commission/pollworker services	380	240	500	500	290	500	49	500	500	
216	Attorney fees - personnel svc	0	0	0	0	0	0	0	0	0	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	0	0	0	0	0	0	0	0	0	
221	Natural gas	0	0	0	0	0	0	0	0	0	
222	Municipal sewer	0	0	0	0	0	0	0	0	0	
223	Municipal water	0	0	0	0	0	0	0	0	0	
224	Telephone service	4,781	5,560	5,000	5,000	3,420	5,000	424	5,000	5,000	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	6,297	10,259	1,700	1,700	2,793	1,700	149	1,700	1,700	

Village of Pleasant Prairie  
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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adrr Origin
226	Data/voice communications	10,268	11,614	12,500	12,500	10,934	14,408	1,226	14,558	14,558	
228	Garbage/Recycling	0	0	0	0	0	0	0	0	0	
229	Clean Water	0	0	0	0	0	0	0	0	0	
230	Equipment rental	0	0	0	0	0	0	0	0	0	
231	Equipment leases	0	0	0	0	0	0	0	0	0	
232	Facility Lease	0	0	0	0	0	0	0	0	0	
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	
241	Software maintenance agreemt	0	0	0	28,838	28,838	28,838	2,527	30,280	30,280	
242	Contracted Equipment maintenance	2,967	2,888	4,450	4,450	1,327	4,450	380	4,450	4,450	
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	
244	Contracted Building maintenance	0	0	0	0	0	0	0	0	0	
245	Communications maintenance	0	0	0	0	0	0	0	0	0	
246	Vehicle maintenance	19,014	21,664	32,000	32,000	15,910	32,000	2,924	35,000	25,000	
260	Travel	677	761	750	2,750	2,361	2,750	68	750	750	
261	Meals & lodging	2,256	3,559	3,200	5,200	4,774	5,200	350	4,200	4,200	
262	Conferences/seminars/training	16,024	33,711	27,000	22,000	17,304	18,000	2,375	33,076	31,076	
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	
274	Weights & measures	0	0	0	0	0	0	0	0	0	
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	
276	Stray animal care	0	0	0	0	0	0	0	0	0	
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	
285	Code enforcement	0	0	0	0	0	0	0	0	0	
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	
299	It department allocation	0	0	0	0	0	0	0	0	0	
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>87,369</b>	<b>130,388</b>	<b>118,969</b>	<b>175,357</b>	<b>122,736</b>	<b>171,330</b>	<b>12,366</b>	<b>152,110</b>	<b>140,110</b>	
300	Memberships & subscriptions	505	425	500	500	268	400	174	2,000	2,000	
310	Office supplies	622	135	1,000	1,000	192	1,000	87	1,000	1,000	
311	Copying/Printing	2,298	3,746	3,400	3,400	2,443	3,400	298	3,400	3,400	
312	Mailing	1,047	884	800	800	690	800	87	1,000	1,000	
330	Election Supplies	0	0	0	0	0	0	0	0	0	
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	
334	Police evidence	3,408	3,578	3,500	5,000	5,124	5,000	424	5,000	5,000	
336	Village board of review exp	0	0	0	0	0	0	0	0	0	
350	Minor equipment/tool replacemt	1,153	6,333	4,000	14,562	8,866	14,562	1,174	14,000	14,000	
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	
352	Uniform services & uniforms	17,836	15,603	17,350	17,350	11,005	15,950	1,331	15,950	15,950	
353	Safety equipment	0	0	0	0	0	0	0	0	0	
354	Medical supplies	0	0	0	0	0	0	0	0	0	
355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0	0	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	65,833	76,498	65,000	65,000	54,708	65,000	5,424	65,000	65,000	
358	Squad materials	0	0	0	0	0	0	0	0	0	
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	
362	Equipment maintenance supplies	485	454	500	500	127	500	49	500	500	
364	Building maintenance supplies	0	0	0	0	0	0	0	0	0	
366	Vehicle Maintenance supplies	5,186	1,047	1,000	1,000	1,413	1,600	125	1,500	1,500	
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	
371	Signs	0	0	0	0	0	0	0	0	0	
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	
373	Pavement materials	0	0	0	0	0	0	0	0	0	
374	Salt	0	0	0	0	0	0	0	0	0	
375	Culvert installation	0	0	0	0	0	0	0	0	0	
399	Miscellaneous expense	1,078	336	1,000	1,000	870	1,000	87	1,000	1,000	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>99,451</b>	<b>109,040</b>	<b>98,050</b>	<b>110,112</b>	<b>85,707</b>	<b>109,212</b>	<b>9,260</b>	<b>110,350</b>	<b>110,350</b>	
510	Property & liability insurance	21,618	19,112	22,086	22,086	16,672	21,705	21,837	21,837	21,837	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	0	0	0	0	0	0	0	0	0	
905	Internal Service Fund	0	0	0	0	0	0	0	0	0	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>3,084,971</b>	<b>3,410,766</b>	<b>3,404,182</b>	<b>3,485,981</b>	<b>2,265,966</b>	<b>3,450,501</b>	<b>318,729</b>	<b>3,569,146</b>	<b>3,564,144</b>	
990	New program requests	0	0	0	0	0	0	1,625	19,500	19,500	
991	New program requests - Personnel	0	0	0	0	0	0	0	0	0	
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	
994	Program Reductions	0	0	0	0	0	0	-6,525	-78,190	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>3,084,971</b>	<b>3,410,766</b>	<b>3,404,182</b>	<b>3,485,981</b>	<b>2,265,966</b>	<b>3,450,501</b>	<b>313,829</b>	<b>3,510,456</b>	<b>3,583,644</b>	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	1,112,571	1,077,765	1,524,922	1,524,922	802,312	0	136,394	1,635,776	1,635,776	
111	Part - time salaries	144,256	148,492	88,846	88,846	58,692	0	7,586	91,034	93,746	
112	Overtime salaries	83,416	102,846	89,381	89,381	65,614	0	7,448	89,381	89,381	
113	Elected salaries	0	0	0	0	0	0	0	0	0	
114	Poc salaries	76,317	67,778	89,356	89,356	51,917	0	5,836	78,132	80,233	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	106,665	104,681	137,126	137,126	73,084	0	12,031	144,915	145,283	
152	Wisconsin retirement	213,778	215,183	268,487	268,487	143,103	0	19,209	230,834	237,356	
153	Worker's compensation	39,742	62,277	75,971	76,155	37,443	0	5,977	72,069	72,299	
154	Health & life benefits	235,988	277,876	406,644	406,644	231,371	0	34,812	417,747	417,747	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	0	0	0	0	0	0	0	0	0	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	0	0	0	0	0	0	0	0	0	
199	Personnel Transfer	30,076	32,215	33,262	33,262	22,111	0	2,844	34,117	34,105	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	2,409,568	0	0	0	
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>2,042,809</b>	<b>2,089,115</b>	<b>2,713,995</b>	<b>2,714,179</b>	<b>1,485,646</b>	<b>2,409,568</b>	<b>232,137</b>	<b>2,794,005</b>	<b>2,805,926</b>	
200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	307	19,738	15,810	15,810	9,398	15,810	944	11,229	11,229	
202	Occupational health evaluatns	15,050	14,779	35,690	35,690	18,342	35,690	26,922	26,922	26,922	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	0	0	0	0	0	0	0	0	0	
206	Contractual printing	1,219	211	1,600	1,600	1,359	1,600	1,597	1,597	1,597	
207	Janitorial services	0	0	0	0	0	0	0	0	0	
209	A/r collection service	24,357	18,217	20,757	19,057	12,003	19,000	18,760	18,760	18,760	
210	Attorney fees	7,714	14,979	2,000	6,000	4,872	6,000	6,000	6,000	6,000	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	0	0	0	0	0	0	0	0	0	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	4,700	14,325	5,100	5,100	4,825	4,825	5,100	5,100	5,100	
215	Commission/pollworker services	420	240	500	500	290	500	500	500	500	
216	Attorney fees - personnel svc	0	0	0	0	0	0	0	0	0	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	12,749	13,233	13,100	13,100	8,308	13,100	13,100	13,100	13,100	
221	Natural gas	5,044	4,988	11,100	8,800	1,813	8,800	11,100	11,100	11,100	
222	Municipal sewer	832	902	913	913	661	913	994	994	994	
223	Municipal water	1,586	1,587	1,815	1,815	1,171	1,815	1,815	1,815	1,815	
224	Telephone service	10,173	9,146	8,232	8,232	5,625	8,232	8,232	8,232	8,232	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	3,590	2,867	3,126	3,126	1,116	3,126	3,126	3,126	3,126	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
226	Data/voice communications	247	510	9,600	9,600	4,227	9,600	9,600	9,600	9,600	
228	Garbage/Recycling	600	600	630	630	400	630	630	630	630	
229	Clean Water	424	424	432	432	282	432	432	432	432	
230	Equipment rental	0	0	0	0	0	0	0	0	0	
231	Equipment leases	0	0	0	0	0	0	0	0	0	
232	Facility Lease	0	0	0	0	0	0	0	0	0	
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	
241	Software maintenance agreemt	2,565	1,745	6,250	6,250	6,250	6,250	7,240	7,240	7,240	
242	Contracted Equipment maintenance	22,213	9,984	15,351	15,351	8,265	15,351	15,912	15,912	15,912	
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	
244	Contracted Building maintenance	10,678	13,498	19,509	19,509	6,367	19,489	11,666	11,666	11,666	
245	Communications maintenance	0	0	0	0	0	0	0	0	0	
246	Vehicle maintenance	78,379	61,284	58,330	58,330	28,980	58,330	56,750	56,750	56,750	
260	Travel	1,652	712	1,064	1,064	59	1,064	994	994	994	
261	Meals & lodging	2,692	2,051	3,280	3,280	1,810	3,280	3,700	3,700	3,700	
262	Conferences/seminars/training	15,403	20,391	27,395	27,395	13,085	27,395	33,060	33,060	33,060	
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	
274	Weights & measures	0	0	0	0	0	0	0	0	0	
275	Fire sprinkler plan review	23,601	29,369	7,900	16,000	13,831	16,000	27,335	27,335	27,335	
276	Stray animal care	0	0	0	0	0	0	0	0	0	
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	
285	Code enforcement	0	0	0	0	0	0	0	0	0	
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	
299	It department allocation	0	0	0	0	0	0	0	0	0	
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>246,194</b>	<b>255,781</b>	<b>269,484</b>	<b>277,584</b>	<b>153,339</b>	<b>277,232</b>	<b>265,509</b>	<b>275,794</b>	<b>275,794</b>	
300	Memberships & subscriptions	2,155	2,334	2,825	2,825	2,592	2,825	3,915	3,915	3,915	
310	Office supplies	529	1,307	2,450	2,450	829	2,450	2,450	2,450	2,450	
311	Copying/Printing	4,769	5,465	4,710	4,710	2,828	4,710	1,900	1,900	1,900	
312	Mailing	1,791	1,522	1,887	1,887	842	1,887	2,037	2,037	2,037	
330	Election Supplies	0	0	0	0	0	0	0	0	0	
332	Fire supplies & equipment	5,256	4,441	15,845	15,845	6,760	15,845	15,342	15,342	15,342	
333	Rescue supplies & equipment	17,266	29,984	29,574	29,574	13,348	29,574	31,186	31,186	31,186	
334	Police evidence	0	0	0	0	0	0	0	0	0	
336	Village board of review exp	0	0	0	0	0	0	0	0	0	
350	Minor equipment/tool replacemt	1,536	7,353	1,920	5,000	3,842	5,000	10,220	10,220	10,220	
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	
352	Uniform services & uniforms	21,952	19,317	20,798	20,798	15,616	20,798	18,598	18,598	18,598	
353	Safety equipment	921	17,562	35,610	35,610	20,356	35,610	19,165	19,165	19,165	
354	Medical supplies	0	0	0	0	0	0	0	0	0	
355	Janitorial/cleaning supplies	2,261	2,464	2,844	2,844	624	2,844	2,844	2,844	2,844	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	26,714	38,072	35,000	35,000	24,967	35,000	36,000	36,000	36,000	
358	Squad materials	0	0	0	0	0	0	0	0	0	
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	
362	Equipment maintenance supplies	1,396	1,744	7,617	7,617	6,033	7,617	7,970	7,970	7,970	
364	Building maintenance supplies	1,620	1,472	4,580	4,580	1,623	4,580	4,180	4,180	4,180	
366	Vehicle Maintenance supplies	7,873	4,689	3,900	3,900	3,556	3,900	4,146	4,146	4,146	
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	
371	Signs	0	0	0	0	0	0	0	0	0	
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	
373	Pavement materials	0	0	0	0	0	0	0	0	0	
374	Salt	0	0	0	0	0	0	0	0	0	
375	Culvert installation	0	0	0	0	0	0	0	0	0	
399	Miscellaneous expense	1,310	1,910	750	750	400	750	750	750	750	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>97,348</b>	<b>139,636</b>	<b>170,310</b>	<b>173,390</b>	<b>104,217</b>	<b>173,390</b>	<b>160,703</b>	<b>160,703</b>	<b>160,703</b>	
510	Property & liability insurance	22,921	28,462	28,522	28,522	25,627	27,417	27,525	27,525	27,525	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	0	0	0	0	0	0	0	0	0	
905	Internal Service Fund	956	852	2,538	2,538	604	2,538	2,538	2,538	2,538	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>2,410,227</b>	<b>2,513,846</b>	<b>3,184,849</b>	<b>3,196,213</b>	<b>1,769,432</b>	<b>2,890,145</b>	<b>688,411</b>	<b>3,260,565</b>	<b>3,272,486</b>	
990	New program requests	0	0	0	0	0	0	356,944	356,944	47,000	
991	New program requests - Personnel	0	0	0	0	0	0	15,351	184,211	0	
993	Revenue Enhancer	0	0	0	0	0	0	73,570	73,570	73,570	
994	Program Reductions	0	0	0	0	0	0	0	0	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>2,410,227</b>	<b>2,513,846</b>	<b>3,184,849</b>	<b>3,196,213</b>	<b>1,769,432</b>	<b>2,890,145</b>	<b>987,136</b>	<b>3,728,150</b>	<b>3,245,916</b>	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	161,029	125,495	129,223	129,224	93,837	0	12,681	152,173	152,173	
111	Part - time salaries	18,759	20,080	18,200	18,200	1,759	0	0	0	0	
112	Overtime salaries	0	0	0	0	0	0	95	1,136	1,136	
113	Elected salaries	0	0	0	0	0	0	0	0	0	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	13,743	11,016	11,278	11,278	7,137	0	977	11,728	11,728	
152	Wisconsin retirement	17,667	11,780	7,624	7,624	5,520	0	856	10,272	10,195	
153	Worker's compensation	3,614	5,207	5,372	5,372	3,084	0	483	5,795	5,795	
154	Health & life benefits	26,999	33,776	31,787	31,787	21,866	0	2,711	32,534	32,534	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	0	0	0	0	0	0	0	0	0	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	0	0	0	0	0	0	0	0	0	
199	Personnel Transfer	0	9,431	9,788	9,788	6,826	0	832	9,852	10,142	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	213,273	0	0	0	
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>241,812</b>	<b>216,786</b>	<b>213,272</b>	<b>213,273</b>	<b>140,028</b>	<b>213,273</b>	<b>18,635</b>	<b>223,490</b>	<b>223,704</b>	
200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	9,438	2,399	1,955	1,955	1,141	1,955	92	972	972	
202	Occupational health evaluatns	0	55	0	100	89	100	100	100	100	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	0	0	0	0	0	0	0	0	0	
206	Contractual printing	14	144	1,000	300	17	300	300	300	300	
207	Janitorial services	0	0	0	0	0	0	0	0	0	
209	A/r collection service	0	0	0	0	0	0	0	0	0	
210	Attorney fees	0	0	0	0	0	0	0	0	0	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	0	0	0	0	0	0	0	0	0	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	4,800	4,866	4,800	4,960	4,954	4,960	4,960	4,960	4,960	
215	Commission/pollworker services	0	0	0	0	0	0	0	0	0	
216	Attorney fees - personnel svc	0	0	0	0	0	0	0	0	0	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	0	0	0	0	0	0	0	0	0	
221	Natural gas	0	0	0	0	0	0	0	0	0	
222	Municipal sewer	0	0	0	0	0	0	0	0	0	
223	Municipal water	0	0	0	0	0	0	0	0	0	
224	Telephone service	1,730	1,332	1,200	1,160	819	1,160	1,160	1,160	1,160	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	600	620	800	800	485	800	800	800	800	



		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origir
226	Data/voice communications	0	0	0	0	0	0	0	0	0	0
228	Garbage/Recycling	0	0	0	0	0	0	0	0	0	0
229	Clean Water	0	0	0	0	0	0	0	0	0	0
230	Equipment rental	0	0	0	0	0	0	0	0	0	0
231	Equipment leases	0	0	0	0	0	0	0	0	0	0
232	Facility Lease	0	0	0	0	0	0	0	0	0	0
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	0
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	0
241	Software maintenance agreemt	0	0	0	0	0	0	0	0	0	0
242	Contracted Equipment maintenance	0	0	0	0	0	0	0	0	0	0
243	Contracted Maintenance agreement	0	0	0	0	0	0	0	0	0	0
244	Contracted Building maintenance	0	0	0	0	0	0	0	0	0	0
245	Communications maintenance	0	0	0	0	0	0	0	0	0	0
246	Vehicle maintenance	467	1,526	1,000	700	0	700	0	0	0	0
260	Travel	0	0	0	0	0	0	0	0	0	0
261	Meals & lodging	25	33	50	50	0	50	50	50	50	50
262	Conferences/seminars/training	1,290	950	1,325	1,325	500	1,325	1,162	1,525	1,525	1,525
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	0
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	0
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	0
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	0
274	Weights & measures	0	0	0	0	0	0	0	0	0	0
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	0
276	Stray animal care	0	0	0	0	0	0	0	0	0	0
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	0
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	0
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	0
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	0
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	0
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	0
285	Code enforcement	0	0	0	0	0	0	0	0	0	0
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	0
299	It department allocation	0	0	0	0	0	0	0	0	0	0
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>18,364</b>	<b>11,925</b>	<b>12,130</b>	<b>11,350</b>	<b>8,004</b>	<b>11,350</b>	<b>8,624</b>	<b>9,867</b>	<b>9,867</b>	
300	Memberships & subscriptions	38	78	190	240	273	273	240	240	240	240
310	Office supplies	236	1,894	1,100	1,100	1,732	1,677	125	1,500	1,500	1,500
311	Copying/Printing	611	727	800	800	493	800	800	800	800	800
312	Mailing	438	554	500	500	348	500	500	500	500	500
330	Election Supplies	0	0	0	0	0	0	0	0	0	0
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	0
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	0
334	Police evidence	0	0	0	0	0	0	0	0	0	0
336	Village board of review exp	0	0	0	0	0	0	0	0	0	0
350	Minor equipment/tool replacemt	0	202	300	300	0	300	300	300	300	300
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	0
352	Uniform services & uniforms	0	0	0	0	0	0	0	0	0	0
353	Safety equipment	0	0	150	150	14	150	150	150	150	150
354	Medical supplies	0	0	0	0	0	0	0	0	0	0
355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0	0	0

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	2,683	2,887	4,000	4,000	1,511	4,000	0	0	0	
358	Squad materials	0	0	0	0	0	0	0	0	0	
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	
362	Equipment maintenance supplies	0	0	0	0	0	0	0	0	0	
364	Building maintenance supplies	0	0	0	0	0	0	0	0	0	
366	Vehicle Maintenance supplies	496	479	600	600	267	600	0	0	0	
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	
371	Signs	0	0	0	0	0	0	0	0	0	
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	
373	Pavement materials	0	0	0	0	0	0	0	0	0	
374	Salt	0	0	0	0	0	0	0	0	0	
375	Culvert installation	0	0	0	0	0	0	0	0	0	
399	Miscellaneous expense	23	0	50	150	131	150	200	200	200	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>4,525</b>	<b>6,821</b>	<b>7,690</b>	<b>7,840</b>	<b>4,769</b>	<b>8,450</b>	<b>2,315</b>	<b>3,690</b>	<b>3,690</b>	
510	Property & liability insurance	1,342	1,108	1,291	1,291	814	980	550	550	550	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	0	0	0	0	0	0	0	0	0	
905	Internal Service Fund	0	0	0	630	250	630	761	9,000	9,000	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>266,043</b>	<b>236,639</b>	<b>234,384</b>	<b>234,384</b>	<b>153,865</b>	<b>234,683</b>	<b>30,885</b>	<b>246,597</b>	<b>246,811</b>	
990	New program requests	0	0	0	0	0	0	0	0	0	
991	New program requests - Personnel	0	0	0	0	0	0	0	0	0	
993	Revenue Enhancer	0	0	0	0	0	0	409	4,820	4,820	
994	Program Reductions	0	0	0	0	0	0	0	0	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>266,043</b>	<b>236,639</b>	<b>234,384</b>	<b>234,384</b>	<b>153,865</b>	<b>234,683</b>	<b>30,476</b>	<b>241,777</b>	<b>241,991</b>	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	0	0	0	0	0	0	0	0	0	
111	Part - time salaries	194,790	207,945	235,519	235,519	134,331	0	19,728	235,521	235,521	
112	Overtime salaries	9,015	14,002	9,637	9,637	3,198	0	803	9,637	9,637	
113	Elected salaries	0	0	0	0	0	0	0	0	0	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	14,973	16,318	18,754	18,754	10,281	0	1,571	18,755	18,755	
152	Wisconsin retirement	22,446	21,049	14,465	14,465	8,093	0	1,376	16,426	16,303	
153	Worker's compensation	401	642	735	735	362	0	47	564	564	
154	Health & life benefits	66,833	93,703	95,888	95,888	52,109	0	9,019	108,230	108,230	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	0	0	0	0	0	0	0	0	0	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	0	0	0	0	0	0	0	0	0	
199	Personnel Transfer	0	0	0	0	0	0	0	0	0	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	374,998	0	0	0	
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>308,457</b>	<b>353,659</b>	<b>374,998</b>	<b>374,998</b>	<b>208,374</b>	<b>374,998</b>	<b>32,543</b>	<b>389,132</b>	<b>389,009</b>	
200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	6,229	2,928	2,434	2,434	1,420	2,434	134	1,553	1,553	
202	Occupational health evaluatns	755	1,948	1,900	1,900	1,327	1,900	162	1,900	1,900	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	0	0	0	0	0	0	0	0	0	
206	Contractual printing	0	0	0	0	0	0	0	0	0	
207	Janitorial services	0	0	0	0	0	0	0	0	0	
209	A/r collection service	0	0	0	0	0	0	0	0	0	
210	Attorney fees	9,028	3,208	1,000	1,000	-2,613	-2,612	87	1,000	1,000	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	0	0	0	0	0	0	0	0	0	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	0	0	0	0	0	0	0	0	0	
215	Commission/pollworker services	0	0	0	0	0	0	0	0	0	
216	Attorney fees - personnel svc	0	0	0	0	0	0	0	0	0	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	0	0	0	0	0	0	0	0	0	
221	Natural gas	0	0	0	0	0	0	0	0	0	
222	Municipal sewer	0	0	0	0	0	0	0	0	0	
223	Municipal water	0	0	0	0	0	0	0	0	0	
224	Telephone service	11,336	14,664	13,200	13,200	9,027	13,200	1,100	13,200	13,200	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	0	0	0	0	0	0	0	0	0	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origir
226	Data/voice communications	0	0	0	0	0	0	0	0	0	0
228	Garbage/Recycling	0	0	0	0	0	0	0	0	0	0
229	Clean Water	0	0	0	0	0	0	0	0	0	0
230	Equipment rental	0	0	0	0	0	0	0	0	0	0
231	Equipment leases	0	0	0	0	0	0	0	0	0	0
232	Facility Lease	0	0	0	0	0	0	0	0	0	0
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	0
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	0
241	Software maintenance agreemt	13,238	4,312	24,000	24,000	0	0	0	0	0	0
242	Contracted Equipment maintenance	8,649	7,973	8,758	8,758	8,739	8,758	774	9,200	9,200	0
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	0
244	Contracted Building maintenance	0	0	0	0	0	0	0	0	0	0
245	Communications maintenance	0	0	0	0	0	0	0	0	0	0
246	Vehicle maintenance	0	0	0	0	0	0	0	0	0	0
260	Travel	95	0	375	375	0	100	34	375	375	0
261	Meals & lodging	0	0	375	375	0	340	34	375	375	0
262	Conferences/seminars/training	160	1,615	525	525	0	710	80	960	960	0
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	0
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	0
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	0
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	0
274	Weights & measures	0	0	0	0	0	0	0	0	0	0
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	0
276	Stray animal care	0	0	0	0	0	0	0	0	0	0
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	0
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	0
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	0
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	0
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	0
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	0
285	Code enforcement	0	0	0	0	0	0	0	0	0	0
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	0
299	It department allocation	0	0	0	0	0	0	0	0	0	0
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>49,490</b>	<b>36,648</b>	<b>52,567</b>	<b>52,567</b>	<b>17,900</b>	<b>24,830</b>	<b>2,405</b>	<b>28,563</b>	<b>28,563</b>	
300	Memberships & subscriptions	0	0	0	0	0	0	12	100	100	0
310	Office supplies	2,576	1,729	2,500	2,500	1,351	2,500	212	2,500	2,500	0
311	Copying/Printing	5,228	4,918	4,600	4,600	2,392	4,000	387	4,600	4,600	0
312	Mailing	847	1,146	800	800	432	800	74	800	800	0
330	Election Supplies	0	0	0	0	0	0	0	0	0	0
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	0
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	0
334	Police evidence	0	0	0	0	0	0	0	0	0	0
336	Village board of review exp	0	0	0	0	0	0	0	0	0	0
350	Minor equipment/tool replacemt	0	0	0	0	0	0	49	500	500	0
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	0
352	Uniform services & uniforms	0	785	550	550	96	416	56	650	650	0
353	Safety equipment	0	0	0	0	0	0	0	0	0	0
354	Medical supplies	0	0	0	0	0	0	0	0	0	0
355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0	0	0

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	0	0	0	0	0	0	0	0	0	
358	Squad materials	0	0	0	0	0	0	0	0	0	
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	
362	Equipment maintenance supplies	211	0	0	0	0	0	0	0	0	
364	Building maintenance supplies	0	0	0	0	0	0	0	0	0	
366	Vehicle Maintenance supplies	0	0	0	0	0	0	0	0	0	
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	
371	Signs	0	0	0	0	0	0	0	0	0	
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	
373	Pavement materials	0	0	0	0	0	0	0	0	0	
374	Salt	0	0	0	0	0	0	0	0	0	
375	Culvert installation	0	0	0	0	0	0	0	0	0	
399	Miscellaneous expense	0	0	100	100	0	0	12	100	100	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>8,861</b>	<b>8,577</b>	<b>8,550</b>	<b>8,550</b>	<b>4,271</b>	<b>7,716</b>	<b>802</b>	<b>9,250</b>	<b>9,250</b>	
510	Property & liability insurance	878	816	910	910	689	875	900	900	900	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	0	0	0	0	0	0	0	0	0	
905	Internal Service Fund	0	0	0	0	0	0	0	0	0	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>367,687</b>	<b>399,700</b>	<b>437,025</b>	<b>437,025</b>	<b>231,234</b>	<b>408,419</b>	<b>36,650</b>	<b>427,845</b>	<b>427,722</b>	
990	New program requests	0	0	0	0	0	0	0	0	0	
991	New program requests - Personnel	0	0	0	0	0	0	3,919	47,032	32,616	
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	
994	Program Reductions	0	0	0	0	0	0	-3,947	-47,331	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>367,687</b>	<b>399,700</b>	<b>437,025</b>	<b>437,025</b>	<b>231,234</b>	<b>408,419</b>	<b>36,623</b>	<b>427,546</b>	<b>460,338</b>	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	180,082	157,578	175,653	175,653	127,126	0	15,174	182,083	182,083	
111	Part - time salaries	0	17,354	17,160	17,160	12,064	0	1,430	17,160	17,675	
112	Overtime salaries	0	0	0	0	0	0	0	0	0	
113	Elected salaries	0	0	0	0	0	0	0	0	0	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	13,360	13,231	14,750	14,750	10,251	0	1,270	15,242	15,281	
152	Wisconsin retirement	19,722	15,463	11,376	11,376	8,160	0	1,112	13,349	13,284	
153	Worker's compensation	2,272	3,529	4,070	4,070	2,675	0	360	4,317	4,319	
154	Health & life benefits	30,336	34,398	34,794	34,794	24,315	0	2,869	34,429	34,429	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	398	389	429	429	172	0	37	447	447	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	0	0	0	0	0	0	0	0	0	
199	Personnel Transfer	9,910	-9,431	-9,788	-9,788	-6,826	0	-832	-9,852	-10,142	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	236,444	0	0	0	
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>256,079</b>	<b>232,512</b>	<b>248,444</b>	<b>248,444</b>	<b>177,938</b>	<b>236,444</b>	<b>21,420</b>	<b>257,175</b>	<b>257,375</b>	
200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	0	3,164	2,210	2,210	1,289	2,210	102	1,158	1,158	
202	Occupational health evaluatns	0	0	0	0	41	0	6	50	50	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	0	0	0	0	0	0	24	200	200	
206	Contractual printing	0	140	160	160	0	160	160	160	160	
207	Janitorial services	0	0	0	0	0	0	0	0	0	
209	A/r collection service	0	0	0	0	0	0	0	0	0	
210	Attorney fees	425	375	500	300	325	300	49	500	500	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	1,343	0	50	550	485	550	300	300	300	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	70	3,423	0	0	0	0	0	0	0	
215	Commission/pollworker services	0	0	0	0	0	0	0	0	0	
216	Attorney fees - personnel svc	0	0	0	0	0	0	0	0	0	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	0	0	0	0	0	0	0	0	0	
221	Natural gas	0	0	0	0	0	0	0	0	0	
222	Municipal sewer	0	0	0	0	0	0	0	0	0	
223	Municipal water	0	0	0	0	0	0	0	0	0	
224	Telephone service	1,807	1,999	1,800	1,800	1,233	1,800	1,800	1,800	1,800	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	1,668	1,121	1,400	1,300	456	1,200	112	1,300	1,300	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adrr Origin
226	Data/voice communications	0	0	0	0	0	0	0	0	0	0
228	Garbage/Recycling	0	0	0	0	0	0	0	0	0	0
229	Clean Water	0	0	0	0	0	0	0	0	0	0
230	Equipment rental	0	0	0	0	0	0	0	0	0	0
231	Equipment leases	0	0	0	0	0	0	0	0	0	0
232	Facility Lease	0	0	0	0	0	0	0	0	0	0
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	0
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	0
241	Software maintenance agreemt	0	0	0	0	0	0	0	0	0	0
242	Contracted Equipment maintenance	0	0	0	0	0	0	0	0	0	0
243	Contracted Maintenance agreement	0	0	0	0	0	0	0	0	0	0
244	Contracted Building maintenance	0	0	0	0	0	0	0	0	0	0
245	Communications maintenance	0	0	0	0	0	0	0	0	0	0
246	Vehicle maintenance	0	0	0	0	0	0	0	0	0	0
260	Travel	861	7	500	500	0	500	500	500	500	500
261	Meals & lodging	1,610	464	600	600	332	600	50	600	600	600
262	Conferences/seminars/training	1,863	978	1,025	1,025	504	1,025	1,112	2,025	2,025	2,025
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	0
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	0
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	0
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	0
274	Weights & measures	0	0	0	0	0	0	0	0	0	0
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	0
276	Stray animal care	0	0	0	0	0	0	0	0	0	0
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	0
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	0
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	0
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	0
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	0
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	0
285	Code enforcement	0	0	0	0	0	0	0	0	0	0
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	0
299	It department allocation	0	0	0	0	0	0	0	0	0	0
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>9,648</b>	<b>11,670</b>	<b>8,245</b>	<b>8,445</b>	<b>4,666</b>	<b>8,345</b>	<b>4,215</b>	<b>8,593</b>	<b>8,593</b>	
300	Memberships & subscriptions	621	699	600	600	753	600	700	700	700	700
310	Office supplies	945	435	600	600	332	600	600	600	600	600
311	Copying/Printing	1,322	1,984	1,000	1,000	845	1,000	100	1,200	1,200	1,200
312	Mailing	319	606	400	400	395	400	50	600	600	600
330	Election Supplies	0	0	0	0	0	0	0	0	0	0
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	0
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	0
334	Police evidence	0	0	0	0	0	0	0	0	0	0
336	Village board of review exp	0	0	0	0	0	0	0	0	0	0
350	Minor equipment/tool replacemt	0	0	0	0	0	0	0	0	0	0
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	0
352	Uniform services & uniforms	0	0	0	0	0	0	0	0	0	0
353	Safety equipment	0	0	0	0	0	0	0	0	0	0
354	Medical supplies	0	0	0	0	0	0	0	0	0	0
355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0	0	0

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	0	0	0	0	0	0	0	0	0	0
358	Squad materials	0	0	0	0	0	0	0	0	0	0
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	0
362	Equipment maintenance supplies	0	0	0	0	0	0	0	0	0	0
364	Building maintenance supplies	0	0	0	0	0	0	0	0	0	0
366	Vehicle Maintenance supplies	0	0	0	0	0	0	0	0	0	0
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	0
371	Signs	0	0	0	0	0	0	0	0	0	0
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	0
373	Pavement materials	0	0	0	0	0	0	0	0	0	0
374	Salt	0	0	0	0	0	0	0	0	0	0
375	Culvert installation	0	0	0	0	0	0	0	0	0	0
399	Miscellaneous expense	79	14	25	25	0	0	12	100	100	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>3,286</b>	<b>3,738</b>	<b>2,625</b>	<b>2,625</b>	<b>2,324</b>	<b>2,600</b>	<b>1,462</b>	<b>3,200</b>	<b>3,200</b>	
510	Property & liability insurance	602	478	560	560	358	470	500	500	500	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	0	0	0	0	0	0	0	0	0	
905	Internal Service Fund	4,426	3,046	3,900	3,700	1,291	3,900	700	8,400	8,400	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>274,041</b>	<b>251,444</b>	<b>263,774</b>	<b>263,774</b>	<b>186,577</b>	<b>251,759</b>	<b>28,297</b>	<b>277,868</b>	<b>278,068</b>	
990	New program requests	0	0	0	0	0	0	0	0	0	
991	New program requests - Personnel	0	0	0	0	0	0	3,164	37,970	0	
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	
994	Program Reductions	0	0	0	0	0	0	0	0	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>274,041</b>	<b>251,444</b>	<b>263,774</b>	<b>263,774</b>	<b>186,577</b>	<b>251,759</b>	<b>31,462</b>	<b>315,838</b>	<b>278,068</b>	



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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	342,380	292,011	303,462	303,462	155,626	0	26,844	321,954	321,954	
111	Part - time salaries	59,094	55,933	79,282	79,282	27,711	0	6,604	79,242	78,920	
112	Overtime salaries	82,272	75,020	45,556	45,556	42,357	0	3,796	45,556	45,556	
113	Elected salaries	0	0	0	0	0	0	0	0	0	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	36,611	32,099	32,764	32,764	17,056	0	2,849	34,177	34,152	
152	Wisconsin retirement	48,222	37,791	25,087	25,087	12,363	0	2,231	26,761	26,570	
153	Worker's compensation	9,878	16,365	17,059	17,059	8,500	0	1,478	17,731	17,706	
154	Health & life benefits	91,556	100,459	99,201	99,201	49,823	0	7,495	89,942	89,940	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	26	33	220	220	0	0	21	248	248	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	0	0	0	0	0	0	0	0	0	
199	Personnel Transfer	0	0	0	0	0	0	0	0	0	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	519,222	0	0	0	

<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>670,038</b>	<b>609,711</b>	<b>602,631</b>	<b>602,631</b>	<b>313,435</b>	<b>519,222</b>	<b>51,318</b>	<b>615,611</b>	<b>615,047</b>	
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200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	7,694	4,823	4,607	4,607	2,687	4,607	213	2,523	2,523	
202	Occupational health evaluatns	2,926	2,475	2,300	2,300	697	2,300	199	2,300	2,300	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	247	0	300	300	0	300	25	300	300	
206	Contractual printing	0	0	0	0	0	0	0	0	0	
207	Janitorial services	0	0	0	0	0	0	0	0	0	
209	A/r collection service	0	0	0	0	0	0	0	0	0	
210	Attorney fees	0	0	0	0	0	0	0	0	0	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	2,000	119	1,300	1,300	0	500	87	1,000	1,000	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	6,425	96,655	2,200	2,200	2,395	3,000	250	3,000	3,000	
215	Commission/pollworker services	0	0	0	0	0	0	0	0	0	
216	Attorney fees - personnel svc	0	0	0	0	0	0	0	0	0	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	0	0	0	0	0	0	0	0	0	
221	Natural gas	0	0	0	0	0	0	0	0	0	
222	Municipal sewer	0	0	0	0	0	0	0	0	0	
223	Municipal water	264	312	325	325	286	325	28	325	325	
224	Telephone service	2,590	2,887	2,600	2,600	1,782	2,600	224	2,600	2,600	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	2,930	2,855	1,800	1,800	1,846	2,500	212	2,500	2,500	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
226	Data/voice communications	191	864	400	400	1,408	1,000	87	1,000	1,000	
228	Garbage/Recycling	0	0	0	0	0	0	0	0	0	
229	Clean Water	57	33	100	100	33	75	9	75	75	
230	Equipment rental	187	2,655	1,500	1,500	0	1,500	125	1,500	1,500	
231	Equipment leases	0	0	0	0	0	0	0	0	0	
232	Facility Lease	0	0	0	0	0	0	0	0	0	
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	
241	Software maintenance agreemt	459	459	500	500	459	500	49	500	500	
242	Contracted Equipment maintenance	0	0	0	0	0	0	0	0	0	
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	
244	Contracted Building maintenance	0	0	0	0	0	0	0	0	0	
245	Communications maintenance	0	0	0	0	0	0	0	0	0	
246	Vehicle maintenance	0	0	0	0	0	0	0	0	0	
260	Travel	713	19	375	375	330	800	49	500	500	
261	Meals & lodging	1,291	734	750	750	674	750	68	750	750	
262	Conferences/seminars/training	4,981	1,853	1,875	1,875	1,610	2,500	159	1,875	1,875	
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	
274	Weights & measures	0	0	0	0	0	0	0	0	0	
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	
276	Stray animal care	14,213	15,580	16,360	16,360	12,010	16,360	1,367	16,360	16,360	
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	
285	Code enforcement	0	0	0	0	0	0	0	0	0	
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	
299	It department allocation	0	0	0	0	0	0	0	0	0	
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>47,166</b>	<b>132,322</b>	<b>37,292</b>	<b>37,292</b>	<b>26,217</b>	<b>39,617</b>	<b>3,151</b>	<b>37,108</b>	<b>37,108</b>	
300	Memberships & subscriptions	619	129	375	375	136	375	34	375	375	
310	Office supplies	1,006	367	1,000	1,000	1,206	2,000	174	2,000	2,000	
311	Copying/Printing	3,457	2,223	2,800	2,800	1,180	2,800	237	2,800	2,800	
312	Mailing	853	615	500	500	317	500	49	500	500	
330	Election Supplies	0	0	0	0	0	0	0	0	0	
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	
334	Police evidence	0	0	0	0	0	0	0	0	0	
336	Village board of review exp	0	0	0	0	0	0	0	0	0	
350	Minor equipment/tool replacemt	0	0	0	0	0	0	0	0	0	
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	
352	Uniform services & uniforms	1,960	1,130	1,500	1,500	1,196	1,500	125	1,500	1,500	
353	Safety equipment	9,641	3,235	3,000	3,000	2,459	3,000	250	3,000	3,000	
354	Medical supplies	0	0	0	0	0	0	0	0	0	
355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0	0	

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	0	0	0	0	0	0	0	0	0	
358	Squad materials	0	0	0	0	0	0	0	0	0	
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	
362	Equipment maintenance supplies	1,411	4,315	3,000	3,000	1,138	3,000	250	3,000	3,000	
364	Building maintenance supplies	0	0	0	0	0	0	0	0	0	
366	Vehicle Maintenance supplies	0	0	0	0	0	0	0	0	0	
370	Landscaping supplies	4,384	4,333	2,400	2,400	2,460	2,800	237	2,800	2,800	
371	Signs	6,237	5,699	4,500	4,500	4,175	4,500	375	4,500	4,500	
372	Gravel/crushed stone	34,624	20,309	20,000	20,000	6,056	20,000	1,674	20,000	20,000	
373	Pavement materials	47,044	33,245	30,000	30,000	25,768	30,000	2,500	30,000	30,000	
374	Salt	222,354	150,505	160,000	160,000	145,276	153,235	15,174	182,000	182,000	
375	Culvert installation	0	0	0	0	0	0	0	0	0	
399	Miscellaneous expense	2,531	1,477	1,500	1,500	1,307	1,500	125	1,500	1,500	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>336,122</b>	<b>227,582</b>	<b>230,575</b>	<b>230,575</b>	<b>192,674</b>	<b>225,210</b>	<b>21,204</b>	<b>253,975</b>	<b>253,975</b>	
510	Property & liability insurance	2,585	2,982	3,503	3,503	2,100	2,647	2,740	2,740	2,740	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	0	0	0	0	0	0	0	0	0	
905	Internal Service Fund	374,874	420,980	420,000	420,000	212,477	380,000	35,000	420,000	420,000	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>1,430,785</b>	<b>1,393,577</b>	<b>1,294,001</b>	<b>1,294,001</b>	<b>746,902</b>	<b>1,166,696</b>	<b>113,413</b>	<b>1,329,434</b>	<b>1,328,870</b>	
990	New program requests	0	0	0	0	0	0	712	8,500	0	
991	New program requests - Personnel	0	0	0	0	0	0	486	5,826	5,826	
993	Revenue Enhancer	0	0	0	0	0	0	212	2,500	2,500	
994	Program Reductions	0	0	0	0	0	0	0	0	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>1,430,785</b>	<b>1,393,577</b>	<b>1,294,001</b>	<b>1,294,001</b>	<b>746,902</b>	<b>1,166,696</b>	<b>114,399</b>	<b>1,341,261</b>	<b>1,332,196</b>	

Village of Pleasant Prairie  
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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adrr Origin
110	Salaries	1,558	744	1,392	1,392	4,175	0	994	11,934	11,934	
111	Part - time salaries	0	0	0	0	0	0	0	0	0	
112	Overtime salaries	236	19	0	0	130	0	63	757	757	
113	Elected salaries	0	0	0	0	0	0	0	0	0	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	133	58	106	106	325	0	81	971	971	
152	Wisconsin retirement	197	88	82	82	254	0	71	850	844	
153	Worker's compensation	52	28	60	60	59	0	41	497	497	
154	Health & life benefits	420	236	433	433	900	0	95	1,137	1,137	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	0	0	0	0	0	0	0	0	0	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	0	0	0	0	0	0	0	0	0	
199	Personnel Transfer	0	0	0	0	0	0	0	0	0	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	9,000	0	0	0	
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>2,596</b>	<b>1,173</b>	<b>2,073</b>	<b>2,073</b>	<b>5,843</b>	<b>9,000</b>	<b>1,345</b>	<b>16,146</b>	<b>16,140</b>	
200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	0	21	32	32	8	32	9	9	9	
202	Occupational health evaluatns	0	0	0	0	0	0	0	0	0	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	0	73	0	0	0	0	0	0	0	
206	Contractual printing	0	0	0	0	0	0	0	0	0	
207	Janitorial services	0	0	0	0	0	0	0	0	0	
209	A/r collection service	0	0	0	0	0	0	0	0	0	
210	Attorney fees	0	0	0	0	0	0	0	0	0	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	0	0	0	0	0	0	0	0	0	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	29,815	39,058	25,000	25,000	6,595	12,000	250	3,000	3,000	
215	Commission/pollworker services	0	0	0	0	0	0	0	0	0	
216	Attorney fees - personnel svc	0	0	0	0	0	0	0	0	0	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	201,656	211,398	209,600	209,600	122,914	213,000	17,924	215,000	230,050	
221	Natural gas	0	0	0	0	0	0	0	0	0	
222	Municipal sewer	0	0	0	0	0	0	0	0	0	
223	Municipal water	0	0	0	0	0	0	0	0	0	
224	Telephone service	0	0	0	0	0	0	0	0	0	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	0	0	0	0	0	0	0	0	0	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
226	Data/voice communications	0	0	0	0	0	0	0	0	0	0
228	Garbage/Recycling	0	0	0	0	0	0	0	0	0	0
229	Clean Water	0	0	0	0	0	0	0	0	0	0
230	Equipment rental	0	0	0	0	0	0	0	0	0	0
231	Equipment leases	0	0	0	0	0	0	0	0	0	0
232	Facility Lease	0	0	0	0	0	0	0	0	0	0
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	0
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	0
241	Software maintenance agreemt	0	0	0	0	0	0	0	0	0	0
242	Contracted Equipment maintenance	0	0	0	0	0	0	0	0	0	0
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	0
244	Contracted Building maintenance	0	0	0	0	0	0	0	0	0	0
245	Communications maintenance	0	0	0	0	0	0	0	0	0	0
246	Vehicle maintenance	0	0	0	0	0	0	0	0	0	0
260	Travel	0	0	0	0	0	0	0	0	0	0
261	Meals & lodging	0	0	0	0	0	0	0	0	0	0
262	Conferences/seminars/training	0	0	0	0	0	0	0	0	0	0
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	0
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	0
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	0
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	0
274	Weights & measures	0	0	0	0	0	0	0	0	0	0
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	0
276	Stray animal care	0	0	0	0	0	0	0	0	0	0
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	0
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	0
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	0
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	0
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	0
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	0
285	Code enforcement	0	0	0	0	0	0	0	0	0	0
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	0
299	It department allocation	0	0	0	0	0	0	0	0	0	0
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>231,471</b>	<b>250,549</b>	<b>234,632</b>	<b>234,632</b>	<b>129,517</b>	<b>225,032</b>	<b>18,183</b>	<b>218,009</b>	<b>233,059</b>	
300	Memberships & subscriptions	0	0	0	0	0	0	0	0	0	0
310	Office supplies	0	0	0	0	0	0	0	0	0	0
311	Copying/Printing	0	0	0	0	0	0	0	0	0	0
312	Mailing	0	0	0	0	0	0	0	0	0	0
330	Election Supplies	0	0	0	0	0	0	0	0	0	0
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	0
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	0
334	Police evidence	0	0	0	0	0	0	0	0	0	0
336	Village board of review exp	0	0	0	0	0	0	0	0	0	0
350	Minor equipment/tool replacemt	0	0	0	0	0	0	0	0	0	0
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	0
352	Uniform services & uniforms	0	0	0	0	0	0	0	0	0	0
353	Safety equipment	0	0	0	0	0	0	0	0	0	0
354	Medical supplies	0	0	0	0	0	0	0	0	0	0
355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0	0	0

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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	0	0	0	0	0	0	0	0	0	
358	Squad materials	0	0	0	0	0	0	0	0	0	
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	
362	Equipment maintenance supplies	0	0	500	500	2,365	6,000	511	6,000	6,000	
364	Building maintenance supplies	0	0	0	0	0	0	0	0	0	
366	Vehicle Maintenance supplies	0	0	0	0	0	0	0	0	0	
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	
371	Signs	0	0	0	0	0	0	0	0	0	
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	
373	Pavement materials	0	0	0	0	0	0	0	0	0	
374	Salt	0	0	0	0	0	0	0	0	0	
375	Culvert installation	0	0	0	0	0	0	0	0	0	
399	Miscellaneous expense	0	0	0	0	0	0	0	0	0	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>0</b>	<b>0</b>	<b>500</b>	<b>500</b>	<b>2,365</b>	<b>6,000</b>	<b>511</b>	<b>6,000</b>	<b>6,000</b>	
510	Property & liability insurance	0	0	0	0	0	0	0	0	0	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	0	0	0	0	0	0	0	0	0	
905	Internal Service Fund	655	263	500	500	1,835	2,500	212	2,500	2,500	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>234,722</b>	<b>251,986</b>	<b>237,705</b>	<b>237,705</b>	<b>139,560</b>	<b>242,532</b>	<b>20,252</b>	<b>242,655</b>	<b>257,699</b>	
990	New program requests	0	0	0	0	0	0	0	0	0	
991	New program requests - Personnel	0	0	0	0	0	0	0	0	0	
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	
994	Program Reductions	0	0	0	0	0	0	0	0	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>234,722</b>	<b>251,986</b>	<b>237,705</b>	<b>237,705</b>	<b>139,560</b>	<b>242,532</b>	<b>20,252</b>	<b>242,655</b>	<b>257,699</b>	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	82,996	95,097	92,840	92,840	67,322	0	8,108	97,294	97,294	
111	Part - time salaries	20,155	34,813	32,509	32,509	29,624	0	2,440	29,276	34,331	
112	Overtime salaries	2,884	561	2,666	2,666	617	0	222	2,666	2,666	
113	Elected salaries	0	0	0	0	0	0	0	0	0	
114	Poc salaries	0	0	0	0	0	0	0	0	0	
115	Commissioned Services	0	0	0	0	0	0	0	0	0	
120	Snow removal wages	0	0	0	0	0	0	0	0	0	
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0	
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0	
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0	
124	Village Board per Diem	0	0	0	0	0	0	0	0	0	
128	Park commission salaries	0	0	0	0	0	0	0	0	0	
129	School commission salaries	0	0	0	0	0	0	0	0	0	
151	Social security	8,010	9,944	9,793	9,793	7,339	0	824	9,886	10,273	
152	Wisconsin retirement	9,266	9,408	7,553	7,553	4,657	0	643	7,716	7,817	
153	Worker's compensation	2,311	4,289	5,048	5,048	3,079	0	423	5,071	5,286	
154	Health & life benefits	20,345	26,940	31,639	31,639	18,960	0	2,288	27,460	27,495	
156	Life Insurance	0	0	0	0	0	0	0	0	0	
157	Vision insurance	0	0	0	0	0	0	0	0	0	
158	Long - term disability insurance	0	0	72	72	0	0	6	77	77	
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0	
198	TID Hours Charge Out	0	0	0	0	0	0	0	0	0	
199	Personnel Transfer	0	0	0	0	0	0	0	0	0	
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	187,550	0	0	0	
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>145,967</b>	<b>181,053</b>	<b>182,119</b>	<b>182,120</b>	<b>131,599</b>	<b>187,550</b>	<b>14,954</b>	<b>179,445</b>	<b>185,240</b>	
200	Temporary help	0	0	0	0	0	0	0	0	0	
201	Unemployment	1,314	1,315	1,359	1,359	793	1,359	78	826	826	
202	Occupational health evaluatns	2,076	1,321	1,256	1,256	1,743	2,000	174	2,000	2,000	
204	Recording fees	0	0	0	0	0	0	0	0	0	
205	Publication of notices/agendas	0	0	0	0	0	0	0	0	0	
206	Contractual printing	0	0	0	0	0	0	0	0	0	
207	Janitorial services	0	0	0	0	0	0	0	0	0	
209	A/r collection service	0	0	0	0	0	0	0	0	0	
210	Attorney fees	1,220	250	500	500	0	0	49	500	500	
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0	
212	Engineering fees	0	0	0	0	0	0	0	0	0	
213	Network consultants	0	0	0	0	0	0	0	0	0	
214	Consultant/contractual service	12,271	27,679	15,200	15,200	3,302	14,500	1,350	16,200	16,200	
215	Commission/pollworker services	660	1,580	1,200	1,200	0	1,200	100	1,200	1,200	
216	Attorney fees - personnel svc	834	0	0	0	0	0	0	0	0	
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0	
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0	
220	Electric	15,405	18,278	14,000	14,000	8,153	14,000	1,174	14,000	14,000	
221	Natural gas	5,739	3,457	6,000	6,000	1,481	3,500	299	3,500	3,500	
222	Municipal sewer	1,855	1,856	1,500	1,500	1,280	1,500	125	1,500	1,500	
223	Municipal water	8,501	9,560	8,000	8,000	9,123	11,000	750	9,000	9,000	
224	Telephone service	755	1,003	900	900	612	900	75	900	900	
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0	
225	Cellular telephone	2,676	1,886	1,700	1,700	892	1,200	100	1,200	1,200	

		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origir
226	Data/voice communications	0	0	480	480	0	0	0	0	0	0
228	Garbage/Recycling	432	432	450	450	252	432	36	432	432	
229	Clean Water	28,948	31,855	34,000	34,000	19,818	34,000	2,837	34,000	34,000	
230	Equipment rental	468	559	500	500	74	500	49	500	500	
231	Equipment leases	0	0	0	0	0	0	0	0	0	
232	Facility Lease	0	0	0	0	0	0	0	0	0	
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	
241	Software maintenance agreemt	0	0	0	0	0	0	0	0	0	
242	Contracted Equipment maintenance	0	0	0	0	0	0	0	0	0	
243	Contracted Maintenance agreement:	0	0	0	0	0	0	0	0	0	
244	Contracted Building maintenance	840	40	1,000	1,000	1,060	1,000	87	1,000	1,000	
245	Communications maintenance	0	0	0	0	0	0	0	0	0	
246	Vehicle maintenance	0	0	0	0	0	0	0	0	0	
260	Travel	0	0	0	0	0	0	0	0	0	
261	Meals & lodging	18	7	20	20	0	20	9	20	20	
262	Conferences/seminars/training	0	100	375	375	100	100	12	100	100	
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	
274	Weights & measures	0	0	0	0	0	0	0	0	0	
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	
276	Stray animal care	0	0	0	0	0	0	0	0	0	
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	
285	Code enforcement	0	0	0	0	0	0	0	0	0	
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	
299	It department allocation	0	0	0	0	0	0	0	0	0	
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>84,013</b>	<b>101,179</b>	<b>88,440</b>	<b>88,440</b>	<b>48,680</b>	<b>87,211</b>	<b>7,304</b>	<b>86,878</b>	<b>86,878</b>	
300	Memberships & subscriptions	277	283	300	300	321	300	25	300	300	
310	Office supplies	300	175	250	250	109	250	30	250	250	
311	Copying/Printing	1,170	813	1,000	1,000	533	1,000	87	1,000	1,000	
312	Mailing	143	67	100	100	79	100	12	100	100	
330	Election Supplies	0	0	0	0	0	0	0	0	0	
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	
334	Police evidence	0	0	0	0	0	0	0	0	0	
336	Village board of review exp	0	0	0	0	0	0	0	0	0	
350	Minor equipment/tool replacemt	460	3,253	1,500	1,500	2,185	2,200	187	2,200	2,200	
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	
352	Uniform services & uniforms	13	310	500	500	236	500	49	500	500	
353	Safety equipment	0	0	0	0	0	0	0	0	0	
354	Medical supplies	0	0	0	0	0	0	0	0	0	
355	Janitorial/cleaning supplies	877	215	900	900	1,319	1,500	125	1,500	1,500	



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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	0	0	0	0	0	0	0	0	0	
358	Squad materials	0	0	0	0	0	0	0	0	0	
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	
362	Equipment maintenance supplies	2,111	1,538	4,500	4,500	3,306	4,600	386	4,500	4,500	
364	Building maintenance supplies	3,617	2,634	1,200	1,200	2,082	2,200	174	2,000	2,000	
366	Vehicle Maintenance supplies	0	0	0	0	0	0	0	0	0	
370	Landscaping supplies	9,564	12,440	12,000	12,000	11,104	12,000	1,000	12,000	12,000	
371	Signs	355	373	100	100	719	400	18	150	150	
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	
373	Pavement materials	0	0	0	0	0	0	0	0	0	
374	Salt	0	0	0	0	0	0	0	0	0	
375	Culvert installation	0	0	0	0	0	0	0	0	0	
399	Miscellaneous expense	1,516	1,074	2,100	2,100	429	2,100	175	2,100	2,100	
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>20,403</b>	<b>23,174</b>	<b>24,450</b>	<b>24,450</b>	<b>22,422</b>	<b>27,150</b>	<b>2,268</b>	<b>26,600</b>	<b>26,600</b>	
510	Property & liability insurance	1,009	1,163	1,286	1,286	1,460	1,610	1,655	1,655	1,655	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	0	0	0	0	0	0	0	0	0	
905	Internal Service Fund	96,915	82,609	57,602	57,602	85,160	51,072	4,750	57,000	57,000	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>348,307</b>	<b>389,177</b>	<b>353,898</b>	<b>353,898</b>	<b>289,321</b>	<b>354,593</b>	<b>30,931</b>	<b>351,578</b>	<b>357,373</b>	
990	New program requests	0	0	0	0	0	0	799	9,500	0	
991	New program requests - Personnel	0	0	0	0	0	0	1,318	15,813	15,813	
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	
994	Program Reductions	0	0	0	0	0	0	0	0	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>348,307</b>	<b>389,177</b>	<b>353,898</b>	<b>353,898</b>	<b>289,321</b>	<b>354,593</b>	<b>33,048</b>	<b>376,892</b>	<b>373,187</b>	

Village of Pleasant Prairie  
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	Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
110	Salaries	216,466	216,269	219,882	219,882	143,849	0	18,873	226,478	226,478
111	Part - time salaries	0	0	0	0	0	0	0	0	0
112	Overtime salaries	0	0	0	0	0	0	0	0	0
113	Elected salaries	0	0	0	0	0	0	0	0	0
114	Poc salaries	0	0	0	0	0	0	0	0	0
115	Commissioned Services	0	0	0	0	0	0	0	0	0
120	Snow removal wages	0	0	0	0	0	0	0	0	0
121	Part time Snow Removal Wages	0	0	0	0	0	0	0	0	0
122	Snow removal overtime wages	0	0	0	0	0	0	0	0	0
123	Village board mileage reimbursemer	0	0	0	0	0	0	0	0	0
124	Village Board per Diem	0	0	0	0	0	0	0	0	0
128	Park commission salaries	0	0	0	0	0	0	0	0	0
129	School commission salaries	0	0	0	0	0	0	0	0	0
151	Social security	16,050	16,203	16,821	16,821	10,788	0	1,444	17,326	17,326
152	Wisconsin retirement	23,831	20,169	12,973	12,973	8,482	0	1,265	15,174	15,061
153	Worker's compensation	401	666	660	660	381	0	43	521	521
154	Health & life benefits	39,059	49,334	46,860	46,860	32,140	0	3,864	46,367	46,367
156	Life Insurance	0	0	0	0	0	0	0	0	0
157	Vision insurance	0	0	0	0	0	0	0	0	0
158	Long - term disability insurance	0	0	0	0	0	0	0	0	0
197	Vacant Positions not filled	0	0	0	0	0	0	0	0	0
198	TID Hours Charge Out	-985	0	0	0	0	0	0	0	0
199	Personnel Transfer	0	0	0	0	0	0	0	0	0
CYESTSB	Current Year Estimated Salaries & B	0	0	0	0	0	297,196	0	0	0
<b>XTOTPS</b>	<b>Total Personnel Services</b>	<b>294,821</b>	<b>302,641</b>	<b>297,195</b>	<b>297,196</b>	<b>195,641</b>	<b>297,196</b>	<b>25,489</b>	<b>305,866</b>	<b>305,753</b>
200	Temporary help	0	0	0	0	0	0	0	0	0
201	Unemployment	0	2,991	2,438	2,438	1,422	2,438	130	1,450	1,450
202	Occupational health evaluatns	0	0	100	100	0	0	0	0	0
204	Recording fees	0	0	0	0	0	0	0	0	0
205	Publication of notices/agendas	3,278	3,998	4,000	4,000	1,411	2,500	4,000	4,000	4,000
206	Contractual printing	188	82	1,500	1,500	0	350	1,500	1,500	1,500
207	Janitorial services	0	0	0	0	0	0	0	0	0
209	A/r collection service	0	0	0	0	0	0	0	0	0
210	Attorney fees	22,863	25,003	10,000	11,456	-14,358	-8,000	20,000	20,000	10,000
211	Accounting/audit fees	0	0	0	0	0	0	0	0	0
212	Engineering fees	0	0	0	0	0	0	0	0	0
213	Network consultants	0	0	0	0	0	0	0	0	0
214	Consultant/contractual service	3,993	2,229	6,000	6,000	1,444	2,600	6,000	6,000	6,000
215	Commission/pollworker services	2,282	2,200	4,200	4,200	1,080	2,300	4,200	4,200	4,200
216	Attorney fees - personnel svc	8,123	7,865	10,000	10,000	2,695	7,000	10,000	10,000	10,000
217	Land use/plan consultants	0	0	0	0	0	0	0	0	0
219	Manufacturing Assessment Fee	0	0	0	0	0	0	0	0	0
220	Electric	0	0	0	0	0	0	0	0	0
221	Natural gas	0	0	0	0	0	0	0	0	0
222	Municipal sewer	0	0	0	0	0	0	0	0	0
223	Municipal water	0	0	0	0	0	0	0	0	0
224	Telephone service	3,916	4,088	4,000	4,000	2,736	3,648	4,000	4,000	4,000
224A	Allocation to Departments	0	0	0	0	0	0	0	0	0
225	Cellular telephone	685	590	480	480	98	98	0	0	0

Village of Pleasant Prairie  
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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
226	Data/voice communications	574	632	600	600	495	950	950	950	950	
228	Garbage/Recycling	0	0	0	0	0	0	0	0	0	
229	Clean Water	0	0	0	0	0	0	0	0	0	
230	Equipment rental	0	0	0	0	0	0	0	0	0	
231	Equipment leases	0	0	0	0	0	0	0	0	0	
232	Facility Lease	0	0	0	0	0	0	0	0	0	
239	Telephone Transfer	0	0	0	0	0	0	0	0	0	
240	Office equipment maintenance	0	0	0	0	0	0	0	0	0	
241	Software maintenance agreemt	0	0	0	0	0	0	0	0	0	
242	Contracted Equipment maintenance	0	0	0	0	0	0	0	0	0	
243	Contracted Maintenance agreement	0	0	0	0	0	0	0	0	0	
244	Contracted Building maintenance	0	0	0	0	0	0	0	0	0	
245	Communications maintenance	0	0	0	0	0	0	0	0	0	
246	Vehicle maintenance	0	0	0	0	0	0	0	0	0	
260	Travel	2,220	2,207	1,500	1,500	0	1,500	1,500	1,500	1,500	
261	Meals & lodging	537	116	1,125	1,125	261	450	1,125	1,125	1,125	
262	Conferences/seminars/training	417	350	2,225	2,225	75	300	2,225	2,225	2,225	
270	Attorney fees - litigation	0	0	0	0	0	0	0	0	0	
271	Attorney fees - outside counsel	0	0	0	0	0	0	0	0	0	
272	Attorney fees - consortium	0	0	0	0	0	0	0	0	0	
273	Land use plan consultants	0	0	0	0	0	0	0	0	0	
274	Weights & measures	0	0	0	0	0	0	0	0	0	
275	Fire sprinkler plan review	0	0	0	0	0	0	0	0	0	
276	Stray animal care	0	0	0	0	0	0	0	0	0	
277	Aerobics expenses	0	0	0	0	0	0	0	0	0	
278	Fire equipment maintenance	0	0	0	0	0	0	0	0	0	
279	Rescue equipment maintenance	0	0	0	0	0	0	0	0	0	
280	Fire vehicle maintenance	0	0	0	0	0	0	0	0	0	
281	Rescue vehicle maintenance	0	0	0	0	0	0	0	0	0	
282	Beach/shoreline maintenance	0	0	0	0	0	0	0	0	0	
285	Code enforcement	0	0	0	0	0	0	0	0	0	
286	Credit Card Processing Fee	0	0	0	0	0	0	0	0	0	
299	It department allocation	0	0	0	0	0	0	0	0	0	
<b>XTOTCS</b>	<b>Total Contractual Services</b>	<b>49,075</b>	<b>52,350</b>	<b>48,168</b>	<b>49,624</b>	<b>-2,642</b>	<b>16,134</b>	<b>55,630</b>	<b>56,950</b>	<b>46,950</b>	
300	Memberships & subscriptions	1,651	1,632	1,980	1,980	1,559	1,700	1,980	1,980	1,980	
310	Office supplies	971	683	1,300	1,300	845	1,260	1,300	1,300	1,300	
311	Copying/Printing	6,980	7,915	11,855	10,399	3,385	7,799	11,555	11,555	11,555	
312	Mailing	3,385	2,215	4,780	4,780	2,138	4,100	4,780	4,780	4,780	
330	Election Supplies	0	0	0	0	0	0	0	0	0	
332	Fire supplies & equipment	0	0	0	0	0	0	0	0	0	
333	Rescue supplies & equipment	0	0	0	0	0	0	0	0	0	
334	Police evidence	0	0	0	0	0	0	0	0	0	
336	Village board of review exp	0	0	0	0	0	0	0	0	0	
350	Minor equipment/tool replacemt	0	890	500	500	0	0	500	500	500	
351	Repair/maintenance supplies	0	0	0	0	0	0	0	0	0	
352	Uniform services & uniforms	0	0	0	0	0	0	0	0	0	
353	Safety equipment	0	0	0	0	0	0	0	0	0	
354	Medical supplies	0	0	0	0	0	0	0	0	0	
355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0	0	

Village of Pleasant Prairie  
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		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request	Admin Req 1: 2012	Adm Origin
357	Fuel	0	0	0	0	0	0	0	0	0	0
358	Squad materials	0	0	0	0	0	0	0	0	0	0
359	Snow plow related expenses	0	0	0	0	0	0	0	0	0	0
362	Equipment maintenance supplies	0	0	0	0	0	0	0	0	0	0
364	Building maintenance supplies	0	0	0	0	0	0	0	0	0	0
366	Vehicle Maintenance supplies	0	0	0	0	0	0	0	0	0	0
370	Landscaping supplies	0	0	0	0	0	0	0	0	0	0
371	Signs	0	0	0	0	0	0	0	0	0	0
372	Gravel/crushed stone	0	0	0	0	0	0	0	0	0	0
373	Pavement materials	0	0	0	0	0	0	0	0	0	0
374	Salt	0	0	0	0	0	0	0	0	0	0
375	Culvert installation	0	0	0	0	0	0	0	0	0	0
399	Miscellaneous expense	1,008	57	1,210	1,210	0	1,210	1,210	1,210	1,210	1,210
<b>XTOTSM</b>	<b>Total Supplies and Maintenance</b>	<b>13,993</b>	<b>13,392</b>	<b>21,625</b>	<b>20,169</b>	<b>7,927</b>	<b>16,069</b>	<b>21,325</b>	<b>21,325</b>	<b>21,325</b>	
510	Property & liability insurance	1,109	849	939	939	664	821	865	865	865	
515	Co Location Expenses	0	0	0	0	0	0	0	0	0	
710	Merchandise	0	0	0	0	0	0	0	0	0	
900	Contingency	0	0	0	0	0	0	0	0	0	
901	Non Personnel Transfer	0	0	0	0	0	0	0	0	0	
905	Internal Service Fund	0	0	0	0	0	0	0	0	0	
910	Settlements	0	0	0	0	0	0	0	0	0	
<b>XSUBTOT</b>	<b>Department Subtotal</b>	<b>358,998</b>	<b>369,232</b>	<b>367,927</b>	<b>367,928</b>	<b>201,589</b>	<b>330,220</b>	<b>103,308</b>	<b>385,005</b>	<b>374,892</b>	
990	New program requests	0	0	0	0	0	0	0	0	0	
991	New program requests - Personnel	0	0	0	0	0	0	0	0	0	
993	Revenue Enhancer	0	0	0	0	0	0	0	0	0	
994	Program Reductions	0	0	0	0	0	0	0	0	0	
995	Program reductions	0	0	0	0	0	0	0	0	0	
<b>XGT</b>	<b>Grand Total</b>	<b>358,998</b>	<b>369,232</b>	<b>367,927</b>	<b>367,928</b>	<b>201,589</b>	<b>330,220</b>	<b>103,308</b>	<b>385,005</b>	<b>374,892</b>	

**Village of Pleasant Prairie  
2013 General Fund Budget  
New Programs**

Priority	Department	Name of Program	Link to Capital	Remaining % in Depts Listed	Amount of Program	% in Dept	Cumulative	Ongoing or One Time
<b><u>Recommended</u></b>								
	Assessing	Appraiser Reclassification- part-time to full-time (Full Yr \$51,244) - Option 1			16,910	100%	16,910	16,910 Ongoing
	Assessing	Promotion - Deputy Assessor			6,657	100%	6,657	23,567 Ongoing
	Fire & Rescue	Pursue Agent Status from the State of WI for Plan Review			-	100%	-	23,567 Ongoing
	Fire & Rescue	Annual Physicals for all Personnel			12,000	100%	12,000	35,567 Ongoing
	Fire & Rescue	Create a Fire and Rescue Fleet Replacement Fund			35,000	100%	35,000	70,567 Ongoing
	IT	HR / Payroll Software, training and Conversion	Yes	Enterprise Funds	28,860	64%	18,470	89,037 One Time
	IT	Finance Software, Training and Conversion (Moved from 2014)	Yes	Enterprise Funds	121,770	64%	77,933	166,970 One Time
	Parks	Promote Park Supervisor to Park Foreman			15,813	100%	15,813	182,783 Ongoing
	Police	Purchase Ballistic Helmets			19,500	100%	19,500	202,283 One Time
	Public Safety	Fully fund 8th dispatch position approved in 2012 budget			32,617	100%	32,617	234,900 Ongoing
	Public Works	Promotion of PW employee from Maintenance 4 to Maintenance 3			5,826	100%	5,826	240,726 Ongoing
<b><u>Not Recommended</u></b>								
	Assessing	Appraiser Reclassification- part-time to 32 hrs/week (Full Yr \$23,393) -Option 2			7,720	100%	7,720	7,720
	Engineering	Promote PT Clerical to FT Administrative Assistant for Engineering & Inspection			37,970	100%	37,970	45,690
	Fire & Rescue	Add a 2nd Assistant Chief Position			93,624	100%	93,624	139,314
	Fire & Rescue	Staff a Position w/Part-time Personnel			96,132	100%	96,132	235,446
	Fire & Rescue	Create a Fire and Rescue Fleet Replacement Fund			304,395	100%	304,395	539,841
	IT	Replace 2 Part-time Interns with One Permanent Part-time Position			7,569	64%	4,844	544,685
	IT	Cisco Maintenance Restored			12,000	64%	7,680	552,365
	IT	Conferences / Training Increase			5,650	64%	3,616	555,981
	Parks	Harrison Road Park Sign			3,500	100%	3,500	559,481
	Parks	Replace shingles on Ingram Park shed			6,000	100%	6,000	565,481
	Public Works	Sign Retro Reflectivity			8,500	100%	8,500	573,981
	Public Safety	Promote dispatcher to newly created supervisor position (Option 1)			2,247	100%	2,247	576,228
	Public Safety	Promote PT Dispatcher to FT Supervisor (Option 2)			12,171	100%	12,171	588,399
					597,478			

**Village of Pleasant Prairie  
2013 General Fund Budget  
Revenue Enhancements**

<b>Priority</b>	<b>Department</b>	<b>Name of Program</b>	<b>Amount of Program</b>	<b>Cumulative</b>
<u>Recommended</u>				
	Fire & Rescue	Increase Ambulance Base Rate	66,040	66,040
	Fire & Rescue	Increase Re-Inspection Fees	1,200	67,240
	Fire & Rescue	Increase Permit Fees	6,330	73,570
	Inpection	Increase Building Permit Fees	4,820	78,390
	Street Lights	Electric Savings from installing LED lights on Terwall	2,500	80,890

**Village of Pleasant Prairie  
2013 General Fund Budget  
Program Reductions**

<b>Priority</b>	<b>Department</b>	<b>Name of Program</b>	<b>Amount of Program</b>	<b>Cumulative</b>
<b><u>Recommended</u></b>				
<b><u>Not Recommended</u></b>				
	Police	Eliminate One Police Officer	78,190	78,190
	Public Safety Communications	Eliminate One Dispatcher	47,331	125,521
	IT	Reduce Computer and Printer part supply budget	12,000	137,521

*Village of Pleasant Prairie*  
*Proposed 2013 Budget*  
*General Government*

**Debt Fund**



		PACT 2010	ACTUAL 2011	G6Y201212	AMEND 2012	ACTUAL 2012	EST2012	DEPT2013	DEPTREQ13
ACCOUNT	Label	Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request
411100000	Property Taxes	2,205,230	1,716,033	1,672,153	1,672,153	1,166,145	1,672,153	121,060	1,452,709
411101000	Property Tax	0	0	0	0	0	0	0	0
420001000	Special Assessments	267,984	73,824	35,856	35,856	26,536	41,726	2,850	34,156
481101000	Interest on Investments	6,310	2,327	3,000	3,000	746	2,500	212	2,500
481301000	Interest on Special Assessments	16,816	28,597	16,847	16,847	13,144	26,373	1,642	19,682
=	<b>TOTREV</b>	<b>2,496,341</b>	<b>1,820,781</b>	<b>1,727,856</b>	<b>1,727,856</b>	<b>1,206,571</b>	<b>1,742,752</b>	<b>125,764</b>	<b>1,509,047</b>
491001000	Proceeds on GO Debt	0	0	0	0	0	0	0	0
491002000	Premium on GO Debt	106,285	0	0	0	0	0	0	0
492001000	Operating Transfer In	0	0	0	0	0	0	0	0
583000630	Issuance Expense	0	0	0	0	0	0	0	0
=	<b>OTHFIN</b>	<b>106,285</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
581000610	Principal on Long Term Notes	1,921,186	1,501,275	1,425,317	1,425,317	475,000	1,425,317	101,604	1,219,127
582900620	Interest on Long Term Notes	386,904	357,533	302,539	302,539	155,902	302,539	24,171	289,920
=	<b>TOTEXP</b>	<b>2,308,090</b>	<b>1,858,808</b>	<b>1,727,856</b>	<b>1,727,856</b>	<b>630,902</b>	<b>1,727,856</b>	<b>125,775</b>	<b>1,509,047</b>
=	<b>EXCESS</b>	<b>294,536</b>	<b>(38,027)</b>	<b>1</b>	<b>0</b>	<b>575,669</b>	<b>14,896</b>	<b>(11)</b>	<b>0</b>
BFB	Beginning Fund Balance	424,258	718,794	680,767	680,767	680,767	680,767	57,982	695,663
=	<b>EFB</b>	<b>718,794</b>	<b>680,767</b>	<b>680,768</b>	<b>680,767</b>	<b>1,256,436</b>	<b>695,663</b>	<b>57,971</b>	<b>695,663</b>

			ADMINREQ13
ACCOUNT	Label	Administrator's Budget	
411100000	Property Taxes	1,452,709	
411101000	Property Tax	0	
420001000	Special Assessments	34,156	
481101000	Interest on Investments	2,500	
481301000	Interest on Special Assessments	19,682	
= TOTREV	Total Revenue	1,509,047	
491001000	Proceeds on GO Debt	0	
491002000	Premium on GO Debt	0	
492001000	Operating Transfer In	0	
583000630	Issuance Expense	0	
= OTHFIN	Other Financing Sources	0	
581000610	Principal on Long Term Notes	1,219,127	
582900620	Interest on Long Term Notes	289,920	
= TOTEXP	Total Expenses	1,509,047	
= EXCESS	Excess (Deficiency)	0	
BFB	Beginning Fund Balance	695,663	
= EFB	Ending Fund Balance	695,663	

*Village of Pleasant Prairie*  
*Proposed 2013 Budget*  
*General Government*

**Capital Fund**

		PACT 2010	ACTUAL 2011	G6Y201212	AMEND 2012	ACTUAL 2012	EST2012	DEPT2013	DEPTREQ13	
	ACCOUNT	Label	Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request
+	411100000	General property taxes	1,144,562	1,850,337	364,494	364,494	254,513	364,494	30,380	364,494
	434100000	Income tax from state	0	0	0	0	0	0	0	0
	435210000	Road Grants from State	0	0	820,682	820,682	410,341	820,682	68,392	820,682
+	435211000	Grants	125,597	13,836	45,000	45,000	0	92,377	2,500	30,000
	435212000	Wi dept of trans reimbursement	0	0	0	0	0	0	0	0
	435213000	Inter - governmental - reimbursemt	323,518	50,666	0	0	0	0	0	0
	461002000	Impact Fees (Collection)	106,997	107,426	100,000	100,000	55,586	100,000	8,337	100,000
	481101000	Interest on investments	6,976	12,430	10,000	10,000	2,312	10,000	837	10,000
+	483011000	Sale - Law Enforcement Prop/ Equip	33,991	24,314	17,500	17,500	0	23,730	1,750	21,000
	483091000	Sale of village property/equip	1,305	0	0	0	1,437	6,755	1,674	20,000
+	484401000	Insurance award/refund village	0	7,186	0	0	0	0	0	0
	485001000	Donations	0	0	0	0	0	0	0	0
+	489001000	Miscellaneous receipts	85,036	3,000	0	0	0	0	0	0
+	492002000	Operating Transfer In	0	0	0	0	0	815,000	0	0
=	TOTREV	Total Revenue	1,827,981	2,069,195	1,357,676	1,357,676	724,189	2,233,038	113,870	1,366,176
+	CAPOUTLAY	Capital outlay	2,479,502	2,681,018	1,791,475	1,791,475	1,312,177	2,555,530	147,790	1,773,403
	491001000	Proceeds on g.o. Debt	2,025,000	0	0	0	0	0	0	0
	491002000	Premium on g.o. Debt	37,847	0	0	0	0	0	0	0
	583000630	Issuance expense	37,847	0	0	0	0	0	0	0
	970930900	Transfer Out	83,669	0	0	0	0	0	0	0
=	OTHFIN	Other Financing Sources (Uses)	1,941,331	0	0	0	0	0	0	0
=	EXCESS	Excess (Deficiency)	1,289,810	(611,823)	(433,799)	(433,799)	(587,988)	(322,492)	(33,920)	(407,227)
	BFB	Beginning Fund Balance	1,914,622	3,204,432	2,592,609	2,592,609	2,592,609	2,592,609	189,181	2,270,117
=	EFB	Ending Fund Balance	3,204,432	2,592,609	2,158,810	2,158,810	2,004,621	2,270,117	155,261	1,862,890
+	491003000	Impact Fees (Use)	0	0	515,071	515,071	0	515,071	2,924	35,000
	IFB	Impact Fee Balance	1,287,455	1,394,882	922,384	922,384	0	979,811	87,074	1,044,811
	VBB	Village Borrowing Balance	1,437,993	496,365	0	0	0	0	0	0
=	UFB	Unrestricted Fund Balance	478,984	701,362	1,236,426	1,236,426	2,004,621	1,290,306	68,187	818,079

	ACCOUNT	Label	ADMINREQ13 Administrator's Request
+	411100000	General property taxes	514,373
	434100000	Income tax from state	0
+	435210000	Road Grants from State	759,276
+	435211000	Grants	30,000
	435212000	Wi dept of trans reimbursement	0
	435213000	Inter - governmental - reimbursemt	0
	461002000	Impact Fees (Collection)	100,000
	481101000	Interest on investments	10,000
+	483011000	Sale - Law Enforcement Prop/ Equip	21,000
	483091000	Sale of village property/equip	0
+	484401000	Insurance award/refund village	0
	485001000	Donations	0
+	489001000	Miscellaneous receipts	0
+	492002000	Operating Transfer In	89,030
=	TOTREV	Total Revenue	1,523,679
+	CAPOUTLAY	Capital outlay	1,963,240
	491001000	Proceeds on g.o. Debt	0
	491002000	Premium on g.o. Debt	0
	583000630	Issuance expense	0
	970930900	Transfer Out	0
=	OTHFIN	Other Financing Sources (Uses)	0
=	EXCESS	Excess (Deficiency)	(439,561)
	BFB	Beginning Fund Balance	2,270,117
=	EFB	Ending Fund Balance	1,830,556
+	491003000	Impact Fees (Use)	0
	IFB	Impact Fee Balance	1,079,811
	VBB	Village Borrowing Balance	0
=	UFB	Unrestricted Fund Balance	750,745

**Village of Pleasant Prairie  
2013 Budget  
Capital Requests**

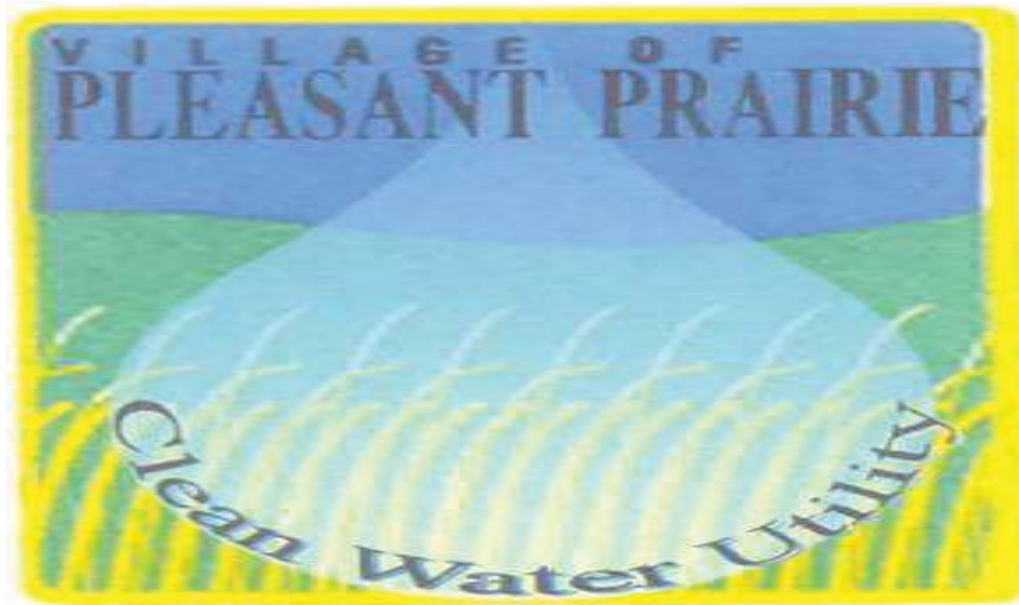
Project Number	Project Name	Dept Name	2013
<b><u>Recommended</u></b>			
EN-1	Engineering Survey Equipment	Engineering	8,800
FR-31	Self Contained Breathing Apparatus	Fire & Rescue	416,324
FR-32	Thermal Imaging Camera Replacement	Fire & Rescue	27,576
FR-38	Turnout Gear Racks	Fire & Rescue	20,000
IT-01	Servers and DVRs	Information Technology	74,000
IT-02	Storage, Tape Drives and Backbone	Information Technology	22,000
IT-03	CCTV and Access Control Rollouts (new)	Information Technology	40,900
IT-05	Data Center Maintenance	Information Technology	10,000
IT-06	Communication - Telco, Email and Radio	Information Technology	30,000
P-12-03	Ingram Park Improvements	Parks	35,000
PO-01	Vehicle Fleet Replacement	Police	159,000
M-2	Install 4th Satellite Radio for Fire, Rescue and PD	Public Safety Communications	30,000
PW-13-01lt	LED lights on Terwall Terrace	Public Works	27,000
PW-13-02RPC	Roof Salt Shed	Public Works	80,000
R-11-01	Microsurface	Roads	210,000
R-11-03	Pulverize and relay Asphalt	Roads	190,000
IT-13	Human Resource Systems	Information Technology	99,660
			<b>1,480,260</b>
<b><u>Not Recommended</u></b>			
FR-08	Automobile	Fire & Rescue	43,400
FR-16	All Terrain Vehicles	Fire & Rescue	38,743
PW-13-03RPC	Storage Bay Drainage	Public Works	31,000
PW-13-04RPC	Salt Shed Drainage	Public Works	9,000
PW-14-01RPC	Storage Bay Floor Epoxy Seal	Public Works	21,000
P-13-05	North Ballfields - Construct Pavillion and Pave lot	Parks	150,000
			293,143
		Department Requested Total	<b>1,773,403</b>
<b><u>2012 Carryover</u></b>			
A-01	Voting Equipment	Village Clerk	56,000
FR-37	Fire Radio Repeater Conversion	Fire & Rescue	71,000
<b><u>Recommended Additions</u></b>			
R-11-03	Pulverize and relay Asphalt	Roads - Added by Village Admin	250,000
IT-12	Finance Systems	Information Technology	105,980
			355,980
		Total Recommended	<b>1,963,240</b>

# VILLAGE OF PLEASANT PRAIRIE

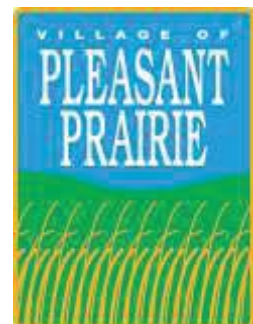
## BUDGET COVER PAGE

**BUDGET YEAR:** 2013

**DEPARTMENT:** Clean Water Utility



**SUBMITTED BY:** John Steinbrink, Jr., Public Works Director



# VILLAGE OF PLEASANT PRAIRIE

## Overview

**BUDGET YEAR:** 2013

**DEPARTMENT:** Clean Water

The Clean Water Utility has been selected as the primary resource to address storm water issues in the Village. The Clean Water Utility is designed to fund operations, depreciation of aging infrastructure, and capital. The Clean Water Utility Operational Budget is funded solely by a user fees of \$3.75 per ERU. The enterprise pays for daily operations, fund future capital and account for an aging infrastructure. Capital projects that benefit the Village of Pleasant Prairie as a whole will be funded by the Clean Water Utility. Capital projects specific to a specific drainage area are subject to a special assessment to the affected property owners. The property owners pay half of the construction cost and the Clean Water Utility pays the other half.

A second and more principal issue is the continued maintenance and eventual replacement of storm water infrastructure. As the Village continues to grow, an added responsibility is assumed. Growth creates additional infrastructure that represents an asset that the Village of Pleasant Prairie must maintain in good working order to provide adequate storm water management for residents and clean storm water for everyone in the Village. As with all infrastructure, there must be proper care and maintenance to extend the life of the system. In essence protecting and extending the life of those assets will likewise protect the Village's investments for their residents and businesses.

Federal mandates require communities with storm sewer systems to obtain state permits to discharge storm water to streams and lakes. These permits are administered by the Wisconsin Dept. of Natural Resources. Phase II rules affect the Village requiring that our community meet the following six minimum control measures:

1. Public Education and Outreach
2. Public participation and involvement
3. Illicit Discharge Detection and Elimination
4. Construction site pollution control
5. Post-construction storm water management
6. Pollution prevention (municipal good housekeeping)

Public education, outreach, participation and involvement are accomplished through the Village website and in partnership with the SE WI Clean Water Network. The remainder control measures are handled through periodic inspection and cleaning of each component of the system; including storm sewers, manholes, catch basins, other storm water structures such as retention and detention ponds that are the responsibility of the Village.

Projects complete in 2012:

Contractors completed the storm sewer in South Kenosha. This project will eliminate flooding in the area. Village staff completed the street sweeping, outfall inspections, behind the curb sump drain inspections, and catch basin cleaning.



As the storm water management system(s) become older, maintenance and repairs increase. To prevent premature failures and the added liability, proper maintenance schedules must be maintained. The absence of a good preventative maintenance program will normally lead to portions of the system being prematurely repaired or replaced.

Typically, when the repairs or replacement gets to this magnitude, bonds are sold to address the deficiencies. Timely maintenance will not only extend the life of the infrastructure, but will also limit untimely repairs and costly bond issues.

The Clean Water Utility assists in maintaining the system in a timely fashion. As a separate utility, revenues are generated through user charges. This allows for a more sensible approach for the maintenance and capital improvements and does not compete for property tax dollars from the general fund. Rates are established to provide an equitable balance for customers who would otherwise be exempt from a property tax charge by the general fund.

In summary, the Clean Water Utility establishes and promotes a systematic approach to dealing with past, present and future storm water needs while addressing state and federal mandates in an equitable manner. The Clean Water Utility is not proposing a rate increase for 2013.

# VILLAGE OF PLEASANT PRAIRIE

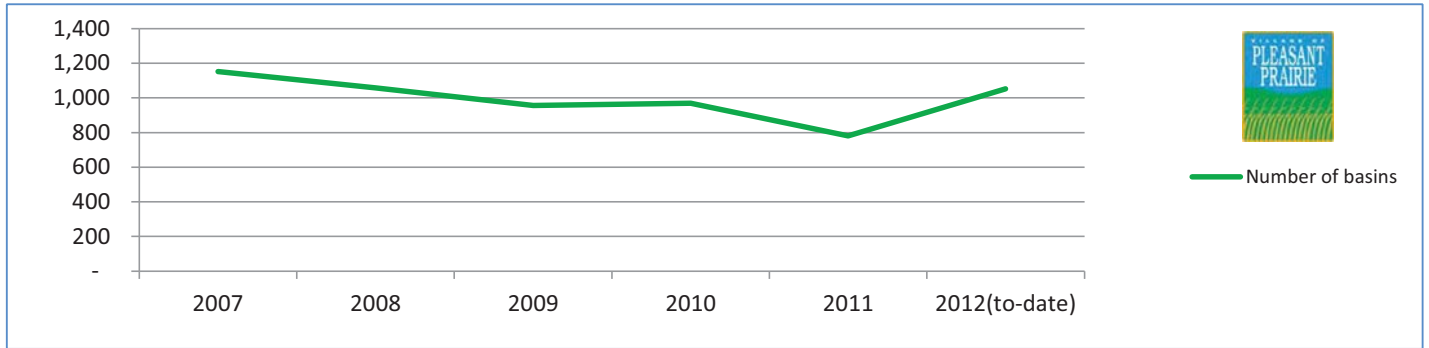
## TRENDING REPORT

DEPARTMENT: Clean Water Utility

BUDGET YEAR: 2013

Trend # 1

### Clean Catch Basins



YEAR	Number of basins
2007	1,152
2008	1,058
2009	957
2010	969
2011	781
2012(to-date)	1,053

The trending chart shows the numbers of catch basins cleaned each year. Public Works crews have completed cleaning of 1053 catch basins to-date in 2012. Work will continue as weather permits.

# VILLAGE OF PLEASANT PRAIRIE

## Goals

**BUDGET YEAR:** 2012

**DEPARTMENT:** Clean Water Utility

**UPDATE TYPE:** 3rd QTR

### GOALS:

Limited to three (3) goals. Description and Results limited to 500 text characters.

### GOAL #1

**TITLE:** Sweep curb & gutter

<input checked="" type="checkbox"/> NUMBER <input type="checkbox"/> PERCENT  Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.		<b>1st QTR</b>	<b>2nd QTR</b>	<b>3rd QTR</b>	<b>4th QTR</b>	<b>TOTAL</b>
	<b>GOAL</b>	0	202	101	101	404
	<b>ACTUAL</b>	0	202	101		303
	<b>FORECAST</b>	0	202	101	101	404

<b>DESCRIPTION</b>	Curb and gutters are swept four times per year, a total of 101 lane miles of curb each round.
<b>RESULTS</b>	DPW crews have completed 3 rounds of sweeping curbs and gutters throughout the Village in the first three quarters of 2012. It is expected that another round will be completed between the third and fourth quarters of this year.

# VILLAGE OF PLEASANT PRAIRIE

## Goals

DEPARTMENT: Clean Water Utility

BUDGET YEAR: 2012

UPDATE TYPE: 3rd QTR

### GOAL #2

TITLE: Inspect Behind-the-Curb Sump Drain Lines

- NUMBER  
 PERCENT

Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.

	1st QTR	2nd QTR	3rd QTR	4th QTR	TOTAL
<b>GOAL</b>	25	25	25	25	100
<b>ACTUAL</b>	0	0	0		0
<b>FORECAST</b>	0	0	0	100	100

<b>DESCRIPTION</b>	Inspect 5,000 feet of behind the curb sump drain lines. The Village has a total of 42,000 feet of behind the curb sump drain lines. These lines collect sump pump water where there is no storm main. Flow is routed behind the curb to the main. There is currently no inspections for these storm lines.
<b>RESULTS</b>	Other projects have prevented DPW crews from doing these inspections in the first three quarters of 2012. These inspections are expected to be completed by the end of the year. Curb inlets and catch basins are cleaned and inspected routinely.

# VILLAGE OF PLEASANT PRAIRIE

## Goals

**BUDGET YEAR:** 2013

**DEPARTMENT:** Clean Water Utility

**UPDATE TYPE:** Original

### GOALS:

Limited to three (3) goals. Description and Results limited to 500 text characters.

### GOAL #1

**TITLE:** Sweep curb & gutter

<input checked="" type="checkbox"/> NUMBER <input type="checkbox"/> PERCENT  Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.		<b>1st QTR</b>	<b>2nd QTR</b>	<b>3rd QTR</b>	<b>4th QTR</b>	<b>TOTAL</b>
	<b>GOAL</b>	0	202	101	101	404
	<b>ACTUAL</b>					0
	<b>FORECAST</b>					0

<b>DESCRIPTION</b>	Curb and gutters are swept four times per year, a total of 101 lane miles of curb each round.
<b>RESULTS</b>	

# VILLAGE OF PLEASANT PRAIRIE

## Goals

DEPARTMENT: Clean Water Utility

BUDGET YEAR: 2013

UPDATE TYPE: Original

### GOAL #2

TITLE: Inspect Behind-the-Curb Sump Drain Lines

- NUMBER  
 PERCENT

Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.

	1st QTR	2nd QTR	3rd QTR	4th QTR	TOTAL
<b>GOAL</b>	25	25	25	25	100
<b>ACTUAL</b>					0
<b>FORECAST</b>					0

<b>DESCRIPTION</b>	Inspect 5,000 feet of behind the curb sump drain lines. The Village has a total of 42,000 feet of behind the curb sump drain lines. These lines collect sump pump water where there is no storm main. Flow is routed behind the curb to the main. There is currently no inspections for these storm lines.
<b>RESULTS</b>	

ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMEND 2012		ACTUAL 2012		EST2012		DEPT2013		DEPTREQ13	
		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Personnel	Total Department Personnel								
+ 463240000	Clean water	1,079,186	1,104,033	1,118,000	1,118,000	718,486	1,116,350	357,886	1,115,500								
463241000	Development clean water charge	11,761	10,644	2,000	2,000	7,031	8,000	8,000	8,000								
463242000	Clean water compliance	593	0	1,000	1,000	0	1,000	1,000	1,000								
= TOTCWREV	Total Clean Water Revenue	1,091,539	1,114,677	1,121,000	1,121,000	725,517	1,125,350	366,886	1,124,500								
= 110	Salaries	120,070	136,198	127,121	127,121	62,565	0	10,937	131,250								
= 111	Part - time salaries	8,420	11,783	9,340	9,340	10,075	0	809	9,705								
= 112	Overtime salaries	986	1,228	1,000	1,000	601	0	83	1,000								
= 151	Social security	9,746	11,250	10,516	10,516	5,503	0	905	10,860								
= 152	Wisconsin retirement	13,460	12,675	8,110	8,110	4,138	0	764	9,169								
= 153	Worker's compensation	3,507	4,650	4,964	4,964	2,625	0	430	5,160								
= 154	Health & life benefits	28,007	35,766	35,748	35,748	18,721	0	2,791	33,493								
= 158	Long - term disability insurance	51	80	132	132	27	0	11	135								
159	Retiree Medical Benefits	6,216	5,915	5,986	5,986	3,131	5,966	508	5,986								
+ 199	Personnel Transfer	24,911	25,550	25,846	25,846	16,847	25,846	2,282	27,032								
CYESTSB	Current Year Estimated Salaries & Benefits	0	0	0	0	0	189,004	0	0								
= TOTPS	Total Personnel Services	215,373	245,095	228,763	228,763	124,232	220,816	19,521	233,790								
200	Temporary help	0	0	0	0	0	0	0	0								
201	Unemployment	0	2,316	1,487	1,487	991	1,487	86	900								
202	Occupational health evaluatns	0	0	60	60	0	60	5	60								
205	Publication of notices/agendas	372	363	250	250	83	250	30	250								
206	Contractual printing	727	875	950	950	804	950	81	950								
+ 210	Attorney fees	988	878	0	1,100	2,088	5,000	99	1,100								
+ 212	Engineering fees	30,943	80,576	20,000	20,000	8,832	20,000	1,674	20,000								
+ 214	Consultant/contractual service	16,817	30,762	25,210	25,210	12,239	27,954	2,355	28,040								
216	Legislative Services	166	166	166	166	166	166	166	166								
223	Municipal water	237	259	280	280	160	280	280	280								
224	Telephone service	566	666	600	600	414	600	600	600								
225	Cellular telephone	1,519	1,511	1,120	1,120	983	1,120	1,150	1,150								
226	Data/voice communications	0	0	0	0	0	0	0	0								
229	Clean Water	2,942	3,205	3,500	3,500	1,972	3,500	3,500	3,500								
230	Equipment rental	0	185	2,500	2,500	0	2,500	2,500	2,500								
231	Equipment Leases	0	0	0	0	0	0	0	0								
232	Facility Lease	14,131	14,131	14,000	14,000	0	14,000	1,174	14,000								
241	Software maintenance agreemt	588	0	600	600	0	600	50	600								
242	Contracted equipment maintenance	0	0	0	0	0	0	0	0								
244	Contracted building maintenance	0	0	0	0	0	0	0	0								
246	Contracted vehicle maintenance	0	0	0	0	0	0	0	0								
260	Travel	43	32	75	75	0	75	9	75								

ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMEND 2012		ACTUAL 2012		EST2012		DEPT2013		DEPTREQ13	
		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request								
261	Meals & lodging	236	66	187	187	187	187	0	187	24	200						
262	Conferences/seminars/training	399	963	1,125	1,125	1,125	1,125	740	1,125	100	1,200						
=	<b>TOTCS</b>	70,673	136,952	72,110	73,210	29,470	79,854	13,883									
300	Memberships & subscriptions	3,300	3,113	3,500	3,500	3,111	3,500	299	3,500	299	3,500						
310	Office supplies	511	367	1,000	1,000	240	1,000	87	1,000	87	1,000						
311	Copying/Postage	252	68	200	200	0	200	24	200	24	200						
312	Postage	3,181	3,508	2,642	2,642	2,097	2,097	183	2,097	183	2,097						
350	Minor equipment/tool replacemt	0	0	0	0	0	0	0	0	0	0						
352	Uniform services & uniforms	0	0	0	0	0	0	0	0	0	0						
353	Safety equipment	746	1,646	2,500	2,500	983	2,500	212	2,500	212	2,500						
357	Fuel	0	0	0	0	0	0	0	0	0	0						
370	Landscaping supplies	870	1,308	0	500	0	6,853	49	6,853	49	500						
371	Signs	0	0	0	0	0	0	0	0	0	0						
372	Gravel/crushed stone	2,599	10,189	12,000	12,000	15,630	20,000	1,674	20,000	1,674	20,000						
373	Pavement materials	5,474	3,300	4,000	4,000	558	4,000	337	4,000	337	4,000						
375	Culvert installation	12,853	8,690	10,000	10,000	17,187	12,000	837	12,000	837	10,000						
399	Miscellaneous expense	156	1,047	1,000	1,000	435	1,000	87	1,000	87	1,000						
=	<b>TOTSM</b>	29,942	33,235	36,842	37,342	40,242	53,150	3,789									
510	Property & liability insurance	2,094	1,908	2,175	2,175	1,683	2,175	2,300	2,175	2,300	2,300						
600	Depreciation	736,462	738,226	708,421	708,421	0	708,421	708,421	708,421	708,421	708,421						
901	Non Personnel Transfer	7,700	9,775	9,800	9,800	6,533	9,800	10,700	9,800	10,700	10,700						
905	ISF Charge	142,541	222,334	176,000	176,000	138,956	176,000	14,674	176,000	14,674	176,000						
=	<b>SUBTOT</b>	1,204,786	1,387,525	1,234,111	1,235,711	341,117	1,250,216	773,288									
990	New program requests	0	0	0	0	0	0	0	0	0	0						
=	<b>991</b>	0	0	0	0	0	0	0	0	0	0						
994	Program Reductions	0	0	0	0	0	0	0	0	0	0						
=	<b>GT</b>	1,204,786	1,387,525	1,234,111	1,235,711	341,117	1,250,216	773,288									
=	<b>NONOPERATING</b>	(113,246)	(272,849)	(113,111)	(114,711)	384,400	(124,866)	(406,402)									
	<b>Non Operating</b>																
484190000	Interest on Investments	1,110	3,632	3,000	3,000	1,836	3,600	250	3,600	250	3,000						
484191000	Interest on Special Assessments	11,496	9,018	7,414	7,414	0	8,258	542	8,258	542	6,460						
484192000	Late Payments	13,507	13,073	13,000	13,000	5,368	13,000	13,000	13,000	13,000	13,000						
+ 485280000	Emergency Government Grant	69,699	843,070	1,070,499	1,070,499	55,406	211,531	8,337	211,531	8,337	100,000						



ACCT	ACCT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMEND 2012		ACTUAL 2012		EST2012		DEPT2013		DEPTREQ13	
			Actuals 2010	Actuals 2010	Actuals 2011	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Budget	Total Department Request						
	DISPOSAL	Gain (Loss) on Disposal of Assets	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
=	TOTNOREV	Total Non Operating	95,812	868,794	1,093,913	1,093,913	62,610	236,389	22,129	122,460								
		Contributions & Transfers																
	492001000	Capital Contributions - Govt Activities	943,017	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	492421000	Capital Contributions	296,932	4,163	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	TRANSFERX	Transfer	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	TRANSFER	Transfer Out - ISF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
=	NACHNG	Net Change in Assets	1,222,515	600,108	980,802	979,202	447,010	111,523	(384,272)	(4,618)								

ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMEND 2012		ACTUAL 2012		EST 2012		DEPT 2013		DEPTREQ13	
		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Budget	Total Department Request								
+ 463240000	Clean water	1,079,186	1,104,033	1,118,000	1,118,000	718,486	1,116,350	357,886	1,115,500								
1	1st Qtr	0	0	276,000	0	0	276,445	22,962	275,500								
2	2nd Qtr	0	0	276,000	0	0	275,982	22,962	275,500								
3	3rd Qtr	0	0	276,000	0	0	275,528	22,962	275,500								
4	4th Qtr	0	0	290,000	0	0	288,395	289,000	289,000								
*	Amount missing from detail	1,079,186	1,104,033	0	1,118,000	718,486	0	0	0								
463241000	Development clean water charge	11,761	10,644	2,000	2,000	7,031	8,000	8,000	8,000								
463242000	Clean water compliance	593	0	1,000	1,000	0	1,000	1,000	1,000								
= TOTCWREV	Total Clean Water Revenue	1,091,539	1,114,677	1,121,000	1,121,000	725,517	1,125,350	366,886	1,124,500								
= 110	Salaries	120,070	136,198	127,121	127,121	62,565	0	10,937	131,250								
= 111	Part - time salaries	8,420	11,783	9,340	9,340	10,075	0	809	9,705								
= 112	Overtime salaries	986	1,228	1,000	1,000	601	0	83	1,000								
= 151	Social security	9,746	11,250	10,516	10,516	5,503	0	905	10,860								
= 152	Wisconsin retirement	13,460	12,675	8,110	8,110	4,138	0	764	9,169								
= 153	Worker's compensation	3,507	4,650	4,964	4,964	2,625	0	430	5,160								
= 154	Health & life benefits	28,007	35,766	35,748	35,748	18,721	0	2,791	33,493								
= 158	Long - term disability insurance	51	80	132	132	27	0	11	135								
159	Retiree Medical Benefits	6,216	5,915	5,986	5,986	3,131	5,966	508	5,986								
+ 199	Personnel Transfer	24,911	25,550	25,846	25,846	16,847	25,846	2,282	27,032								
1	Transfer from Admin	0	0	5,967	0	0	5,967	413	4,890								
2	Transfer from Finance	0	0	8,000	0	0	8,000	687	8,222								
3	Transfer from IT	0	0	8,976	0	0	8,976	792	9,383								
4	Transfer from HR	0	0	2,903	0	0	2,903	262	3,034								
5	Transfer from Clerk	0	0	0	0	0	0	128	1,503								
*	Amount missing from detail	24,911	25,550	0	25,846	16,847	0	(0)	(0)								
CYESTSB	Current Year Estimated Salaries & Benefits	0	0	0	0	0	189,004	0	0								
= TOTPS	Total Personnel Services	215,373	245,095	228,763	228,763	124,232	220,816	19,521	233,790								
200	Temporary help	0	0	0	0	0	0	0	0								
201	Unemployment	0	2,316	1,487	1,487	991	1,487	86	900								
202	Occupational health evaluatns	0	0	60	60	0	60	5	60								
205	Publication of notices/agendas	372	363	250	250	83	250	30	250								
206	Contractual printing	727	875	950	950	804	950	81	950								
+ 210	Attorney fees	988	878	0	1,100	2,088	5,000	99	1,100								
1	BP Legal - Billed to BP	0	0	0	0	0	0	0	0								
2	Des Plaine River Legal	0	0	0	0	0	5,000	0	0								
3	Other	0	0	0	0	0	0	99	1,100								
*	Amount missing from detail	988	878	0	1,100	2,088	0	0	0								
+ 212	Engineering fees	30,943	80,576	20,000	20,000	8,832	20,000	1,674	20,000								

ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMEND 2012		ACTUAL 2012		EST2012		DEPT2013		DEPTREQ13	
		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Budget	Total Department Request								
1	RPCP	0	0	0	0	0	0	0	0	0	0	2,500	212	2,500	2,500		
2	Devonshire / Meadowdale Drainage	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
3	RecPlex temp Stream Crossing	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
4	Other	0	0	20,000	0	0	0	0	0	0	0	17,500	1,462	17,500	17,500		
5	Line Item 5	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
*	Amount missing from detail	30,943	80,576	0	20,000	8,832	0	0	0	0	0	0	0	0	0		
+ 214	Consultant/contractual service	16,817	30,762	25,210	25,210	12,239	27,954	2,355	28,040								
1	Dump Street Sweeping (Tipping)	0	0	10,000	0	12,239	15,000	1,250	15,000								
2	PSN - Online Bills	0	0	1,200	0	0	1,200	100	1,200								
3	Town of Bristol - Keep Waters Clean	0	0	1,709	0	0	1,709	156	1,795								
4	Precise Unground	0	0	3,700	0	0	3,700	312	3,700								
5	Digger Hotline	0	0	1,345	0	0	1,345	113	1,345								
6	Power Engineering (City Works Consultant)	0	0	0	0	0	0	0	0								
7	Other	0	0	7,256	0	0	5,000	424	5,000								
*	Amount missing from detail	16,817	30,762	0	25,210	(0)	0	0	0								
216	Legislative Services	166	166	166	166	166	166	166	166								
223	Municipal water	237	259	280	280	160	280	280	280								
224	Telephone service	566	666	600	600	414	600	600	600								
225	Cellular telephone	1,519	1,511	1,120	1,120	983	1,120	1,150	1,150								
226	Data/voice communications	0	0	0	0	0	0	0	0								
229	Clean Water	2,942	3,205	3,500	3,500	1,972	3,500	3,500	3,500								
230	Equipment rental	0	185	2,500	2,500	0	2,500	2,500	2,500								
231	Equipment Leases	0	0	0	0	0	0	0	0								
232	Facility Lease	14,131	14,131	14,000	14,000	0	14,000	1,174	14,000								
241	Software maintenance agreemt	588	0	600	600	0	600	50	600								
242	Contracted equipment maintenance	0	0	0	0	0	0	0	0								
244	Contracted building maintenance	0	0	0	0	0	0	0	0								
246	Contracted vehicle maintenance	0	0	0	0	0	0	0	0								
260	Travel	43	32	75	75	0	75	9	75								
261	Meals & lodging	236	66	187	187	0	187	24	187								
262	Conferences/seminars/training	399	963	1,125	1,125	740	1,125	100	1,125								
=	<b>TOTCS</b>	70,673	136,952	72,110	73,210	29,470	79,854	13,883	75,571								
300	Memberships & subscriptions	3,300	3,113	3,500	3,500	3,111	3,500	299	3,500								
310	Office supplies	511	367	1,000	1,000	240	1,000	87	1,000								
311	Copying/Postage	252	68	200	200	0	200	24	200								
312	Postage	3,181	3,508	2,642	2,642	2,097	2,097	183	2,097								
350	Minor equipment/tool replacemt	0	0	0	0	0	0	0	0								
352	Uniform services & uniforms	0	0	0	0	0	0	0	0								
353	Safety equipment	746	1,646	2,500	2,500	983	2,500	212	2,500								
357	Fuel	0	0	0	0	0	0	0	0								

ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMEND 2012		ACTUAL 2012		EST2012		DEPT2013		DEPTREQ13	
		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Budget	Total Department Budget								
+ 370	Landscaping supplies	870	1,308	0	500	0	6,853	49	500	0	6,853	49	500				
1	Straw with web netting - 2 years worth	0	0	0	0	0	6,353	0	0	0	6,353	0	0				
2	Other	0	0	0	0	0	500	49	0	0	500	49	500				
*	Amount missing from detail	870	1,308	0	500	0	0	0	0	0	0	0	0				
371	Signs	0	0	0	0	0	0	0	0	0	0	0	0				
372	Gravel/crushed stone	2,599	10,189	12,000	12,000	15,630	20,000	1,674	12,000	15,630	20,000	1,674	20,000				
373	Pavement materials	5,474	3,300	4,000	4,000	558	4,000	337	4,000	558	4,000	337	4,000				
375	Culvert installation	12,853	8,690	10,000	10,000	17,187	12,000	837	10,000	17,187	12,000	837	10,000				
399	Miscellaneous expense	156	1,047	1,000	1,000	435	1,000	87	1,000	435	1,000	87	1,000				
= TOTSM	Total Supplies and Maintenance	29,942	33,235	36,842	37,342	40,242	53,150	3,789	37,342	40,242	53,150	3,789	44,797				
510	Property & liability insurance	2,094	1,908	2,175	2,175	1,683	2,175	2,300	2,175	1,683	2,175	2,300	2,300				
600	Depreciation	736,462	738,226	708,421	708,421	0	708,421	708,421	708,421	0	708,421	708,421	708,421				
901	Non Personnel Transfer	7,700	9,775	9,800	9,800	6,533	9,800	10,700	9,800	6,533	9,800	10,700	10,700				
905	ISF Charge	142,541	222,334	176,000	176,000	138,956	176,000	14,674	176,000	138,956	176,000	14,674	176,000				
= SUBTOT	Department Subtotal	1,204,786	1,387,525	1,234,111	1,235,711	341,117	1,250,216	773,288	1,235,711	341,117	1,250,216	773,288	1,251,578				
990	New program requests	0	0	0	0	0	0	0	0	0	0	0	0				
= 991	New program requests - Personnel	0	0	0	0	0	0	0	0	0	0	0	0				
994	Program Reductions	0	0	0	0	0	0	0	0	0	0	0	0				
= GT	Grand Total	1,204,786	1,387,525	1,234,111	1,235,711	341,117	1,250,216	773,288	1,235,711	341,117	1,250,216	773,288	1,251,578				
= NOPERATING	Net Operating Gain/(Loss)	(113,246)	(272,849)	(113,111)	(114,711)	384,400	(124,866)	(406,402)	(114,711)	384,400	(124,866)	(406,402)	(127,078)				
	Non Operating																
484190000	Interest on Investments	1,110	3,632	3,000	3,000	1,836	3,600	250	3,000	1,836	3,600	250	3,000				
484191000	Interest on Special Assessments	11,496	9,018	7,414	7,414	0	8,258	542	7,414	0	8,258	542	6,460				
484192000	Late Payments	13,507	13,073	13,000	13,000	5,368	13,000	13,000	13,000	5,368	13,000	13,000	13,000				
+ 485280000	Emergency Government Grant	69,699	843,070	1,070,499	1,070,499	55,406	211,531	8,337	1,070,499	55,406	211,531	8,337	100,000				
1	South Kenosha	0	0	349,893	0	0	211,531	5,837	0	0	211,531	5,837	70,000				
2	Chateau Eau Plaines Storm	0	0	720,606	0	0	0	0	0	0	0	0	0				
3	South Kenosha Request for Additional Funds	0	0	0	0	0	0	2,500	0	0	0	2,500	30,000				
*	Amount missing from detail	69,699	843,070	0	1,070,499	55,406	0	0	1,070,499	55,406	0	0	0				
DISPOSAL	Gain (Loss) on Disposal of Assets	0	0	0	0	0	0	0	0	0	0	0	0				
= TOTNOREV	Total Non Operating	95,812	868,794	1,093,913	1,093,913	62,610	236,389	22,129	1,093,913	62,610	236,389	22,129	122,460				
	Contributions & Transfers																

ACCOUNT	Label	PACT 2010	ACTUAL 2011	G6Y201212	AMEND 2012	ACTUAL 2012	EST2012	DEPT2013	DEPTREQ13
		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Budget	Total Department Budget
492001000	Capital Contributions - GovtActivities	943,017	0	0	0	0	0	0	0
492421000	Capital Contributions	296,932	4,163	0	0	0	0	0	0
TRANSFERX	Transfer	0	0	0	0	0	0	0	0
TRANSFER	Transfer Out - ISF	0	0	0	0	0	0	0	0
=	Net Change in Assets	1,222,515	600,108	980,802	979,202	447,010	111,523	(384,272)	(4,618)

			2013 Budget	Starting Salary	Increase %	Increase Period	New Salary	Increase% 2	Increase Period 2	New Salary 2	Bonus %	Bonus Amount
100-06-006	Spence, Michael		13,623.03	\$96,542	3.00%	1	\$99,438		0	\$99,438		0
100-06-018	Cunado, Eric		4,954.20	\$59,382	3.00%	1	\$61,163		0	\$61,163		0
100-06-019	Fineour, Michael		15,737.73	\$82,591	3.00%	1	\$85,069		0	\$85,069		0
100-534410-110	Full-Time Salaries Clean Water Operations 100_534410_110		79,125.04	\$79,125		0	\$79,125		0	\$79,125		0
607-534410-110A	Full-Time Administrative Clean Water Sal		11,542.00	\$11,542		0	\$11,542		0	\$11,542		0
607-534410-110C	Full-Time Clerical Clean Water Salaries		6,268.00	\$6,268		0	\$6,268		0	\$6,268		0
110	Salary Account		131,250.00			0			0			0
100-534410-111	Part-Time Salaries Clean Water Operations 100_534410_111		7,660.27	\$7,660		0	\$7,660		0	\$7,660		0
607-534410-111C	Part-Time Clerical Clean Water Salaries		2,045.00	\$2,045		0	\$2,045		0	\$2,045		0
111	Part-time salaries		9,705.27			0			0			0
100-534410-112	Overtime Salaries Clean Water Operations		1,000.00	\$1,000		0	\$1,000		0	\$1,000		0
112	Over-time Salaries		1,000.00			0			0			0
			0.00			0			0			0

Village of Pleasant Prairie, WI

*Capital Plan*

2013 thru 2017

**PROJECTS BY DEPARTMENT**

Department	Project#	Priority	2013	2014	2015	2016	2017	Total
<b>607 Stormwater</b>								
Chateau Eau Plaines Stormwater Improvements	S-10-02	1	225,000	215,000	215,000			655,000
Beverly Woods Phase II Storm	S-11-02	5			76,600	473,400	450,000	1,000,000
29th Avenue Storm Sewer	S-12-02	1	40,000		150,000			190,000
South Kenosha Ditching	S-12-03	1	50,000					50,000
89th St Flood Plain Boundary Adjustment	S-14-01	2	65,000	165,000				230,000
<b>607 Stormwater Total</b>			380,000	380,000	441,600	473,400	450,000	2,125,000
<b>GRAND TOTAL</b>			380,000	380,000	441,600	473,400	450,000	2,125,000

**Report criteria:**

- Type: E or I or Z
- Active Projects
- Department: 607 Stormwater
- All Categories
- All Priority Levels
- All Source Types
- All Special Assessable data
- All Fund Number data

Village of Pleasant Prairie, WI

*Capital Plan*

2013 thru 2017

**PROJECTS BY FUNDING SOURCE**

Source	Project#	Priority	2013	2014	2015	2016	2017	Total
<b>Operating Funds</b>								
Chateau Eau Plaines Stormwater Improvements	S-10-02	1	225,000	107,500	107,500			440,000
Beverly Woods Phase II Storm	S-11-02	5			76,600	473,400	450,000	1,000,000
29th Avenue Storm Sewer	S-12-02	1	40,000					40,000
South Kenosha Ditching	S-12-03	1	50,000					50,000
89th St Flood Plain Boundary Adjustment	S-14-01	2	65,000					65,000
<b>Operating Funds Total</b>			380,000	107,500	184,100	473,400	450,000	1,5 5,000
<b>Special Assessments</b>								
Chateau Eau Plaines Stormwater Improvements	S-10-02	1		107,500	107,500			215,000
29th Avenue Storm Sewer	S-12-02	1			150,000			150,000
89th St Flood Plain Boundary Adjustment	S-14-01	2		165,000				165,000
<b>Special Assessments Total</b>				7 ,500	57,500			5 0,000
<b>GRAND TOTAL</b>			380,000	380,000	441,600	473,400	450,000	2,125,000

**Report criteria:**

- Type: E or I or Z
- Active Projects
- Department: 607 Stormwater
- All Categories
- All Priority Levels
- All Source Types
- All Special Assessable data
- All Fund Number data



# Capital Plan

2013 *thru* 2017

**Department** 607 Stormwater

## Village of Pleasant Prairie, WI

**Contact** John Steinbrink, Jr.

<b>Project #</b>	<b>S-10-02</b>
<b>Project Name</b>	<b>Chateau Eau Plaines Stormwater Improvements</b>

**Type** Improvement

**Useful Life** 20 years

**Category** Stormwater Mgmt

**Special Assessable** Yes

**Priority** 1 Urgent

**Fund Number** 607

**Status** Active

**Total Project Cost:** \$655,000

Description
2013 Reconstruct Drainage Swale between 115th and 112th Ave \$225,000
2014 Conveyance System Maintenance, Culvert Sump Line - \$215,000
2015 Conveyance System Maintenance, Culvert Sump Line (Continues) - \$215,000

Justification
Improved drainage needed in area

Expenditures	2013	2014	2015	2016	2017	Total
Construction	225,000	215,000	215,000			655,000
<b>Total</b>	<b>225,000</b>	<b>215,000</b>	<b>215,000</b>			<b>655,000</b>

Funding Sources	2013	2014	2015	2016	2017	Total
Operating Funds	225,000	107,500	107,500			440,000
Special Assessments		107,500	107,500			215,000
<b>Total</b>	<b>225,000</b>	<b>215,000</b>	<b>215,000</b>			<b>655,000</b>

Budget Impact/Other

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 607 Stormwater

**Contact** John Steinbrink, Jr.

**Type** Improvement

**Useful Life** 50 years

**Category** Stormwater Mgmt

**Priority** 5 Future Consideration

**Status** Active

**Total Project Cost:** \$1,000,000

<b>Project #</b>	<b>S-11-02</b>
<b>Project Name</b>	<b>Beverly Woods Phase II Storm</b>

Special Assessable

Fund Number

<b>Description</b>
Replace storm water system in North/ West Beverly Woods.

<b>Justification</b>
Storm water project to replace old storm sewer infrastructure.

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Planning / Design			76,600			76,600
Construction				473,400	450,000	923,400
<b>Total</b>			76,600	473,400	450,000	1,000,000

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Operating Funds			76,600	473,400	450,000	1,000,000
<b>Total</b>			76,600	473,400	450,000	1,000,000

<b>Budget Impact/Other</b>
Routine maintenance and cleaning.

<b>Budget Items</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Contractual Services & Maint			105	105	105	315
<b>Total</b>			105	105	105	315

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 607 Stormwater  
**Contact** John Steinbrink, Jr.  
**Type** Improvement  
**Useful Life** 50 years  
**Category** Stormwater Mgmt  
**Priority** 1 Urgent  
**Status** Active

**Project #** S-12-02  
**Project Name** 29th Avenue Storm Sewer

**Special Assessable** Yes  
**Fund Number** 607

**Total Project Cost:** \$190,000

**Description**  
 Improvements to 29th Ave North of Springbrook Rd. Construction cost is estimate

**Justification**  
 Storm water project to solve storm water flooding problems in the area.

Expenditures	2013	2014	2015	2016	2017	Total
Planning / Design	40,000					40,000
Construction			150,000			150,000
<b>Total</b>	<b>40,000</b>		<b>150,000</b>			<b>190,000</b>

Funding Sources	2013	2014	2015	2016	2017	Total
Operating Funds	40,000					40,000
Special Assessments			150,000			150,000
<b>Total</b>	<b>40,000</b>		<b>150,000</b>			<b>190,000</b>

**Budget Impact/Other**  
 Routine maintenance.

Budget Items	2013	2014	2015	2016	2017	Total
Wages & Benefits	105	105	105	105	105	525
<b>Total</b>	<b>105</b>	<b>105</b>	<b>105</b>	<b>105</b>	<b>105</b>	<b>525</b>

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 607 Stormwater  
**Contact** John Steinbrink, Jr.  
**Type** Improvement  
**Useful Life** Indefinite  
**Category** Stormwater Mgmt  
**Priority** 1 Urgent  
**Status** Active

**Project #** S-12-03  
**Project Name** South Kenosha Ditching

Special Assessable

**Fund Number** 607

**Total Project Cost:** \$50,000

**Description**  
 Install culverts and ditches to newly constructed storm sewers.

**Justification**  
 Better management of rainfall runoff.

Expenditures	2013	2014	2015	2016	2017	Total
Construction	50,000					50,000
<b>Total</b>	<b>50,000</b>					<b>50,000</b>

Funding Sources	2013	2014	2015	2016	2017	Total
Operating Funds	50,000					50,000
<b>Total</b>	<b>50,000</b>					<b>50,000</b>

**Budget Impact/Other**

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 607 Stormwater  
**Contact** John Steinbrink, Jr.  
**Type** Improvement  
**Useful Life** Indefinite  
**Category** Stormwater Mgmt  
**Priority** 2 Very Important  
**Status** Active

<b>Project #</b>	S-14-01
<b>Project Name</b>	89th St Flood Plain Boundary Adjustment

Special Assessable  
 Fund Number

**Total Project Cost: \$230,000**

<b>Description</b>
Flood Plain boundary adjustment between West end of 89th St and Ingram Park

<b>Justification</b>

Expenditures	2013	2014	2015	2016	2017	Total
Planning / Design	65,000					65,000
Construction		165,000				165,000
<b>Total</b>	<b>65,000</b>	<b>165,000</b>				<b>230,000</b>

Funding Sources	2013	2014	2015	2016	2017	Total
Operating Funds	65,000					65,000
Special Assessments		165,000				165,000
<b>Total</b>	<b>65,000</b>	<b>165,000</b>				<b>230,000</b>

<b>Budget Impact/Other</b>

# VILLAGE OF PLEASANT PRAIRIE

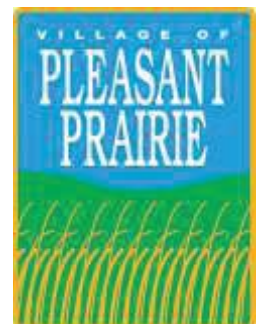
## BUDGET COVER PAGE

**BUDGET YEAR:** 2013

**DEPARTMENT:** Fleet Internal Service



**SUBMITTED BY:** John Steinbrink, Jr., Public Works Director



# VILLAGE OF PLEASANT PRAIRIE

## Overview

**BUDGET YEAR:** 2013

**DEPARTMENT:** Fleet Internal Services

The Department of Public Works Fleet Internal Services (ISF) Division manages, maintains, and repairs all the vehicles, equipment, attachments, and tools for the Public Works Department. The department consists of one full time mechanic working 2,080 hours and a part time mechanic working 1,600 hours per year. Public works maintenance personnel staff assist the mechanics when required. It is estimated in 2012 over 5,240 hours will be spent maintaining the Fleet. With only 3,680 hours allocated for this budget, DPW maintenance staff must spend 1,560 hours assisting the mechanics. This time would be better spent maintaining Village infrastructure.

The ISF collects revenue by charging each department a rate for using a vehicle or piece of equipment. The rate includes the cost to operate and replace each item in the fleet. This gives the ISF a fair and accurate means to charge the departments using the fleet. The ISF expends funds by purchasing repair parts, fuel, and the labor to complete repairs. The fund also purchases new and used vehicles and equipment for Public Works.

A proposed new program for 2013 is to add vehicles from on Assessing, Engineering, Inspection, IT, and RecPlex to the ISF. A rate per mile has been determined for each of the 20 vehicles, the money collected from each of the departments will cover the costs of fuel, maintenance, repairs and replacement. It is estimated these vehicles will travel 141,214 miles generating \$117,978 to the ISF revenue. 50% of the cost is estimated for fuel, maintenance, and repairs, while the other 50% will be set aside for future replacement.

A second new program is to add a second part time mechanic. This part time mechanic will be responsible for maintaining and repairing the 20 new vehicles added to the fleet and assisting the head mechanic in other DPW repairs.

The ISF has been a successful tool to create a mechanism of maintaining, repairing, and, replacing, the vehicles and equipment in the Public Works Fleet.

# VILLAGE OF PLEASANT PRAIRIE

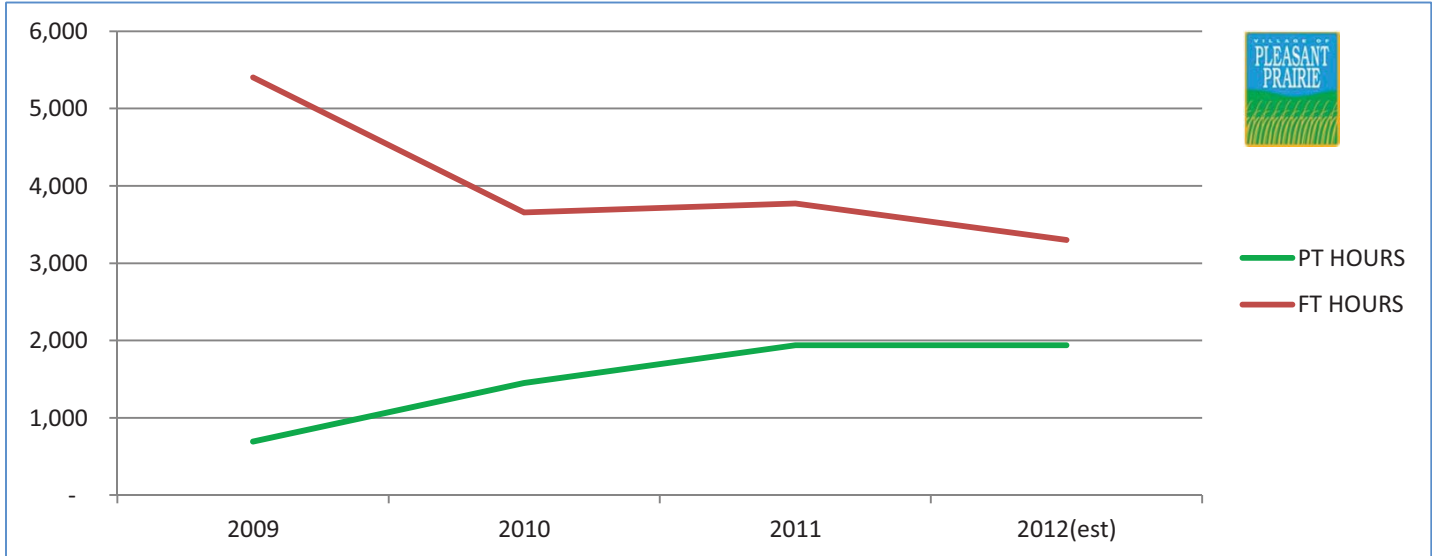
## TRENDING REPORT

BUDGET YEAR: 2013

DEPARTMENT: Fleet Internal Service

Trend # 1

### Vehicle/Equipment Maint/Repair Hours

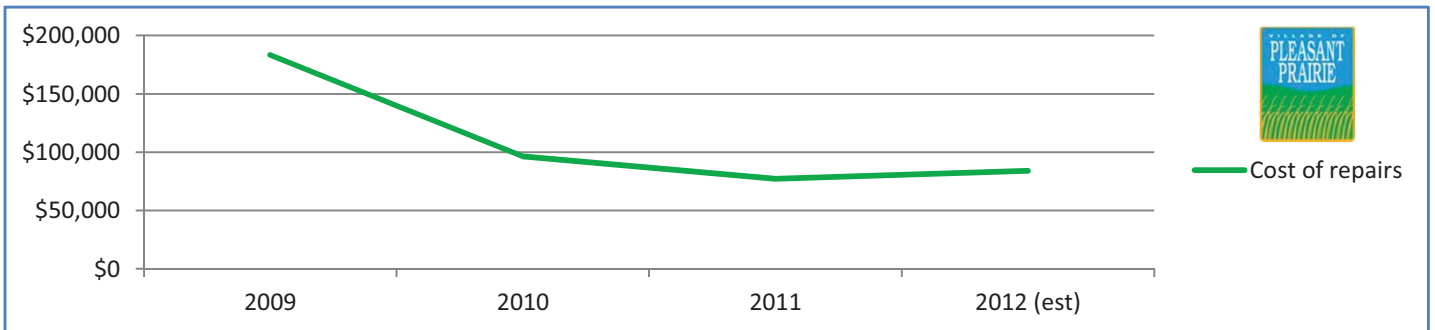


YEAR	PT HOURS	FT HOURS	TOTAL HRS
2009	695	5,401	6,096
2010	1,451	3,656	5,107
2011	1,938	3,771	5,709
2012(est)	1,939	3,301	5,240

Public Works mechanic and crews spent a total of 5,709 hours on maintenance and repair of vehicles and equipment in 2011. It is estimated that in 2012, PW mechanics will spend a total of 5,240 hours on maintenance and repair of vehicles.

Trend #2

### Veh/Equip Contracted Maintenance Costs



YEAR	Cost of repairs
2009	\$183,405
2010	\$96,511
2011	\$77,298
2012 (est)	\$84,102

Cost of contracted maintenance for vehicles and equipment. 2012 costs up due to contracted painting of three plow trucks and the unscheduled repair of an excavator.



# VILLAGE OF PLEASANT PRAIRIE

## Goals

**BUDGET YEAR:** 2012

**DEPARTMENT:** Fleet Internal Services

**UPDATE TYPE:** 3rd QTR

### GOALS:

Limited to three (3) goals. Description and Results limited to 500 text characters.

### GOAL #1

**TITLE:** Complete All Scheduled PMs on Fleet Vehicles Each Quarter

<input type="checkbox"/> NUMBER <input checked="" type="checkbox"/> PERCENT  Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.		<b>1st QTR</b>	<b>2nd QTR</b>	<b>3rd QTR</b>	<b>4th QTR</b>	<b>TOTAL</b>
	<b>GOAL</b>	100	100	100	100	400
	<b>ACTUAL</b>	100	100	100		300
	<b>FORECAST</b>	100	100	100	100	400

<b>DESCRIPTION</b>	Complete all scheduled PMs on Fleet vehicles each quarter.
<b>RESULTS</b>	Preventative maintenance is performed as scheduled each quarter.

# VILLAGE OF PLEASANT PRAIRIE

## Goals

DEPARTMENT: Fleet Internal Services

BUDGET YEAR: 2012

UPDATE TYPE: 3rd QTR

### GOAL #2

TITLE: Collect Down Time Data for Vehicles and Equipment

- NUMBER  
 PERCENT

Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.

	1st QTR	2nd QTR	3rd QTR	4th QTR	TOTAL
<b>GOAL</b>	25	25	25	25	100
<b>ACTUAL</b>	0	0	0		0
<b>FORECAST</b>	0	0	0	0	0

<b>DESCRIPTION</b>	Collect data that represents downtime for vehicles and equipment.
<b>RESULTS</b>	The software necessary to collect this data has not been implemented yet. This goal will be moved to 2013.

# VILLAGE OF PLEASANT PRAIRIE

## Goals

**BUDGET YEAR:** 2013

**DEPARTMENT:** Fleet Internal Services

**UPDATE TYPE:** Original

### GOALS:

Limited to three (3) goals. Description and Results limited to 500 text characters.

### GOAL #1

**TITLE:** Complete All Scheduled PMs on Fleet Vehicles Each Quarter

<input type="checkbox"/> NUMBER <input checked="" type="checkbox"/> PERCENT  Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.		<b>1st QTR</b>	<b>2nd QTR</b>	<b>3rd QTR</b>	<b>4th QTR</b>	<b>TOTAL</b>
	<b>GOAL</b>	100	100	100	100	400
	<b>ACTUAL</b>					0
	<b>FORECAST</b>					0

<b>DESCRIPTION</b>	Complete all scheduled PMs on Fleet vehicles each quarter.
<b>RESULTS</b>	

# VILLAGE OF PLEASANT PRAIRIE

## Goals

DEPARTMENT: Fleet Internal Services

BUDGET YEAR: 2013

UPDATE TYPE: Original

### GOAL #2

TITLE: Collect Down Time Data for Vehicles and Equipment

- NUMBER  
 PERCENT

Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.

	1st QTR	2nd QTR	3rd QTR	4th QTR	TOTAL
<b>GOAL</b>	25	25	25	25	100
<b>ACTUAL</b>					0
<b>FORECAST</b>					0

<b>DESCRIPTION</b>	Collect data that represents downtime for vehicles and equipment.
<b>RESULTS</b>	

ACCOUNT	Label	PACT 2010	ACTUAL 2011	G6Y2012/12	AMEND 2012	ACTUAL 2012	EST2012	DEPT2013	DEPTREQ13
		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request
	<b>OPERATING REVENUE</b>								
474930000	Internal Charge to Other Funds	1,499,526	1,483,568	1,500,000	1,500,000	988,261	1,500,000	1,500,000	1,500,000
+	Revenue Enhancement	0	0	0	0	0	0	9,837	118,000
=	<b>Operating Revenue</b>	1,499,526	1,483,568	1,500,000	1,500,000	988,261	1,500,000	1,509,837	1,618,000
=	Salaries	117,371	125,607	130,274	130,274	71,941	0	11,028	132,336
=	Part Time Salaries	15,977	21,101	22,319	22,319	15,613	0	1,675	20,098
=	Overtime salaries	1,678	462	0	700	775	0	0	0
=	Commissioned Services	0	0	0	0	0	0	0	0
=	Social security	10,182	11,135	11,673	11,673	6,624	0	972	11,661
=	Wisconsin retirement	13,188	11,729	9,003	9,003	4,580	0	851	10,213
=	Worker's compensation	2,389	5,189	5,983	5,983	3,158	0	504	6,052
=	Health & life benefits	27,090	35,451	41,564	41,564	20,557	0	3,427	41,124
=	Long - term disability insurance	0	0	91	91	0	0	7	80
159	Retiree Medical Benefits	6,582	7,513	6,340	6,340	3,977	0	532	6,340
199	Personnel Transfer	0	0	0	0	0	0	0	0
CYESTSB	Current Year Estimated Salaries & Benefits	0	0	0	0	0	192,270	0	0
=	<b>TOTPS</b>	194,456	218,187	227,248	227,947	127,224	192,270	18,996	227,904
201	Unemployment	0	1,838	1,539	1,539	1,026	1,539	93	1,006
214	Consultant/contractual service	3,296	1,679	2,200	2,200	764	2,200	2,200	2,200
225	Cellular telephone	90	232	300	300	167	300	300	300
230	Equipment rental	856	2,508	2,000	2,000	1,441	2,000	2,000	2,000
241	Software maintenance agreemt	0	0	0	0	0	0	0	0
+	Contracted Equipment Maintenance	43,936	35,624	65,000	64,300	6,134	65,000	65,000	65,000
246	Contracted Vehicle Maintenance	62,179	41,674	40,000	40,000	7,828	40,000	40,000	40,000
260	Travel	43	1,798	0	0	0	0	0	0
261	Meals & lodging	44	185	0	0	0	0	0	0
262	Conferences/seminars/training	0	213	70	70	30	70	70	70
=	<b>TOTCS</b>	110,444	85,750	111,109	110,409	17,389	111,109	109,663	110,576
300	Memberships & subscriptions	0	0	0	0	0	0	0	0
310	Office supplies	0	0	0	0	0	0	0	0
311	Copying/Printing	0	0	0	0	0	0	0	0
312	Postage	0	0	0	0	0	0	0	0
+	Minor equipment/tool replacemt	19,234	32,242	0	36,000	12,659	36,000	4,237	50,800
352	Uniform Services & Uniforms	1,592	2,082	2,000	2,000	1,438	2,000	2,000	2,000
357	Fuel	227,996	268,082	255,000	255,000	177,853	255,000	260,000	260,000
362	Equipment Maintenance - Supplies	70,084	60,948	61,800	61,800	34,408	62,000	62,000	62,000
366	Vehicle Maintenance - Supplies	86,390	80,977	80,000	80,000	70,468	80,000	82,000	82,000

ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y2012/12		AMEND 2012		ACTUAL 2012		EST2012		DEPT2013		DEPTREQ13	
		Actuals 2010	Actuals 2010	Actuals 2011	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request					
399	Miscellaneous expense	566	934	100	100	100	100	83	100	100	100	100	100	100	100	100	100
=	<b>TOTSM</b>	405,861	445,265	398,900	434,900	296,910	435,100	410,337	456,900								
+	Property & liability insurance	31,933	29,564	31,220	31,220	29,797	32,923	36,050	36,050								36,050
600	Depreciation	523,823	510,472	500,000	500,000	0	500,000	500,000	500,000								500,000
905	ISF Charges	5,834	4,991	5,654	5,654	2,806	5,600	5,600	5,600								5,600
=	<b>SUBTOT</b>	1,272,352	1,294,229	1,274,131	1,310,130	474,126	1,277,002	1,080,646	1,337,030								
+	New program requests	0	0	0	0	0	0	0	0								53,500
=	<b>New program requests - Personnel</b>	0	0	0	0	0	0	1,962	23,549								
994	Program Reductions	0	0	0	0	0	0	0	0								0
995	Program reductions	0	0	0	0	0	0	0	0								0
=	<b>GT</b>	1,272,352	1,294,229	1,274,131	1,310,130	474,126	1,277,002	1,087,070	1,414,079								
=	<b>OPGAIN</b>	227,175	189,339	225,869	189,870	514,135	222,998	422,767	203,921								
	<b>Non Operating Revenue</b>																
463191000	Interest Income	0	0	0	0	0	0	0	0								0
481101000	Interest on Investments	1,832	3,048	2,000	2,000	1,269	2,500	2,12	2,500								2,500
481103000	Gain/Loss on Sale	13,947	(3,028)	7,000	7,000	44,649	39,757	2,462	29,500								
484401000	Insurance Award/Refund	0	0	0	0	465	465	0	0								0
485280000	Grants	0	0	0	0	0	0	0	104,000								
492001000	Transfer In from Utility	0	0	0	0	0	0	0	133,599								
492421000	Capital Contribution	0	0	0	0	3,410	3,410	3,810	45,654								
=	<b>NO PREV</b>	15,779	20	9,000	9,000	49,794	46,132	26,294	315,253								
=	<b>NACHANGE</b>	242,953	189,359	234,869	198,870	563,928	269,130	449,061	519,174								

ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMEND 2012		ACTUAL 2012		EST 2012		DEPT2013		DEPTREQ13	
		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request								
	OPERATING REVENUE																
474930000	Internal Charge to Other Funds	1,499,526	1,483,568	1,500,000	1,500,000	1,500,000	1,500,000	1,500,000	988,261	1,500,000	1,500,000	1,500,000	1,500,000	1,500,000	1,500,000	1,500,000	1,500,000
+	Revenue Enhancement	0	0	0	0	0	0	0	0	0	0	0	0	9,837	118,000	118,000	118,000
1	Add Admin, Clerk, IT, Assessing, Eng. Inspection	0	0	0	0	0	0	0	0	0	0	0	0	3,337	40,000	40,000	40,000
2	Add RecPlex	0	0	0	0	0	0	0	0	0	0	0	0	6,500	78,000	78,000	78,000
*	Amount missing from detail	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
=	Operating Revenue	1,499,526	1,483,568	1,500,000	1,483,568	1,500,000	1,500,000	1,500,000	988,261	1,500,000	1,509,837	1,500,000	1,509,837	1,509,837	1,618,000	1,618,000	1,618,000
=	Salaries	117,371	125,607	130,274	125,607	130,274	130,274	130,274	71,941	130,274	11,028	0	11,028	11,028	132,336	132,336	132,336
=	Part Time Salaries	15,977	21,101	22,319	21,101	22,319	22,319	22,319	15,613	22,319	1,675	0	1,675	1,675	20,098	20,098	20,098
=	Overtime salaries	1,678	462	0	462	0	700	700	775	0	0	0	0	0	0	0	0
=	Commissioned Services	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
=	Social security	10,182	11,135	11,673	11,135	11,673	11,673	11,673	6,624	11,673	972	0	972	972	11,661	11,661	11,661
=	Wisconsin retirement	13,188	11,729	9,003	11,729	9,003	9,003	9,003	4,580	9,003	851	0	851	851	10,213	10,213	10,213
=	Worker's compensation	2,389	5,189	5,983	5,189	5,983	5,983	5,983	3,158	5,983	504	0	504	504	6,052	6,052	6,052
=	Health & life benefits	27,090	35,451	41,564	35,451	41,564	41,564	41,564	20,557	41,564	3,427	0	3,427	3,427	41,124	41,124	41,124
=	Long - term disability insurance	0	0	91	0	91	91	91	0	91	7	0	7	7	80	80	80
=	Retiree Medical Benefits	6,582	7,513	6,340	7,513	6,340	6,340	6,340	3,977	6,340	532	0	532	532	6,340	6,340	6,340
=	Personnel Transfer	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
=	Current Year Estimated Salaries & Benefits	0	0	0	0	0	0	0	0	0	0	192,270	192,270	0	0	0	0
=	TOTPS	194,456	218,187	227,248	218,187	227,248	227,947	227,947	127,224	227,947	18,996	192,270	192,270	18,996	227,904	227,904	227,904
201	Unemployment	0	1,838	1,539	1,838	1,539	1,539	1,539	1,026	1,539	93	1,539	1,539	93	1,006	1,006	1,006
214	Consultant/contractual service	3,296	1,679	2,200	1,679	2,200	2,200	2,200	764	2,200	2,200	2,200	2,200	2,200	2,200	2,200	2,200
225	Cellular telephone	90	232	300	232	300	300	300	167	300	300	300	300	300	300	300	300
230	Equipment rental	856	2,508	2,000	2,508	2,000	2,000	2,000	1,441	2,000	2,000	2,000	2,000	2,000	2,000	2,000	2,000
241	Software maintenance agreemt	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
+	Contracted Equipment Maintenance	43,936	35,624	65,000	35,624	65,000	64,300	64,300	6,134	65,000	65,000	65,000	65,000	65,000	65,000	65,000	65,000
1	Original Amount	0	0	30,000	0	30,000	0	0	0	0	30,000	30,000	30,000	30,000	30,000	30,000	30,000
2	New Program - Loader Maint & Repair	0	0	15,000	0	15,000	0	0	0	0	15,000	15,000	15,000	15,000	15,000	15,000	15,000
3	New Program - Paint 3 Plow Trucks	0	0	20,000	0	20,000	0	0	0	0	20,000	20,000	20,000	20,000	20,000	20,000	20,000
*	Amount missing from detail	43,936	35,624	0	35,624	0	64,300	64,300	6,134	6,134	0	0	0	0	0	0	0
246	Contracted Vehicle Maintenance	62,179	41,674	40,000	41,674	40,000	40,000	40,000	7,828	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000
260	Travel	43	1,798	0	1,798	0	0	0	0	0	0	0	0	0	0	0	0
261	Meals & lodging	44	185	0	185	0	0	0	0	0	0	0	0	0	0	0	0
262	Conferences/seminars/training	0	213	70	213	70	70	70	30	70	70	70	70	70	70	70	70
=	Total Contractual Services	110,444	85,750	111,109	85,750	111,109	110,409	110,409	17,389	111,109	109,663	111,109	111,109	109,663	110,576	110,576	110,576
300	Memberships & subscriptions	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
310	Office supplies	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0

ACCOUNT	Label	PACT 2010	ACTUAL 2011	G6Y201212	AMEND 2012	ACTUAL 2012	EST2012	DEPT2013	DEPTREQ13
		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Budget	Total Department Request
311	Copying/Printing	0	0	0	0	0	0	0	0
312	Postage	0	0	0	0	0	0	0	0
+									
350	Minor equipment/tool replacemt	19,234	32,242	0	36,000	12,659	36,000	4,237	50,800
1	Tools	0	0	0	0	0	36,000	3,000	36,000
2	Minor Attachments	0	0	0	0	0	0	1,237	14,800
*	Amount missing from detail	19,234	32,242	0	36,000	12,659	0	0	0
352	Uniform Services & Uniforms	1,592	2,082	2,000	2,000	1,438	2,000	2,000	2,000
357	Fuel	227,996	268,082	255,000	255,000	177,853	255,000	260,000	260,000
362	Equipment Maintenance - Supplies	70,084	60,948	61,800	61,800	34,408	62,000	62,000	62,000
366	Vehicle Maintenance - Supplies	86,390	80,977	80,000	80,000	70,468	80,000	82,000	82,000
399	Miscellaneous expense	566	934	100	100	83	100	100	100
=	TOTSM	405,881	445,265	398,900	434,900	296,910	435,100	410,337	456,900
+									
510	Property & liability insurance	31,933	29,564	31,220	31,220	29,797	32,923	36,050	36,050
1	General Liability	0	0	2,175	0	0	2,253	2,300	2,300
2	Auto	0	0	24,770	0	0	25,296	27,000	27,000
3	Contractors Equipment	0	0	4,275	0	0	5,374	5,400	5,400
4	IT	0	0	0	0	0	0	150	150
5	Assessing	0	0	0	0	0	0	750	750
6	Inspection	0	0	0	0	0	0	450	450
7	Engineering	0	0	0	0	0	0	0	0
*	Amount missing from detail	31,933	29,564	0	31,220	29,797	0	0	0
600	Depreciation	523,823	510,472	500,000	500,000	0	500,000	500,000	500,000
905	ISF Charges	5,834	4,991	5,654	5,654	2,806	5,600	5,600	5,600
=	SUBTOT	1,272,352	1,294,229	1,274,131	1,310,130	474,126	1,277,002	1,080,646	1,337,030
+									
990	New program requests	0	0	0	0	0	0	4,462	53,500
1	Expense Side of Add additional Dept to Fleet	0	0	0	0	0	0	4,462	53,500
2	Other	0	0	0	0	0	0	0	0
*	Amount missing from detail	0	0	0	0	0	0	0	0
=	New program requests - Personnel	0	0	0	0	0	0	1,962	23,549
994	Program Reductions	0	0	0	0	0	0	0	0
995	Program reductions	0	0	0	0	0	0	0	0
=	Grand Total	1,272,352	1,294,229	1,274,131	1,310,130	474,126	1,277,002	1,087,070	1,414,079
=	Operating Gain	227,175	189,339	225,869	189,870	514,135	222,998	422,767	203,921
	Non Operating Revenue								
	Interest Income	0	0	0	0	0	0	0	0
463191000	Interest on Investments	1,832	3,048	2,000	2,000	1,269	2,500	212	2,500



ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMEND 2012		ACTUAL 2012		EST2012		DEPT2013		DEPTREQ13	
		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Budget	Total Department Budget								
481103000	Gain/Loss on Sale	13,947	(3,028)	7,000	7,000	44,649	39,757	2,462	29,500								
484401000	Insurance Award/Refund	0	0	0	0	465	465	0	0								
485280000	Grants	0	0	0	0	0	0	0	0								
492001000	Transfer In from Utility	0	0	0	0	0	0	0	0								
1	RecPlex Vehicles	0	0	0	0	0	0	0	0								
*	Amount missing from detail	0	0	0	0	0	0	0	0								
492421000	Capital Contribution	0	0	0	0	3,410	3,410	0	0								
1	From General Government	0	0	0	0	0	0	0	0								
2	Other	0	0	0	0	0	0	0	0								
3	Other	0	0	0	0	0	0	0	0								
*	Amount missing from detail	0	0	0	0	0	0	0	0								
=	NOPREV	15,779	20	9,000	9,000	49,794	46,132	26,294	315,253								
=	NACHANGE	242,953	189,359	234,869	198,870	563,928	269,130	449,061	519,174								

			2013 Budget	Starting Salary	Increase %	Increase Period	New Salary	Increase% 2	Increase Period 2	New Salary 2	Bonus %	Bonus Amount
100-14-019	Zirbel, Allen		0.00	\$54,080	3.00%	1	\$55,702		0	\$55,702		0
801-514900-110	Full-time Operating ISF Salaries		102,943.99	\$102,944		0	\$102,944		0	\$102,944		0
801-514900-110A	Full-time ISF Administrative Salaries		19,048.00	\$19,048		0	\$19,048		0	\$19,048		0
801-514900-110C	Full-time ISF Clerical Salaries		10,344.00	\$10,344		0	\$10,344		0	\$10,344		0
110	Salary Account		132,335.99			0			0			0
100-514900-111	Part-time Operating ISF Salaries		16,723.20	\$16,723		0	\$16,723		0	\$16,723		0
801-514900-111C	Part-time ISF Clerical Salaries		3,375.00	\$3,375		0	\$3,375		0	\$3,375		0
111	Part-time salaries		20,098.20			0			0			0
100-14-019	Zirbel, Allen		0.00	\$54,080	3.00%	1	\$55,702		0	\$55,702		0
120	Snow Removal Wages		0.00			0			0			0
991	New Program Request		23,548.65			0			0			0
			0.00			0			0			0

# VILLAGE OF PLEASANT PRAIRIE

## New Programs

**BUDGET YEAR:** 2013

**DEPARTMENT:** Public Works

**FUND NO. & NAME:** 801 - Fleet Internal Service

### **NEW PROGRAMS OVERVIEW:**

List all New Programs and amounts. For each New Program listed, a separate New Program detail sheet needed.

	NEW PROGRAM NAME	AMOUNT
1.	Part-time Mechanic	\$23,549
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		
11.		
12.		
13.		
14.		
15.		

**TOTAL AMOUNT:** \$23,549

# VILLAGE OF PLEASANT PRAIRIE

## New Programs

BUDGET YEAR: 2013

DEPARTMENT: Public Works

FUND NO. & NAME: 801 - Fleet Internal Service

### NEW PROGRAMS REQUEST DETAIL:

Complete a detail sheet for each new program listed above. Note: Click to add "Additional New Program Request...".

NEW PROGRAM DETAIL NO.: 1

NEW PROGRAM NAME: Part-time Mechanic

CAPITAL PURCHASE REQUIRED: No IF YES,

CAPITAL PROJECT NAME: \_\_\_\_\_

CAPITAL PROJECT NO.: \_\_\_\_\_

APPROVED

REJECTED

ACCOUNT	DESCRIPTION	COST
801-514900-111	Wages and Benefits	\$23,549
		\$0

**TOTAL COSTS:** \$23,549

### OVERVIEW INCLUDING EFFECT ON GOALS:

It is estimated in 2012 over 5,240 hours will be spent maintaining the Fleet. With only 3,680 hours allocated for this budget, DPW maintenance staff must spend 1,560 hours assisting the mechanics. A new program is to add a second part time mechanic. This part time mechanic will be responsible for maintaining and repairing the 20 new vehicles added to the fleet and assisting the head mechanic in other DPW repairs.

# VILLAGE OF PLEASANT PRAIRIE

## Revenue Enhancements

**BUDGET YEAR:** 2013

**DEPARTMENT:** Fleet Internal Service

**FUND NO. & NAME:** 801 - Fleet Internal Services

**REVENUE ENHANCEMENTS OVERVIEW:**  
 List all Revenue Enhancements and amounts. For each Revenue Enhancement listed, a separate Revenue Enhancement detail sheet needed.

REVENUE ENHANCEMENT NAME		AMOUNT
1.	Add Assessing, Engineering, Inspection, IT, and RecPlex vehicles to ISF	\$64,500
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		
11.		
12.		
13.		
14.		
15.		

**TOTAL AMOUNT:** \$64,500

# VILLAGE OF PLEASANT PRAIRIE

## Revenue Enhancements

BUDGET YEAR: 2013

DEPARTMENT: Fleet Internal Service

FUND NO. & NAME: 801 - Fleet Internal Services

### REVENUE ENHANCEMENTS DETAIL:

Complete a detail sheet for each enhancement that is listed above. Note: Click to add "*Additional Revenue Enhancement...*".

REVENUE ENHANCEMENT NO. 1

Accepted

REVENUE ENHANCEMENT NAME: Add Assessing, Engineering, Inspection, IT, and RecPlex

Rejected

CAPITAL PURCHASE REQUIRED: No IF YES,

CAPITAL PROJECT NAME: \_\_\_\_\_

CAPITAL PROJECT NO.: \_\_\_\_\_

ACCOUNT	DESCRIPTION	COST
801-474930-000	Internal charge to other Funds	\$118,000
801-514900-246	Contracted Equipment Maintenance	(\$1,500)
801-514900-357	Fuel	(\$42,000)
801-514900-366	Vehicle Maintenance Supplies & 801-514900-510 Insurance (\$ )	(\$10,000)
<b>TOTAL COSTS:</b>		<b>\$64,500</b>

### OVERVIEW INCLUDING EFFECT ON GOALS:

The DPW maintenance staff is proposing to complete all repairs, and maintenance of vehicles used by the Assessing, Engineering, Inspection, IT, and RecPlex departments. There are a total of 20 vehicles between these departments. Each of the vehicles will be charged \$0.74 per mile as revenue to the ISF. The RecPlex bus will be charged \$1.27 per mile. Part of this charge will be set aside for vehicle replacement while the balance will be used for fuel, maintenance, and repairs.

Village of Pleasant Prairie, WI

*Capital Plan*

2013 thru 2017

**PROJECTS BY DEPARTMENT**

Department	Project#	Priority	2013	2014	2015	2016	2017	Total
<b>801A - FIS Vehicles</b>								
Used Single Axle Dump with Contractor Body	VIS-11-04	1	30,000					30,000
Tandem Axle Dump Truck	VIS-12-01	1	170,000			200,000		370,000
Single Axle Truck-Specialty Use	VIS-12-02	1	60,000	37,000				97,000
Pickup Trucks	VIS-12-04	1	50,000	50,000	50,000	50,000		200,000
Utility Van Replacement	VIS-12-05	5			30,000			30,000
Used Garbage Truck	VIS-12-06	1	110,000					110,000
Boom Truck with Chipper Body	VIS-12-07	1	50,000					50,000
Single Axle Dump Truck	VIS-13-01	5		179,108	180,000			359,108
Semi Tractor	VIS-14-01	5		40,000				40,000
Street Sweeper	VIS-16-01	5				205,000		205,000
Sanitation Trucks	VIS-17-01	5					700,000	700,000
<b>801A - FIS Vehicles Total</b>			470,000	306,108	260,000	455,000	700,000	2,191,108
<b>801B - FIS Equipment</b>								
Used Fork Lift	EIS-12-01	1	6,000					6,000
Mowers	EIS-12-02	1	86,000	115,000				201,000
Trailer for Hauling Compost	EIS-13-02	1	20,000					20,000
Leaf Collector	EIS-14-01	5		72,450				72,450
Wheeled Skid Steer	EIS-14-02	5		30,000				30,000
Combination Backhoe Replacement	EIS-15-01	5			80,000			80,000
Front End Loader	EIS-15-02	5			170,000	180,000		350,000
Pumps	TIS-12-02	1	14,000					14,000
Back up Generator	TIS-14-01	5		28,600				28,600
<b>801B - FIS Equipment Total</b>			126,000	246,050	250,000	180,000		802,050
<b>801C - FIS Attachments</b>								
Paver Box	AIS-14-01	5		20,000				20,000
Road Maint Equipment	AIS-14-02	5		5,000				5,000
Ingrsl-Rand w/Hose & Air Compressor	AIS-14-03	5		10,000				10,000
Loader Mounted Snow Blower Attachment (used)	AIS-15-01	5			40,000			40,000
Landscape Equipment	AIS-15-02	5			7,275			7,275
Trailer - Semi	AIS-15-03	5			50,000			50,000
<b>801C - FIS Attachments Total</b>				35,000	97,275			132,275
<b>801F - FIS Other Departments</b>								
Administrator Vehicle	A-02	3	17,000					17,000
Appraisal Vehicle	AS-02	1		18,500		19,000		37,500
Inspection vehicles	C-02	1					20,000	20,000
TR Bus	VIS-13-02	1	130,000					130,000
RecPlex Vans	VIS-13-03	5		20,000		20,000		40,000
<b>801F - FIS Other Departments Total</b>			147,000	38,500		39,000	20,000	244,500

Department	Project#	Priority	2013	2014	2015	2016	2017	Total
<b>801-Operating - Minor Equipmen</b>								
Minor Attachments	<i>FIS-MA-12-01</i>	1	14,800	7,400	7,400	8,000	8,000	<i>45,600</i>
Tool Replacements	<i>TIS-12-01</i>	1	36,000	36,000	36,000	36,000	36,000	<i>180,000</i>
<b>801-Operating - Minor Equipmen Total</b>			50,800	43,400	43,400	44,000	44,000	225,600
<b>GRAND TOTAL</b>			793,800	669,058	650,675	718,000	764,000	3,595,533

**Report criteria:**

Type: E or I or Z

Active Projects

Department: 801A - FIS Vehicles or 801B - FIS Equipment or 801C - FIS Attachments or 801E - FIS Tools or 801F - FIS Other Departments or 801-Operating - Minor Equipmen

All Categories

All Priority Levels

All Source Types

All Special Assessable data

All Fund Number data



Village of Pleasant Prairie, WI

*Capital Plan*

2013 thru 2017

**PROJECTS BY FUNDING SOURCE**

Source	Project#	Priority	2013	2014	2015	2016	2017	Total
<b>Capital Sales</b>								
Inspection vehicles	C-02	1					500	500
Mowers	EIS-12-02	1	10,000	15,000				25,000
Leaf Collector	EIS-14-01	5		14,700				14,700
Wheeled Skid Steer	EIS-14-02	5		2,000				2,000
Combination Bachhoe Replacement	EIS-15-01	5			5,000			5,000
Front End Loader	EIS-15-02	5			30,000	20,000		50,000
Used Single Axle Dump with Contractor Body	VIS-11-04	1	1,000					1,000
Tandem Axle Dump Truck	VIS-12-01	1	2,000			2,000		4,000
Single Axle Truck-Specialty Use	VIS-12-02	1	500	1,000				1,500
Pickup Trucks	VIS-12-04	1	1,000	1,000	1,000	1,000		4,000
Utility Van Replacement	VIS-12-05	5			2,000			2,000
Used Garbage Truck	VIS-12-06	1	15,000					15,000
Semi Tractor	VIS-14-01	5		5,000				5,000
Street Sweeper	VIS-16-01	5				5,000		5,000
<b>Capital Sales Total</b>			29,500	38,700	38,000	28,000	500	134,700
<b>Grant</b>								
TR Bus	VIS-13-02	1	104,000					104,000
<b>Grant Total</b>			104,000					104,000
<b>Internal Service</b>								
Administrator Vehicle	A-02	3	17,000					17,000
Paver Box	AIS-14-01	5		20,000				20,000
Road Maint Equipment	AIS-14-02	5		5,000				5,000
IngrsI-Rand w/Hose & Air Compressor	AIS-14-03	5		10,000				10,000
Loader Mounted Snow Blower Attachment (used)	AIS-15-01	5			40,000			40,000
Landscape Equipment	AIS-15-02	5			7,275			7,275
Trailer - Semi	AIS-15-03	5			50,000			50,000
Appraisal Vehicle	AS-02	1		18,500		19,000		37,500
Inspection vehicles	C-02	1					19,500	19,500
Used Fork Lift	EIS-12-01	1	6,000					6,000
Mowers	EIS-12-02	1	76,000	100,000				176,000
Trailer for Hauling Compost	EIS-13-02	1	20,000					20,000
Leaf Collector	EIS-14-01	5		57,750				57,750
Wheeled Skid Steer	EIS-14-02	5		28,000				28,000
Combination Bachhoe Replacement	EIS-15-01	5			75,000			75,000
Front End Loader	EIS-15-02	5			140,000	160,000		300,000
Minor Attachments	FIS-MA-12-01	1	14,800	7,400	7,400	8,000	8,000	45,600
Tool Replacements	TIS-12-01	1	36,000	36,000	36,000	36,000	36,000	180,000
Pumps	TIS-12-02	1	14,000					14,000
Back up Generator	TIS-14-01	5		28,600				28,600

Source	Project#	Priority	2013	2014	2015	2016	2017	Total
Used Single Axle Dump with Contractor Body	VIS-11-04	1	29,000					29,000
Tandem Axle Dump Truck	VIS-12-01	1	168,000			198,000		366,000
Single Axle Truck-Specialty Use	VIS-12-02	1	59,500	36,000				95,500
Pickup Trucks	VIS-12-04	1	49,000	49,000	49,000	49,000		196,000
Utility Van Replacement	VIS-12-05	5			28,000			28,000
Used Garbage Truck	VIS-12-06	1	95,000					95,000
Boom Truck with Chipper Body	VIS-12-07	1	50,000					50,000
Single Axle Dump Truck	VIS-13-01	5		179,108	180,000			359,108
TR Bus	VIS-13-02	1	26,000					26,000
RecPlex Vans	VIS-13-03	5		20,000		20,000		40,000
Semi Tractor	VIS-14-01	5		35,000				35,000
Street Sweeper	VIS-16-01	5				200,000		200,000
Sanitation Trucks	VIS-17-01	5					700,000	700,000
<b>Internal Service Total</b>			660,300	630,358	612,675	690,000	763,500	3,356,833
<b>GRAND TOTAL</b>			793,800	669,058	650,675	718,000	764,000	3,595,533

**Report criteria:**

Type: E or I or Z

Active Projects

Department: 801A - FIS Vehicles or 801B - FIS Equipment or 801C - FIS Attachments or 801E - FIS Tools or 801F - FIS Other Departments or 801-Operating - Minor Equipmen

All Categories

All Priority Levels

All Source Types

All Special Assessable data

All Fund Number data

# Capital Plan

2013 *thru* 2017

Department 801A - FIS Vehicles

## Village of Pleasant Prairie, WI

Contact

Project # **VIS-11-04**  
 Project Name **Used Single Axle Dump with Contractor Body**

Type Equipment  
 Useful Life 10-15 years  
 Category Vehicles - Replacement  
 Priority 1 Urgent  
 Status Active

Special Assessable

Fund Number

Total Project Cost: **\$30,000**

**Description**  
 Used Contractor Single Axle Dump replaces old one ton

**Justification**  
 Replace aging vehicles.

Expenditures	2013	2014	2015	2016	2017	Total
Equip/Vehicles/Furnishings	30,000					30,000
<b>Total</b>	<b>30,000</b>					<b>30,000</b>

Funding Sources	2013	2014	2015	2016	2017	Total
Capital Sales	1,000					1,000
Internal Service	29,000					29,000
<b>Total</b>	<b>30,000</b>					<b>30,000</b>

**Budget Impact/Other**  
 Reduced maintenance and break down costs.

Budget Items	2013	2014	2015	2016	2017	Total
Contractual Services & Maint	-2,000	-2,000	-2,000	-2,000	-2,000	-10,000
<b>Total</b>	<b>-2,000</b>	<b>-2,000</b>	<b>-2,000</b>	<b>-2,000</b>	<b>-2,000</b>	<b>-10,000</b>

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801A - FIS Vehicles  
**Contact** John Steinbrink, Jr.  
**Type** Equipment  
**Useful Life** 10-15 years  
**Category** Vehicles - Replacement  
**Priority** 1 Urgent  
**Status** Active

**Project #** VIS-12-01  
**Project Name** Tandem Axle Dump Truck

**Special Assessable**  
**Fund Number**

**Total Project Cost:** \$370,000

**Description**  
 2013 - Replace Tandem Axle Dump VEH#6931  
 2016 - Replace Tandem Axle Dump VEH#6991

**Justification**  
 Expected life of vehicle is 10,000 hours. Replace aging vehicles.

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings	170,000			200,000		370,000
<b>Total</b>	<b>170,000</b>			<b>200,000</b>		<b>370,000</b>

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Capital Sales	2,000			2,000		4,000
Internal Service	168,000			198,000		366,000
<b>Total</b>	<b>170,000</b>			<b>200,000</b>		<b>370,000</b>

**Budget Impact/Other**  
 Reduced maintenance and breakdown costs.

<b>Budget Items</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Contractual Services & Maint	-1,000	-1,000	-1,000	-2,000	-1,000	-6,000
<b>Total</b>	<b>-1,000</b>	<b>-1,000</b>	<b>-1,000</b>	<b>-2,000</b>	<b>-1,000</b>	<b>-6,000</b>

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801A - FIS Vehicles  
**Contact** John Steinbrink, Jr.  
**Type** Equipment  
**Useful Life** 10-15 years  
**Category** Vehicles - Replacement  
**Priority** 1 Urgent  
**Status** Active

**Project #** VIS-12-02  
**Project Name** Single Axle Truck-Specialty Use

**Special Assessable**  
**Fund Number**

**Total Project Cost:** \$97,000

**Description**  
 2013 Service Truck

**Justification**  
 Expected life of vehicle is 150,000 miles. Replace aging vehicles.

Expenditures	2013	2014	2015	2016	2017	Total
Equip/Vehicles/Furnishings	60,000	37,000				97,000
<b>Total</b>	<b>60,000</b>	<b>37,000</b>				<b>97,000</b>

Funding Sources	2013	2014	2015	2016	2017	Total
Capital Sales	500	1,000				1,500
Internal Service	59,500	36,000				95,500
<b>Total</b>	<b>60,000</b>	<b>37,000</b>				<b>97,000</b>

**Budget Impact/Other**  
 Reduced maintenance and breakdown costs.

Budget Items	2013	2014	2015	2016	2017	Total
Contractual Services & Maint	-2,000	-2,000	-2,000	-2,000	-2,000	-10,000
<b>Total</b>	<b>-2,000</b>	<b>-2,000</b>	<b>-2,000</b>	<b>-2,000</b>	<b>-2,000</b>	<b>-10,000</b>

# Capital Plan

2013 thru 2017

## Village of Pleasant Prairie, WI

**Department** 801A - FIS Vehicles  
**Contact** John Steinbrink, Jr.  
**Type** Equipment  
**Useful Life** 10-15 years  
**Category** Vehicles - Replacement  
**Priority** 1 Urgent  
**Status** Active

**Project #** VIS-12-04  
**Project Name** Pickup Trucks

**Special Assessable**  
**Fund Number**

**Total Project Cost:** \$250,000

**Description**  
 Replace 2 Public Works Pick up Trucks each year

**Justification**  
 Expected life of vehicle is 100,000 miles. Replace aging vehicles.

Expenditures	2013	2014	2015	2016	2017	Total	Future
Equip/Vehicles/Furnishings	50,000	50,000	50,000	50,000		200,000	50,000
<b>Total</b>	<b>50,000</b>	<b>50,000</b>	<b>50,000</b>	<b>50,000</b>		<b>200,000</b>	<b>Total</b>

Funding Sources	2013	2014	2015	2016	2017	Total	Future
Capital Sales	1,000	1,000	1,000	1,000		4,000	50,000
Internal Service	49,000	49,000	49,000	49,000		196,000	
<b>Total</b>	<b>50,000</b>	<b>50,000</b>	<b>50,000</b>	<b>50,000</b>		<b>200,000</b>	<b>Total</b>

**Budget Impact/Other**  
 Reduced maintenance and breakdown costs.

Budget Items	2013	2014	2015	2016	2017	Total
Contractual Services & Maint	-1,000	-1,000	-1,000	-1,000	-1,000	-5,000
<b>Total</b>	<b>-1,000</b>	<b>-1,000</b>	<b>-1,000</b>	<b>-1,000</b>	<b>-1,000</b>	<b>-5,000</b>

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801A - FIS Vehicles  
**Contact** John Steinbrink, Jr.  
**Type** Equipment  
**Useful Life** 10-15 years  
**Category** Vehicles - Replacement  
**Priority** 5 Future Consideration  
**Status** Active

**Project #** VIS-12-05  
**Project Name** Utility Van Replacement

**Special Assessable**  
**Fund Number**

**Total Project Cost:** \$30,000

**Description**  
 2012 - Replace 1998 Utilities Van VEH#7983 with Utility Body truck  
 2013 - Replace Utilities Mainbreak Van  
 2015 - Replace Utility Van

**Justification**  
 Expected life of vehicle is 150,000. Replace aging vehicles.

Expenditures	2013	2014	2015	2016	2017	Total
Equip/Vehicles/Furnishings			30,000			30,000
<b>Total</b>			30,000			30,000

Funding Sources	2013	2014	2015	2016	2017	Total
Capital Sales			2,000			2,000
Internal Service			28,000			28,000
<b>Total</b>			30,000			30,000

**Budget Impact/Other**  
 Reduced maintenance and breakdown costs.

Prior	Budget Items	2013	2014	2015	2016	2017	Total
-500	Contractual Services & Maint			-500	-500	-500	-1,500
<b>Total</b>	<b>Total</b>			-500	-500	-500	-1,500

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801A - FIS Vehicles  
**Contact** John Steinbrink, Jr.  
**Type** Equipment  
**Useful Life** 10-15 years  
**Category** Equipment - Replacement  
**Priority** 1 Urgent  
**Status** Active

**Project #** VIS-12-06  
**Project Name** Used Garbage Truck

**Special Assessable**  
**Fund Number**

**Total Project Cost:** \$110,000

**Description**  
 Replace 1996 garbage truck #6963.

**Justification**  
 Vehicles have limited life span and must be replaced.

Expenditures	2013	2014	2015	2016	2017	Total
Equip/Vehicles/Furnishings	110,000					110,000
<b>Total</b>	<b>110,000</b>					<b>110,000</b>

Funding Sources	2013	2014	2015	2016	2017	Total
Capital Sales	15,000					15,000
Internal Service	95,000					95,000
<b>Total</b>	<b>110,000</b>					<b>110,000</b>

**Budget Impact/Other**  
 Reduced maintenance and break down costs.

Budget Items	2013	2014	2015	2016	2017	Total
Contractual Services & Maint	-1,000	-1,000	-1,000	-1,000	-1,000	-5,000
<b>Total</b>	<b>-1,000</b>	<b>-1,000</b>	<b>-1,000</b>	<b>-1,000</b>	<b>-1,000</b>	<b>-5,000</b>



# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801A - FIS Vehicles

**Contact** John Steinbrink, Jr.

**Type** Equipment

**Useful Life** 10years

**Category** Vehicles - New

**Priority** 1 Urgent

**Status** Active

**Total Project Cost:** \$50,000

<b>Project #</b>	<b>VIS-12-07</b>
<b>Project Name</b>	<b>Boom Truck with Chipper Body</b>

Special Assessable

Fund Number

<b>Description</b>
Used boom truck with chipper body.

<b>Justification</b>
DPW needs boom truck that will raise to higher level than currently have.

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings	50,000					50,000
<b>Total</b>	<b>50,000</b>					<b>50,000</b>

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Internal Service	50,000					50,000
<b>Total</b>	<b>50,000</b>					<b>50,000</b>

<b>Budget Impact/Other</b>

<b>Budget Items</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Contractual Services & Maint	-5,000	-5,000	-5,000	-5,000	-5,000	-25,000
<b>Total</b>	<b>-5,000</b>	<b>-5,000</b>	<b>-5,000</b>	<b>-5,000</b>	<b>-5,000</b>	<b>-25,000</b>

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801A - FIS Vehicles  
**Contact** John Steinbrink, Jr.  
**Type** Equipment  
**Useful Life** 10-15 years  
**Category** Vehicles - Replacement  
**Priority** 5 Future Consideration  
**Status** Active

**Project #** VIS-13-01  
**Project Name** Single Axle Dump Truck

**Special Assessable**  
**Fund Number**

**Total Project Cost:** \$759,108

Description
2014 - Replace Single Axle VEH#6952
2015 - Replace Single Axle VEH#6961

Justification
Vehicles have limited life and must be replaced. As trucks needed for daily operations age, costs and frequency of repairs rise.

Expenditures	2013	2014	2015	2016	2017	Total	Future
Equip/Vehicles/Furnishings		179,108	180,000			359,108	400,000
<b>Total</b>		<b>179,108</b>	<b>180,000</b>			<b>359,108</b>	<b>Total</b>

Funding Sources	2013	2014	2015	2016	2017	Total	Future
Internal Service		179,108	180,000			359,108	400,000
<b>Total</b>		<b>179,108</b>	<b>180,000</b>			<b>359,108</b>	<b>Total</b>

Budget Impact/Other
Reduced maintenance and breakdown costs.

Budget Items	2013	2014	2015	2016	2017	Total
Contractual Services & Maint	-2,000	-2,000	-2,000	-2,000	-2,000	-10,000
<b>Total</b>	<b>-2,000</b>	<b>-2,000</b>	<b>-2,000</b>	<b>-2,000</b>	<b>-2,000</b>	<b>-10,000</b>

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801A - FIS Vehicles  
**Contact** John Steinbrink, Jr.  
**Type** Equipment  
**Useful Life** 10 years  
**Category** Vehicles - Replacement  
**Priority** 5 Future Consideration  
**Status** Active

**Project #** VIS-14-01  
**Project Name** Semi Tractor

**Special Assessable**  
**Fund Number**

**Total Project Cost:** \$40,000

**Description**  
 Replace Semi Tractor

**Justification**  
 Vehicle has exceeded its useful life

Expenditures	2013	2014	2015	2016	2017	Total
Equip/Vehicles/Furnishings		40,000				40,000
<b>Total</b>		<b>40,000</b>				<b>40,000</b>

Funding Sources	2013	2014	2015	2016	2017	Total
Capital Sales		5,000				5,000
Internal Service		35,000				35,000
<b>Total</b>		<b>40,000</b>				<b>40,000</b>

**Budget Impact/Other**  
 Reduced breakdowns

Budget Items	2013	2014	2015	2016	2017	Total
Contractual Services & Maint		-500	-500	-500	-500	-2,000
<b>Total</b>		<b>-500</b>	<b>-500</b>	<b>-500</b>	<b>-500</b>	<b>-2,000</b>

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801A - FIS Vehicles  
**Contact** John Steinbrink, Jr.  
**Type** Equipment  
**Useful Life** 10-15 years  
**Category** Vehicles - Replacement  
**Priority** 5 Future Consideration  
**Status** Active

**Project #** VIS-16-01  
**Project Name** Street Sweeper

**Special Assessable**  
**Fund Number**

**Total Project Cost:** \$205,000

**Description**  
 2016 Replace Street Sweeper - VEH#6992

**Justification**  
 Vehicles have limited life span and must be replaced.

Expenditures	2013	2014	2015	2016	2017	Total
Construction				205,000		205,000
<b>Total</b>				205,000		205,000

Funding Sources	2013	2014	2015	2016	2017	Total
Capital Sales				5,000		5,000
Internal Service				200,000		200,000
<b>Total</b>				205,000		205,000

**Budget Impact/Other**  
 Reduced maintenance and repair costs.

Budget Items	2013	2014	2015	2016	2017	Total
Contractual Services & Maint				-2,000	-2,000	-4,000
<b>Total</b>				-2,000	-2,000	-4,000

**Capital Plan**

2013 *thru* 2017

**Village of Pleasant Prairie, WI**

**Department** 801A - FIS Vehicles  
**Contact** John Steinbrink, Jr.  
**Type** Equipment  
**Useful Life** 5 years  
**Category** Vehicles - Replacement  
**Priority** 5 Future Consideration  
**Status** Active

<b>Project #</b>	<b>VIS-17-01</b>
<b>Project Name</b>	<b>Sanitation Trucks</b>

Special Assessable  
 Fund Number

**Total Project Cost: \$700,000**

<b>Description</b>
Replace sanitation trucks

<b>Justification</b>

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings					700,000	700,000
<b>Total</b>	<hr/>				700,000	700,000

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Internal Service					700,000	700,000
<b>Total</b>	<hr/>				700,000	700,000

<b>Budget Impact/Other</b>

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801B - FIS Equipment

**Contact** John Steinbrink, Jr.

**Type** Equipment

**Useful Life** 10 years

**Category** Equipment - Replacement

**Priority** 1 Urgent

**Status** Active

**Total Project Cost:** \$6,000

<b>Project #</b>	EIS-12-01
<b>Project Name</b>	Used Fork Lift

Special Assessable

Fund Number

<b>Description</b>
Used Fork Lift

<b>Justification</b>
Used to unload inventory and move pallets around shop

Expenditures	2013	2014	2015	2016	2017	Total
Equip/Vehicles/Furnishings	6,000					6,000
<b>Total</b>	<b>6,000</b>					<b>6,000</b>

Funding Sources	2013	2014	2015	2016	2017	Total
Internal Service	6,000					6,000
<b>Total</b>	<b>6,000</b>					<b>6,000</b>

<b>Budget Impact/Other</b>

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801B - FIS Equipment

**Contact** John Steinbrink, Jr.

**Type** Equipment

**Useful Life** 7 years

**Category** Equipment - Replacement

**Priority** 1 Urgent

**Status** Active

**Total Project Cost:** \$201,000

<b>Project #</b>	<b>EIS-12-02</b>
<b>Project Name</b>	<b>Mowers</b>

Special Assessable

Fund Number

Description
2013 - Replace Two Parks Mowers VEH#8981 & VEH#8162
2014 - Replace Road Mower VEH#6543
2014 - Replace Wide Area Mower VEH#8163

Justification
Replace aging equipment.

Expenditures	2013	2014	2015	2016	2017	Total
Equip/Vehicles/Furnishings	86,000	115,000				201,000
<b>Total</b>	<b>86,000</b>	<b>115,000</b>				<b>201,000</b>

Funding Sources	2013	2014	2015	2016	2017	Total
Capital Sales	10,000	15,000				25,000
Internal Service	76,000	100,000				176,000
<b>Total</b>	<b>86,000</b>	<b>115,000</b>				<b>201,000</b>

Budget Impact/Other
Reduced maintenance and breakdown costs.

Prior	Budget Items	2013	2014	2015	2016	2017	Total
-630	Contractual Services & Maint	-525	-735				-1,260
<b>Total</b>	<b>Total</b>	<b>-525</b>	<b>-735</b>				<b>-1,260</b>

**Capital Plan**

2013 *thru* 2017

**Village of Pleasant Prairie, WI**

**Department** 801B - FIS Equipment

**Contact** John Steinbrink, Jr.

**Type** Equipment

**Useful Life** 10 years

**Category** Equipment - Replacement

**Priority** 1 Urgent

**Status** Active

**Total Project Cost:** \$20,000

<b>Project #</b>	<b>EIS-13-02</b>
<b>Project Name</b>	<b>Trailer for Hauling Compost</b>

Special Assessable

Fund Number

<b>Description</b>
Used trailer for hauling compost.

<b>Justification</b>
Compost must be hauled from the former 73-1 site to the Compost site for residents to pick up.

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings	20,000					20,000
<b>Total</b>	<b>20,000</b>					<b>20,000</b>

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Internal Service	20,000					20,000
<b>Total</b>	<b>20,000</b>					<b>20,000</b>

<b>Budget Impact/Other</b>



# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801B - FIS Equipment

**Contact** John Steinbrink, Jr.

**Type** Equipment

**Useful Life** 15 years

**Category** Equipment - Replacement

**Priority** 5 Future Consideration

**Status** Active

**Total Project Cost:** \$72,450

<b>Project #</b>	<b>EIS-14-01</b>
<b>Project Name</b>	<b>Leaf Collector</b>

Special Assessable

Fund Number

<b>Description</b>
2014 Replace Two (2) 2002 Giant Vac Leaf Loaders VEH#6023 & VEH#6024

<b>Justification</b>
Replace aging equipment.

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings		72,450				72,450
<b>Total</b>		<u>72,450</u>				<u>72,450</u>

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Capital Sales		14,700				14,700
Internal Service		57,750				57,750
<b>Total</b>		<u>72,450</u>				<u>72,450</u>

<b>Budget Impact/Other</b>
Reduced maintenance costs.

<b>Budget Items</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Contractual Services & Maint		-2,000				-2,000
<b>Total</b>		<u>-2,000</u>				<u>-2,000</u>

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801B - FIS Equipment

**Contact** John Steinbrink, Jr.

**Type** Equipment

**Useful Life** 10 years

**Category** Equipment - Replacement

**Priority** 5 Future Consideration

**Status** Active

**Total Project Cost:** \$30,000

<b>Project #</b>	<b>EIS-14-02</b>
<b>Project Name</b>	<b>Wheeled Skid Steer</b>

Special Assessable

Fund Number

<b>Description</b>
2014 Replace 2003 Wheeled Skid Steer VEH#7031

<b>Justification</b>
Replace aging equipment.

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings		30,000				30,000
<b>Total</b>		<u>30,000</u>				<u>30,000</u>

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Capital Sales		2,000				2,000
Internal Service		28,000				28,000
<b>Total</b>		<u>30,000</u>				<u>30,000</u>

<b>Budget Impact/Other</b>
Reduce maintenance and repair costs.

<b>Budget Items</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Contractual Services & Maint		-500				-500
<b>Total</b>		<u>-500</u>				<u>-500</u>

**Capital Plan**

2013 *thru* 2017

**Village of Pleasant Prairie, WI**

**Department** 801B - FIS Equipment

**Contact** John Steinbrink, Jr.

**Type** Equipment

**Useful Life** 10 years

**Category** Equipment - Replacement

**Priority** 5 Future Consideration

**Status** Active

**Total Project Cost:** \$80,000

<b>Project #</b>	<b>EIS-15-01</b>
<b>Project Name</b>	<b>Combination Backhoe Replacement</b>

Special Assessable

Fund Number

<b>Description</b>
Replace Combination Backhoe

<b>Justification</b>
Existing equipment has exceeded its useful life

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings			80,000			80,000
<b>Total</b>			80,000			80,000

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Capital Sales			5,000			5,000
Internal Service			75,000			75,000
<b>Total</b>			80,000			80,000

<b>Budget Impact/Other</b>

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801B - FIS Equipment

**Contact** John Steinbrink, Jr.

**Type** Equipment

**Useful Life** 10 years

**Category** Equipment - Replacement

**Priority** 5 Future Consideration

**Status** Active

**Total Project Cost:** \$550,000

<b>Project #</b>	<b>EIS-15-02</b>
<b>Project Name</b>	<b>Front End Loader</b>

Special Assessable

Fund Number

Description
2015 Replace 1991 Front End Loader VEH#6541
2016 Replace 2003 Front End Loader VEH#6241

Justification
Replace aging equipment.

Expenditures	2013	2014	2015	2016	2017	Total	Future
Equip/Vehicles/Furnishings			170,000	180,000		350,000	200,000
<b>Total</b>			170,000	180,000		350,000	<b>Total</b>

Funding Sources	2013	2014	2015	2016	2017	Total	Future
Capital Sales			30,000	20,000		50,000	200,000
Internal Service			140,000	160,000		300,000	
<b>Total</b>			170,000	180,000		350,000	<b>Total</b>

Budget Impact/Other
Reduce maintenance and breakdown costs.

Budget Items	2013	2014	2015	2016	2017	Total
Contractual Services & Maint			-1,000	-1,000		-2,000
<b>Total</b>			-1,000	-1,000		-2,000

# Capital Plan

2013 *thru* 2017

Department 801B - FIS Equipment

## Village of Pleasant Prairie, WI

Contact

Project #	TIS-12-02
Project Name	Pumps

Type Equipment  
 Useful Life 10 years  
 Category Tools - New  
 Priority 1 Urgent  
 Status Active

Special Assessable

Fund Number

Total Project Cost: \$28,000

Description
5HP 3PH pump \$5,700 Submersible
10HP 3PH pump \$7,900 Submersible
8HP 1PH pump \$7,800 Grinder
3.5HP1PH pump \$1,600 portable
3.5HP1PH pump \$1,600 portable
Hose for pumps \$5,400

Justification
Pumps needed for

Prior	Expenditures	2013	2014	2015	2016	2017	Total
14,000	Equip/Vehicles/Furnishings	14,000					14,000
<b>Total</b>	<b>Total</b>	14,000					14,000

Prior	Funding Sources	2013	2014	2015	2016	2017	Total
14,000	Internal Service	14,000					14,000
<b>Total</b>	<b>Total</b>	14,000					14,000

Budget Impact/Other
More efficient pumping.

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801B - FIS Equipment

**Contact** John Steinbrink, Jr.

**Type** Equipment

**Useful Life** 10 years

**Category** Equipment - New

**Priority** 5 Future Consideration

**Status** Active

**Total Project Cost:** \$28,600

<b>Project #</b>	TIS-14-01
<b>Project Name</b>	Back up Generator

Special Assessable

Fund Number

<b>Description</b>
Back up Generator can generate single and 3 phase power

<b>Justification</b>
Back up power for power outages

Expenditures	2013	2014	2015	2016	2017	Total
Equip/Vehicles/Furnishings		28,600				28,600
<b>Total</b>		28,600				28,600

Funding Sources	2013	2014	2015	2016	2017	Total
Internal Service		28,600				28,600
<b>Total</b>		28,600				28,600

<b>Budget Impact/Other</b>

**Capital Plan**

2013 *thru* 2017

**Village of Pleasant Prairie, WI**

**Department** 801C - FIS Attachments

**Contact** John Steinbrink, Jr.

**Type** Equipment

**Useful Life** 10-15 years

**Category** Attachments - Replacement

**Priority** 5 Future Consideration

**Status** Active

**Total Project Cost:** \$20,000

**Project #** AIS-14-01  
**Project Name** Paver Box

Special Assessable

Fund Number

**Description**  
 Pave-A-Lot Fullsize Paver

**Justification**  
 To increase productivity of patches completed by hwy department

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings		20,000				20,000
<b>Total</b>		20,000				20,000

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Internal Service		20,000				20,000
<b>Total</b>		20,000				20,000

**Budget Impact/Other**

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801C - FIS Attachments

**Contact** John Steinbrink, Jr.

**Type** Equipment

**Useful Life** 10-15 years

**Category** Attachments - Replacement

**Priority** 5 Future Consideration

**Status** Active

**Total Project Cost:** \$5,000

<b>Project #</b>	<b>AIS-14-02</b>
<b>Project Name</b>	<b>Road Maint Equipment</b>

Special Assessable

Fund Number

<b>Description</b>
Replace Shoulder Bermer

<b>Justification</b>

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings		5,000				5,000
<b>Total</b>		5,000				5,000

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Internal Service		5,000				5,000
<b>Total</b>		5,000				5,000

<b>Budget Impact/Other</b>



# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801C - FIS Attachments

**Contact** John Steinbrink, Jr.

**Type** Equipment

**Useful Life** 5 - 10 years

**Category** Attachments - Replacement

**Priority** 5 Future Consideration

**Status** Active

**Total Project Cost:** \$10,000

<b>Project #</b>	<b>AIS-14-03</b>
<b>Project Name</b>	<b>Ingrsl-Rand w/Hose &amp; Air Compressor</b>

Special Assessable

Fund Number

<b>Description</b>
Replace truck mounted air compressor #6905.

<b>Justification</b>
Existing air compressor is 20 years old with 2,014 hours.

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings		10,000				10,000
<b>Total</b>		10,000				10,000

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Internal Service		10,000				10,000
<b>Total</b>		10,000				10,000

<b>Budget Impact/Other</b>
Reduced downtime and repair costs.

# Capital Plan

2013 *thru* 2017

**Department** 801C - FIS Attachments

## Village of Pleasant Prairie, WI

**Contact** John Steinbrink, Jr.

<b>Project #</b>	<b>AIS-15-01</b>
<b>Project Name</b>	<b>Loader Mounted Snow Blower Attachment (used)</b>

**Type** Equipment

**Useful Life** 15-20 years

**Category** Attachments - New

**Priority** 5 Future Consideration

**Status** Active

**Special Assessable**

**Fund Number**

**Total Project Cost: \$40,000**

<b>Description</b>
Used snow blower to mount on front end of loader.

<b>Justification</b>
More efficient snow moving in areas where there is little space for large snow mounds. Able to clear snow in roadways, parking lots.

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings			40,000			40,000
<b>Total</b>			40,000			40,000

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Internal Service			40,000			40,000
<b>Total</b>			40,000			40,000

<b>Budget Impact/Other</b>

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801C - FIS Attachments

**Contact** John Steinbrink, Jr.

**Type** Equipment

**Useful Life** 10-15 years

**Category** Attachments - Replacement

**Priority** 5 Future Consideration

**Status** Active

**Total Project Cost:** \$7,275

<b>Project #</b>	AIS-15-02
<b>Project Name</b>	Landscape Equipment

Special Assessable

Fund Number

<b>Description</b>
Power Rake

<b>Justification</b>

Expenditures	2013	2014	2015	2016	2017	Total
Equip/Vehicles/Furnishings			7,275			7,275
<b>Total</b>			7,275			7,275

Funding Sources	2013	2014	2015	2016	2017	Total
Internal Service			7,275			7,275
<b>Total</b>			7,275			7,275

<b>Budget Impact/Other</b>

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 801C - FIS Attachments

**Contact** John Steinbrink, Jr.

**Type** Equipment

**Useful Life** 10-15 years

**Category** Attachments - Replacement

**Priority** 5 Future Consideration

**Status** Active

**Total Project Cost:** \$50,000

<b>Project #</b>	<b>AIS-15-03</b>
<b>Project Name</b>	<b>Trailer - Semi</b>

Special Assessable

Fund Number

<b>Description</b>
Replace Semi Trailer

<b>Justification</b>

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings			50,000			50,000
<b>Total</b>			50,000			50,000

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Internal Service			50,000			50,000
<b>Total</b>			50,000			50,000

<b>Budget Impact/Other</b>

# Capital Plan

2013 *thru* 2017

**Department** 801F - FIS Other Departments

## Village of Pleasant Prairie, WI

**Contact** Michael Pollocoff

<b>Project #</b>	<b>A-02</b>
<b>Project Name</b>	<b>Administrator Vehicle</b>

**Type** Equipment

**Useful Life** 4 years

**Category** Vehicles - Replacement

**Priority** 3 Important

**Status** Active

**Special Assessable**

**Fund Number** 410

**Total Project Cost:** \$17,000

Description
A used 2006 Chrysler Pacifica with 15,500 miles was purchased in June, 2007 and the 1999 Grand Cherokee was transferred to the Assessing Department. Currently, the 2006 Chrysler Pacifica has 50,200 miles.

Justification
In 2014, the 2006 Chrysler Pacifica is to be replaced for safety and reliability reasons.

Expenditures	2013	2014	2015	2016	2017	Total
Equip/Vehicles/Furnishings	17,000					17,000
<b>Total</b>	<b>17,000</b>					<b>17,000</b>

Funding Sources	2013	2014	2015	2016	2017	Total
Internal Service	17,000					17,000
<b>Total</b>	<b>17,000</b>					<b>17,000</b>

Budget Impact/Other

# Capital Plan

2013 *thru* 2017

**Department** 801F - FIS Other Departments

## Village of Pleasant Prairie, WI

**Contact** Rocco Vita

<b>Project #</b>	AS-02
<b>Project Name</b>	Appraisal Vehicle

**Type** Equipment

**Useful Life** 12 years

**Category** Vehicles - Replacement

**Priority** 1 Urgent

**Status** Active

**Special Assessable**

**Fund Number** 410

**Total Project Cost:** \$37,500

Description
This capital request will provide appraisers in the Assessor's office a reliable and identifiable replacement vehicle to use in conjunction with performing their fieldwork.

Justification
Depreciation, fuel, maintenance, and insurance of a \$18,500 replacement vehicle over an 12-year period carries an annual cost of \$3,352 while paying a mileage reimbursement for a personal vehicle will carry an estimated annual cost of \$5,918 based on the average annual mileage the appraisers log. Personal vehicles will need to be deployed if current vehicles are not replaced when they become unreliable.

Expenditures	2013	2014	2015	2016	2017	Total
Equip/Vehicles/Furnishings		18,500		19,000		37,500
<b>Total</b>		18,500		19,000		37,500

Funding Sources	2013	2014	2015	2016	2017	Total
Internal Service		18,500		19,000		37,500
<b>Total</b>		18,500		19,000		37,500

Budget Impact/Other
By 2014, depreciation, fuel, maintenance, and insurance is estimated at \$2,980 annually vs. mileage reimbursement for use of a personal vehicle of \$4,861. Over an eight year period and adjusted for cost fluctuations this amounts to a savings of \$18,497.

Budget Items	2013	2014	2015	2016	2017	Total
Fixed & Other Charges		-1,881	-2,030	-2,140		-6,051
<b>Total</b>		-1,881	-2,030	-2,140		-6,051

# Capital Plan

2013 *thru* 2017

**Department** 801F - FIS Other Departments

## Village of Pleasant Prairie, WI

**Contact** Jeff Sorensen

**Project #** C-02  
**Project Name** Inspection vehicles

**Type** Equipment

**Useful Life** 8

**Category** Vehicles - Replacement

**Priority** 1 Urgent

**Status** Active

**Special Assessable**

**Fund Number** 410

**Total Project Cost:** \$20,000

**Description**  
 Replacement of vehicles 2000 truck in 2011, 2001 truck will be replaced by DPW vehicle for inspection activities.

**Justification**  
 The capital improvement purchase would be the replacement of vehicles at eight (8) years or at about 125,000 miles. The Inspection Department requires reliable vehicular transportation to construction job sites for inspections. The existing inspection vehicles were purchased as used vehicles and are experiencing a number of mechanical maintenance problems and need to be replaced on a regular basis.

Expenditures	2013	2014	2015	2016	2017	Total
Equip/Vehicles/Furnishings					20,000	20,000
<b>Total</b>					20,000	20,000

Funding Sources	2013	2014	2015	2016	2017	Total
Capital Sales					500	500
Internal Service					19,500	19,500
<b>Total</b>					20,000	20,000

**Budget Impact/Other**  
 The operational impact would be a reduction in vehicle maintenance expenses. The vehicle proposed to be replaced cost up to \$2,500 per year on maintenance after year 5. Operational expenses associated with a newer used vehicle include a reduction in vehicle maintenance expenses. The vehicle expenses with a new used vehicle would be (\$400 1st/2nd years, \$600 3rd year, \$1000 4th year, \$2500 5th year+). The insurance (\$1,500 per year) and fuel/oil (\$1,200 per year) expenses would not change based on the vehicle's age.

Prior	Budget Items	2013	2014	2015	2016	2017	Total
-4,000	Contractual Services & Maint	-3,600					-3,600
<b>Total</b>	<b>Total</b>	-3,600					-3,600

# Capital Plan

2013 *thru* 2017

**Department** 801F - FIS Other Departments

## Village of Pleasant Prairie, WI

**Contact** John Steinbrink, Jr.

<b>Project #</b>	<b>VIS-13-02</b>
<b>Project Name</b>	<b>TR Bus</b>

**Type** Equipment

**Useful Life** 10 years

**Category** Vehicles - New

**Priority** 1 Urgent

**Status** Active

**Special Assessable**

**Fund Number**

**Total Project Cost: \$130,000**

<b>Description</b>
Additional bus for Therapeutic Rec Department.

<b>Justification</b>
Additional transportation needs for program.

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings	130,000					130,000
<b>Total</b>	<b>130,000</b>					<b>130,000</b>

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Grant	104,000					104,000
Internal Service	26,000					26,000
<b>Total</b>	<b>130,000</b>					<b>130,000</b>

<b>Budget Impact/Other</b>



# Capital Plan

2013 *thru* 2017

**Department** 801F - FIS Other Departments

## Village of Pleasant Prairie, WI

**Contact** John Steinbrink, Jr.

<b>Project #</b>	<b>VIS-13-03</b>
<b>Project Name</b>	<b>RecPlex Vans</b>

**Type** Equipment

**Useful Life** 10 years

**Category** Vehicles - Replacement

**Priority** 5 Future Consideration

**Status** Active

**Total Project Cost:** \$40,000

Special Assessable

Fund Number

Description
Replace RecPlex vans

Justification
Replace aging vans that have reached the end of their useful life.

Expenditures	2013	2014	2015	2016	2017	Total
Equip/Vehicles/Furnishings		20,000		20,000		40,000
<b>Total</b>		20,000		20,000		40,000

Funding Sources	2013	2014	2015	2016	2017	Total
Internal Service		20,000		20,000		40,000
<b>Total</b>		20,000		20,000		40,000

Budget Impact/Other

# Capital Plan

2013 *thru* 2017

**Department** 801-Operating - Minor Equip

## Village of Pleasant Prairie, WI

**Contact** John Steinbrink, Jr.

<b>Project #</b>	<b>FIS-MA-12-01</b>
<b>Project Name</b>	<b>Minor Attachments</b>

**Type** Unassigned

**Useful Life**

**Category** Attachments - Replacement

**Priority** 1 Urgent

**Status** Active

Special Assessable

Fund Number

**Total Project Cost: \$45,600**

<b>Description</b>
Minor equipment attachments cost of which is under \$5,000 per item. Examples are pickup plow assembly, excavator buckets, trailers, loader forks.

<b>Justification</b>
Minor equipment attachments have limited life spans. Vehicles/equipment cannot work properly without properly working attachments.

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings	14,800	7,400	7,400	8,000	8,000	45,600
<b>Total</b>	<b>14,800</b>	<b>7,400</b>	<b>7,400</b>	<b>8,000</b>	<b>8,000</b>	<b>45,600</b>

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Internal Service	14,800	7,400	7,400	8,000	8,000	45,600
<b>Total</b>	<b>14,800</b>	<b>7,400</b>	<b>7,400</b>	<b>8,000</b>	<b>8,000</b>	<b>45,600</b>

<b>Budget Impact/Other</b>
Cannot use vehicles/equipment if job-specific attachments are worn out.

# Capital Plan

2013 *thru* 2017

**Department** 801-Operating - Minor Equip

## Village of Pleasant Prairie, WI

**Contact** John Steinbrink, Jr.

<b>Project #</b>	TIS-12-01
<b>Project Name</b>	Tool Replacements

**Type** Unassigned

**Useful Life** 10-15 years

**Category** Tools - Replacement

**Priority** 1 Urgent

**Status** Active

Special Assessable

Fund Number

**Total Project Cost: \$180,000**

<b>Description</b>
Examples are chain saws, generators, gas leaf blowers, push mowers, post hole diggers, pruners, compressors, floor jack, drill press, band saw, miscellaneous shop and field maintenance tools.

<b>Justification</b>
Tools have limited life spans. Replacement is necessary for day-to-day Village maintenance and projects.

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings	36,000	36,000	36,000	36,000	36,000	180,000
<b>Total</b>	<b>36,000</b>	<b>36,000</b>	<b>36,000</b>	<b>36,000</b>	<b>36,000</b>	<b>180,000</b>

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Internal Service	36,000	36,000	36,000	36,000	36,000	180,000
<b>Total</b>	<b>36,000</b>	<b>36,000</b>	<b>36,000</b>	<b>36,000</b>	<b>36,000</b>	<b>180,000</b>

<b>Budget Impact/Other</b>
More cost-effective use of labor when proper tools are used and when tools work efficiently.

# VILLAGE OF PLEASANT PRAIRIE

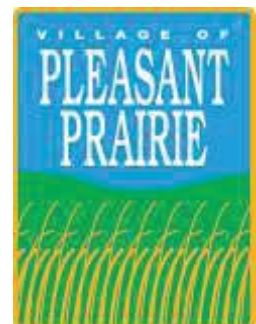
## BUDGET COVER PAGE

**BUDGET YEAR:** 2013

**DEPARTMENT:** Solid Waste



**SUBMITTED BY:** John Steinbrink, Jr., Public Works Director



# VILLAGE OF PLEASANT PRAIRIE

## Overview

**BUDGET YEAR: 2013**

**DEPARTMENT: Solid Waste**

Pleasant Prairie began sanitation services on January 1, 2005. Four sanitation staff, two part-time clerical, and a mechanic were hired. The department utilized the existing Street Foreman and Director for daily management. The department operates with three garbage routes that include large container collection and bulk item pick-ups, and one recycling route daily.

Clerical staff takes calls from residents, processes billing and enters work orders for the Street, Clean Water, Parks and Sanitation Divisions in the Public Works Department. The Mechanic repairs and maintains equipment for Sewer, Water, Street, Parks, Clean Water, Solid Waste, and at the request of other departments. In June of 2010, a part-time mechanic was hired to help repair and maintain Village vehicles and equipment.

The sanitation work schedule is based on a five week rotation. This allows an employee to rotate weekly from collecting garbage and recycling to working in the Street Department. The goal of this rotation is to reduce worker's comp claims, cross train with the Street Department, and have backup operators while sanitation employees are off on vacations. A DPW Streets employee is rotated with the four sanitation crew.

### **AUTOMATED SOLID WASTE COLLECTION**

The Sanitation Department began automated collection of solid waste at the curbside in wheeled carts in 2008 and continues to be well received by residents. Residents have either 95 or 65 gallon garbage and recycling carts. Residents can request a different size cart or change their garbage option once a year in September.

There were two advantages to automating collection: Efficiency of the existing workforce and Reduced Workers Comp claims.

Once the Village began automated collection, the production of a collection vehicle increased from 564 stops per day to an average of 675 stops per day. This increase in production resulted in a reduction 11.5 hours of collection time per week.

The automated garbage collection has the distinct advantage of using fewer workers with the ability to work inside the vehicle itself during collection. This saves personnel costs initially and in the future. This lowers workman compensation claims potential since this method results in fewer workers along with very limited handling of the refuse.

#### **The current collection options are:**

Option 1 Unlimited Collection                      Currently \$15.50/ month

This option reflects the highest level of service for residents. A 95 gallon collection cart is collected weekly. The resident has the option to place an unlimited volume of solid waste in addition to the 95 gallon garbage collection cart. Residents can purchase another 95 gallon garbage collection cart for \$55.00 or a 65 gallon cart for \$50.00. There is a \$10.00 charge to upgrade to the 95 gallon recycling container or receive another recycling cart.

Option 2 Automated Collection Plus              Currently \$15.00/ month

A 95 gallon collection cart is collected weekly with additional unlimited collection from December 15<sup>th</sup> to January 15<sup>th</sup> each year and two free unlimited collection days per year \$15.00 per month. Any additional bulk pickup collections (items larger than 3 feet in length and 18 inches wide and/or more than 50 pounds) are charged a \$25 fee. Residents must schedule the two unlimited collection days by calling the Sanitation department 48 hours in advance of their regular scheduled collection day. It is recommended that the resident have a 95 gallon recycling cart. Residents can purchase another 95 gallon garbage collection cart for \$55.00 or a 65 gallon cart for \$50.00. There is a \$10.00 charge to upgrade to the 95 gallon recycling container or receive another recycling cart.

Option 3 Automated collection                      Currently \$14.50/ month

A 95 gallon collection cart is collected weekly. It is recommended that the resident have a 95 gallon recycling cart. Residents can purchase another 95 gallon garbage collection cart for \$55.00 or a 65 gallon cart for \$50.00. There is a \$10.00 charge to upgrade to the 95 gallon recycling container or receive another recycling cart.

Village staff uses the Village GIS software in the collection vehicles to track the different collection options.

**SOLID WASTE AND RECYCLING CONTRACTS**

The Village extended contracts with Veolia ES Landfill for solid waste landfilling and with Veolia ES Solid Waste Midwest for single-stream recycling services. The tipping fees for solid waste landfilling did not increase for 2012.

**LANDFILL COSTS (Tipping fees)**

	<b>2007 (Aug 16)</b>	<b>2008 (Aug 16)</b>	<b>2009 (Aug 16)</b>	<b>2010 (July 21)</b>	<b>2011 (July 21)</b>	<b>2012 (Aug 3)</b>
Tipping Fees (per ton)	\$30.78	\$32.48	\$38.50	\$41.00	\$42.50	\$42.50
Increase	3.5%	5%	18.5%	6.5%	3.7%	0%

**WASTE GENERATION and RECYCLING TRENDS**

The following table represents the quantities in tons of garbage and recyclables collected over a period of the last 5.5 years.

	<b>2006</b>	<b>2007</b>	<b>2008</b>	<b>2009</b>	<b>2010</b>	<b>2011</b>	<b>2012 (1st half)</b>
Recycling	2473	2534	2375	2328	2145	2144	1005
Solid Waste	6021	5456	5545	6361	6491	5951	2957
Recycling %	29.1%	31.7%	30.0%	26.8%	24.8%	26.5%	25.4%
Solid Waste %	70.9%	68.3%	70.0%	73.2%	75.2%	73.5%	74.6%

**ADDITIONAL SERVICES**

The Sanitation Department collects bulk items for a \$25 fee on Wednesdays. Bulk items are any items which are items larger than 3 feet in length and 18 inches wide and/or which weigh more than 50 pounds.

Another sanitation service currently provided is the disposal of white goods such as refrigerators, stoves, dishwashers, etc. Staff separates white goods and sends all non-Freon containing appliances to a scrap metal recycler for which we receive a rebate. Freon containing white goods are recycled through a contract with Intercon Solutions. Staff is currently considering proposals for white goods recycling as the contract with Intercon Solutions comes to an end in September of 2012.

Due to the State mandated ban of electronic items from landfills, the Village registered with the DNR to be a collector of electronics. A contract was entered into with Dynamics Recycling, a registered electronics recycler, to process these items in an environmentally sound manner. The Village recycled 11,834lbs. of electronics in the first half of 2012. The Contract with Dynamics Recycling ended in August of 2012. Currently staff is considering proposals for the recycling of electronics in the Village.

Village staff collects leaves at the curbside in the spring and fall each year. Residents pile leaves loose at the curb line. Crews collect the loose leaves for two weeks in the spring and six weeks in the fall. It is estimated that 6000 cubic yards of leaves will be collected and processed at the Village compost site.

The Village Compost Site is staffed and open Monday through Friday 10-6pm (with the exception of the first Wednesday of every month when the site is closed for grinding) and Saturday 7-2pm from the end of March to early December. In addition to brush, leaves, grass, drain oil, antifreeze and automotive batteries, residents can now drop off concrete, gravel, asphalt, metal and

garbage/recycling. Other items normally handled by sanitation pickup can be dropped for a reduced fee. These items are White goods (\$20), Computers (\$10), tires (\$5) and bulk items (\$10). Televisions can be dropped off for a fee based on size/weight.

### **SANITATION VEHICLES AND EQUIPMENT**

Replacement of the rear-loader garbage truck is planned for 2012. The existing truck was purchased in 1996. Capital will come from the ISF fund. Further replacement of garbage vehicles is not anticipated until 2017.

The route trucks have the automated arm for automated collection, however the design of the new trucks prevent the operators from the ability to throw solid waste into the trucks manually. For this reason, the size guidelines for unlimited solid waste collection have changed to items under 3 feet in length and under 18 inches wide (or item size smaller than the collection cart). For residents with Option 1 (unlimited collection) or Option 2 (within prescribed time periods), after the initial pickup the operators will leave the truck, refill the collection cart with the excess solid waste and perform the automated tipping of the cart. GIS software is used in the collection vehicles to track the different collection options.

### **NEW PROGRAM FOR 2013**

Every year Pleasant Prairie and Kenosha County each host a Hazardous Waste collection day funded by State of Wisconsin grant monies. In 2013 the grant was reduced by 50 percent with complete funding for the collection site at Kenosha County and no funding for Pleasant Prairie collection day. As a result, staff entered into an agreement with Veolia Services to host a collection day on October 20th, 2012. Veolia was the low bidder for the State of Wisconsin hazardous collection program. The cost will be a fixed cost for labor and transportation and state rate costs for all products received on the collection day.

In the future staff is proposing two options for hazardous waste collection:

Option 1 - purchase a storage building for hazardous waste products, train staff to collect hazardous waste material, and collect hazardous waste material during the first Saturday of the month during compost hours (7am to 2pm) from April to December (9 collection days annually). Since the site is already staffed with a full time employee on Saturday there will be no additional staffing costs. The capital costs will be the building and one time staff training. The building will also be used to store hazardous materials found on the road side. The Village currently has no place to store such materials.

Option 2 - Contract Veolia to host three collection days for collection per year. Collection hours would be 9am to noon

### **SUMMARY & CONCLUSION**

The Sanitation Department is operating well. Changes in the recycling industry and tipping fees will be the largest challenges for the future. The Department will focus on encouraging and educating our residents regarding the importance and benefits of recycling.

# VILLAGE OF PLEASANT PRAIRIE

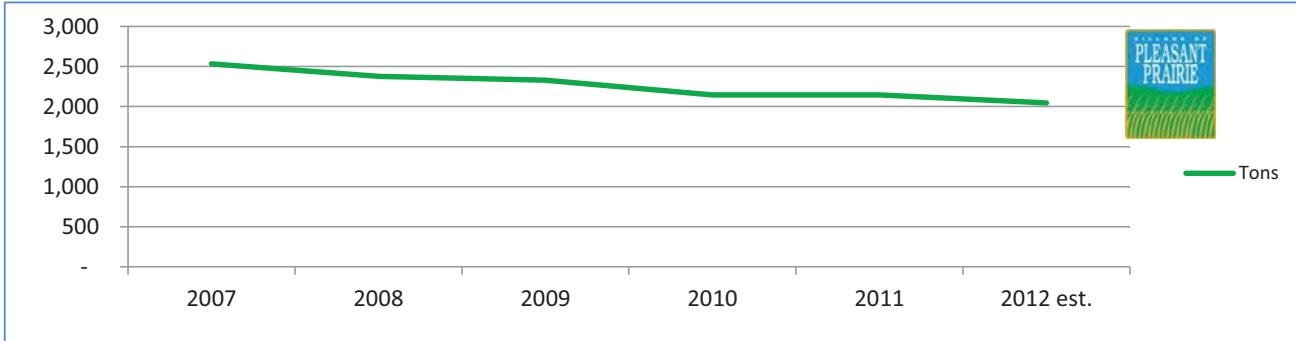
## TRENDING REPORT

DEPARTMENT: Solid Waste

BUDGET YEAR: 2013

Trend # 1

### Recycling Tonnage

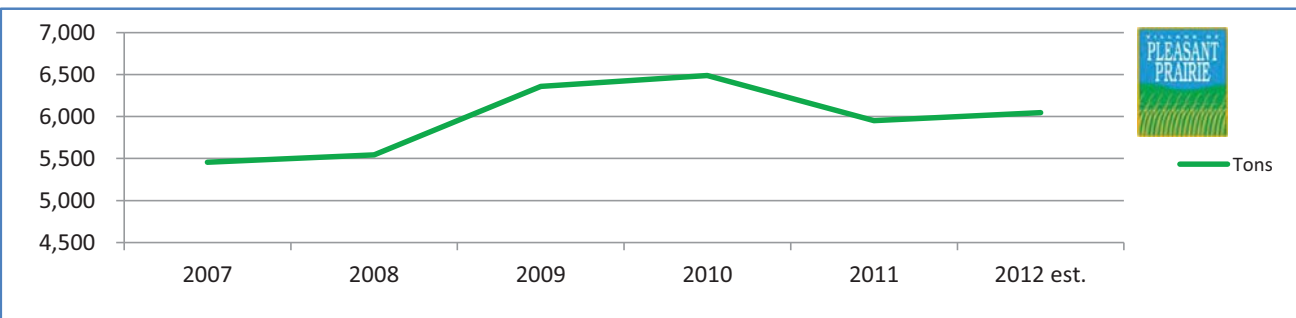


YEAR	Tons
2007	2,534
2008	2,375
2009	2,328
2010	2,145
2011	2,144
2012 est.	2,045

This trending chart shows the amount of recycling generated by Pleasant Prairie residents, showing a reduction of recyclables collected.

Trend #2

### Garbage Tonnage



YEAR	Tons
2007	5,455
2008	5,545
2009	6,361
2010	6,491
2011	5,951
2012 est.	6,048

This trending chart shows the amount of garbage generated by Pleasant Prairie residents, showing an increase of garbage collected.



# VILLAGE OF PLEASANT PRAIRIE

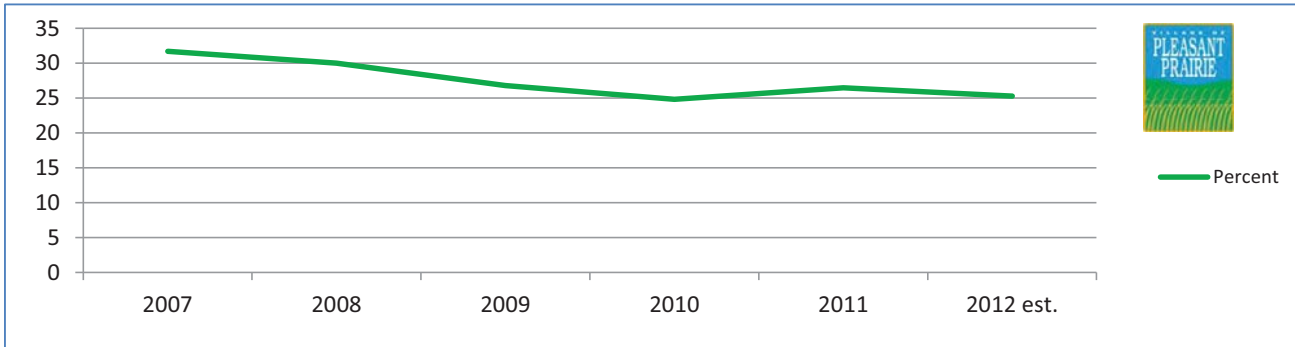
## TRENDING REPORT

DEPARTMENT: Solid Waste

BUDGET YEAR: 2013

Trend #3

### Diversion Rate



YEAR	Percent
2007	31.72
2008	29.99
2009	26.79
2010	24.84
2011	26.49
2012 est.	25.28

This trending chart shows the amount of recycling diverted from the landfill annually by Pleasant Prairie residents. The decline shows that residents are not recycling, but are discarding recyclables into the garbage. One of the 2013 goals for the Solid Waste Division is to focus on encouraging and educating residents to the benefit of recycling.

# VILLAGE OF PLEASANT PRAIRIE

## Goals

**BUDGET YEAR:** 2012

**DEPARTMENT:** Solid Waste

**UPDATE TYPE:** 3rd QTR

### GOALS:

Limited to three (3) goals. Description and Results limited to 500 text characters.

### GOAL #1

**TITLE:** Promote Recycling Education and Participation to Residents

<input type="checkbox"/> NUMBER <input checked="" type="checkbox"/> PERCENT  Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.		<b>1st QTR</b>	<b>2nd QTR</b>	<b>3rd QTR</b>	<b>4th QTR</b>	<b>TOTAL</b>
	<b>GOAL</b>	100	100	100	100	400
	<b>ACTUAL</b>	100	100	100		300
	<b>FORECAST</b>	100	100	100	100	400

<b>DESCRIPTION</b>	Increase recycling participation and reduce the amount of garbage sent to the landfill to increase our diversion rate. The Village of Pleasant Prairie pays tipping fees to the landfill for garbage and receives a rebate for recycling. Solid Waste Division will use the Village newsletter, website and school education to promote the benefits of recycling.
<b>RESULTS</b>	The amount of garbage sent to the landfill in 2012 has decreased. DPW continues to encourage and inform residents about the benefits of recycling in articles in the Village newsletter and the Village website. DPW also offers residents the opportunity to obtain a second recycling cart for free.

# VILLAGE OF PLEASANT PRAIRIE

## Goals

DEPARTMENT: Solid Waste

BUDGET YEAR: 2012

UPDATE TYPE: 3rd QTR

### GOAL #2

TITLE: Monitor RFID Garbage and Recycling Carts

<input type="checkbox"/> NUMBER <input checked="" type="checkbox"/> PERCENT  Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.		<b>1st QTR</b>	<b>2nd QTR</b>	<b>3rd QTR</b>	<b>4th QTR</b>	<b>TOTAL</b>
	<b>GOAL</b>	100	100	100	100	400
	<b>ACTUAL</b>	0	0	0		0
	<b>FORECAST</b>	0	0	0	0	0

<b>DESCRIPTION</b>	Work with GIS/I.T. to locate and monitor Village garbage and recycling carts. Set up procedure in which CCS can keep track of when to bill for additional pickups based on resident garbage option. Create reports showing recycling and garbage compliance.
<b>RESULTS</b>	Hardware and software are not in place. Will move this goal to 2013.

# VILLAGE OF PLEASANT PRAIRIE

## Goals

**BUDGET YEAR:** 2013

**DEPARTMENT:** Solid Waste

**UPDATE TYPE:** Original

### GOALS:

Limited to three (3) goals. Description and Results limited to 500 text characters.

### GOAL #1

**TITLE:** Promote Recycling Education and Participation to Residents

- NUMBER  
 PERCENT

Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.

	1st QTR	2nd QTR	3rd QTR	4th QTR	TOTAL
<b>GOAL</b>	100	100	100	100	400
<b>ACTUAL</b>					0
<b>FORECAST</b>					0

<b>DESCRIPTION</b>	Increase recycling participation and reduce the amount of garbage sent to the landfill to increase our diversion rate. The Village of Pleasant Prairie pays tipping fees to the landfill for garbage and receives a rebate for recycling. Solid Waste Division will use the Village newsletter, website and school education to promote the benefits of recycling.
<b>RESULTS</b>	

# VILLAGE OF PLEASANT PRAIRIE

## Goals

DEPARTMENT: Solid Waste

BUDGET YEAR: 2013

UPDATE TYPE: Original

### GOAL #2

TITLE: Monitor RFID Garbage and Recycling Carts

- NUMBER  
 PERCENT

Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.

	1st QTR	2nd QTR	3rd QTR	4th QTR	TOTAL
<b>GOAL</b>	100	100	100	100	400
<b>ACTUAL</b>					0
<b>FORECAST</b>					0

<b>DESCRIPTION</b>	Work with GIS/I.T. to locate and monitor Village garbage and recycling carts. Set up procedure in which CCS can keep track of when to bill for additional pickups based on resident garbage option. Create reports showing recycling and garbage compliance.
<b>RESULTS</b>	

ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMEND 2012		ACTUAL 2012		EST2012		DEPT2013		DEPTREQ13	
		Actuals	2010	Actuals	2011	Original Burdnet 2012	Amended Burdnet 2012	Actuals	2012	Estimate	2012	Non HR Burdnet	2013	Total Department Burdnet			
	OPERATING REVENUE																
+	464611000	Residential meter sales (2005-Garbage Collection)	1,320,734	1,330,396	1,330,692	1,330,692	890,408	1,337,615	1,345,000	1,345,000	1,345,000	1,345,000	1,345,000				
+	464612000	Recycling Rebate (2005-Recycling Collection)	50,476	94,645	80,000	80,000	26,556	61,621	5,000	60,000	60,000	60,000	60,000				
	464614000	Yard Waste Collection	0	0	0	0	0	0	0	0	0	0	0				
	464615000	Recycling Containers	4,545	4,825	3,500	3,500	3,810	5,000	5,000	5,000	5,000	5,000	5,000				
	464616000	Bulk Pick Up Revenue	13,531	16,482	16,000	16,000	11,650	17,000	17,000	17,000	17,000	17,000	17,000				
	464617000	Container Rental	17,471	16,494	16,500	16,500	11,046	16,544	16,544	16,544	16,544	16,544	16,544				
+	464740000	Other Recycling Revenues	16,447	13,913	7,268	7,268	5,817	8,000	7,000	7,000	7,000	7,000	7,000				
	464745000	Other Garbage Revenue	6,630	5,225	5,000	5,000	4,940	7,000	6,000	6,000	6,000	6,000	6,000				
=	SSALES	Solid Waste Operating Revenue	1,429,835	1,481,980	1,458,960	1,458,960	954,227	1,452,780	1,401,544	1,456,544	1,456,544	1,456,544	1,456,544				
		OPERATING EXPENSES															
	530403600	Depreciation expense	92,725	94,554	92,000	92,000	0	92,000	92,000	92,000	92,000	92,000	92,000				
=	S403	Solid Waste - Depreciation	92,725	94,554	92,000	92,000	0	92,000	92,000	92,000	92,000	92,000	92,000				
	530921202	Employment Evaluations	243	486	300	300	161	300	300	300	300	300	300				
	530921205	Publication of Notices/Agendas	0	0	0	0	0	0	0	0	0	0	0				
+	530921206	Contractual Printing	11,836	13,708	11,250	11,250	6,471	11,250	11,250	11,250	11,250	11,250	11,250				
+	530921210	Attorney Fees	5,180	5,195	2,000	2,000	425	1,000	1,000	1,000	1,000	1,000	1,000				
	530921211	Accounting/Audit Fees	0	0	0	0	0	0	0	0	0	0	0				
+	530921214	Consultant/Contractual Service	7,178	5,041	1,250	1,250	954	1,325	1,500	1,500	1,500	1,500	1,500				
	530921216	Legislative Services	0	0	200	200	0	0	200	200	200	200	200				
	530921224	Telephone	1,864	2,114	1,900	1,900	1,296	1,900	1,900	1,900	1,900	1,900	1,900				
	530921225	Cellular Charges	418	1,451	1,300	1,300	844	1,200	1,200	1,200	1,200	1,200	1,200				
	530921226	Data/Voice Communications	2,470	1,929	2,500	2,500	813	2,500	2,500	2,500	2,500	2,500	2,500				
	530921232	Facility Lease	10,408	10,408	9,954	9,954	0	9,954	10,000	10,000	10,000	10,000	10,000				
	530921241	Software Maintenance Agreements	0	0	0	0	0	0	0	0	0	0	0				
	530921260	Travel	98	0	0	0	0	0	0	0	0	0	0				
	530921261	Meals & Lodging	102	66	187	187	0	250	250	250	250	250	250				
	530921262	Conferences /Seminars/ Training	296	143	450	450	0	500	500	500	500	500	500				
	530921300	Memberships & Subscriptions	242	242	242	242	425	425	250	250	250	250	250				
	530921310	Office Supplies	255	160	250	250	104	250	250	250	250	250	250				
	530921311	Copying/Printing	1,186	822	1,100	1,100	533	1,000	1,000	1,000	1,000	1,000	1,000				
	530921312	Postage	1,390	1,553	1,200	1,200	879	1,500	1,400	1,400	1,400	1,400	1,400				
	530921350	Minor Equipment / Tool Replacement	2,250	0	0	0	0	0	0	0	0	0	0				
	530921399	Miscellaneous Expense	211	0	100	100	0	100	100	100	100	100	100				
+	530921510	Property & Liability Insurance	0	1,694	0	0	0	0	0	0	0	0	0				
=	S921	Solid Waste - Office Supplies & Expenses	45,626	45,012	34,183	34,183	12,904	33,454	33,600	33,600	33,600	33,600	33,600				
=	536350110	Salaries - compost site	20,982	14,652	15,929	15,929	6,774	0	1,370	1,370	1,370	1,370	1,370				

ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMIEND 2012		ACTUAL 2012		EST2012		DEPT2013		DEPTREQ13	
		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Personnel	Total Department Personnel								
+=	536350111	13,037	15,316	20,388	20,388	9,023	0	1,676	20,110								
=	536350112	10,336	9,881	15,177	15,177	5,850	0	1,265	15,177								
+=	536350151	3,373	3,011	3,939	3,939	1,630	0	330	3,957								
+=	536350152	3,445	2,246	2,000	2,000	951	0	190	2,279								
+=	536350153	1,010	1,476	1,920	1,920	781	0	166	1,996								
=	536350154	7,223	7,164	5,124	5,124	4,093	0	409	4,906								
	536350159	952	1,099	841	841	622	841	841	841								
+	536350214	35,524	29,733	28,700	28,700	13,824	29,000	29,000	29,000								
	536350220	62	0	0	0	0	0	0	0								
+	536350242	0	0	0	0	0	0	0	0								
	536350399	162	0	100	100	435	100	200	200								
	536350905	51,482	48,798	49,971	49,971	25,616	48,000	50,000	50,000								
	CYESTSB350	0	0	0	0	0	0	0	0								
=	S350	147,588	133,377	144,089	144,089	69,598	129,403	85,446	144,901								
=	536351110	39,823	61,093	59,092	59,092	31,257	0	5,366	64,396								
=	536351111	2,777	0	6,775	6,775	3,804	0	616	7,395								
=	536351112	0	0	0	0	0	0	0	0								
=	536351151	3,213	4,646	5,039	5,039	2,649	0	458	5,492								
=	536351152	4,494	5,484	3,886	3,886	2,063	0	401	4,810								
=	536351153	370	1,504	1,768	1,767	954	0	157	1,880								
=	536351154	9,009	17,405	15,865	15,865	9,713	0	1,381	16,576								
=	536351158	0	0	164	164	0	0	15	175								
	536351159	2,666	3,366	2,643	2,643	1,742	2,643	223	2,643								
+	536351199	33,214	34,066	34,461	34,461	22,463	34,461	3,021	36,043								
	536351201	0	4,239	3,755	3,755	2,504	3,755	191	2,160								
	536351901	10,300	13,000	13,000	13,000	8,667	13,000	14,400	14,400								
+	536351990	0	0	0	0	0	0	0	0								
=	536351991	0	0	0	0	0	0	0	0								
+	536351994	0	0	0	0	0	0	0	0								
	CYESTSB351	0	0	0	0	0	0	0	0								
=	S351	105,867	144,804	146,448	146,447	85,816	146,447	28,450	182,458								
=	536352110	7,850	17,550	11,630	11,630	343	0	1,000	12,000								
+=	536352111	7,241	6,605	7,317	7,317	765	0	603	7,236								
=	536352112	3,427	12	0	0	4	0	0	0								
+=	536352151	1,413	1,840	1,449	1,449	84	0	123	1,472								
+=	536352152	1,180	1,281	745	745	29	0	72	862								
+=	536352153	511	866	706	706	64	0	62	742								
=	536352154	2,345	6,330	3,689	3,689	367	0	294	3,529								
	536352159	680	839	655	655	444	655	655	655								





ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMIEND 2012		ACTUAL 2012		EST2012		DEPT2013		DEPTREQ13	
		Actuals 2010	Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Personnel	Total Department Personnel							
536400399	Miscellaneous expense	0	123	500	350	0	350	0	350	350	350	210,000	210,000	350	350	210,000	210,000
536400905	ISF Charge	206,046	207,255	209,574	209,574	137,397	209,574	137,397	209,574	137,397	210,000	230,055	210,000	0	0	0	0
CYESTSB400	Current Year Estimated Salaries & Benefits	0	0	0	0	0	0	0	0	0	0	718,757	718,757	507,797	507,797	728,291	728,291
= S400	Solid Waste - Garbage Collection Exp	714,870	735,176	700,409	700,410	446,458	700,410	446,458	700,410	446,458	718,757	1,467,365	1,467,365	948,751	948,751	1,497,407	1,497,407
= SOPEXP	Solid Waste Total Operating Expense	1,399,161	1,460,185	1,420,192	1,420,193	764,526	1,420,193	764,526	1,420,193	764,526	1,467,365	(14,585)	1,467,365	452,793	452,793	(40,863)	(40,863)
= SOPGAIN	Solid Waste Operating Gain (Loss)	30,674	21,795	38,768	38,767	189,701	38,767	189,701	38,767	189,701	(14,585)						
	Non Operating Revenue																
444190000	Interest Income - Late Payments	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
+ 481103000	Gain/Loss on Sale	0	0	0	0	0	0	0	0	0	0	21,500	21,500	0	0	0	0
484190000	Interest on Investments	2,118	1,838	1,500	1,500	842	1,500	842	1,500	842	1,600	1,600	1,600	1,600	1,600	1,600	1,600
484192000	Interest - Late Payments	17,813	18,362	18,000	18,000	7,562	18,000	7,562	18,000	7,562	18,000	18,000	18,000	18,000	18,000	18,000	18,000
484195000	Amortization of Bond Premium	5,464	5,464	5,464	5,464	0	5,464	0	5,464	0	5,464	5,464	5,464	5,464	5,464	5,464	5,464
485280000	Emergency Government Grant	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
485450000	Recycling Grant	71,094	45,964	46,000	46,000	46,009	46,000	46,009	46,000	46,009	46,009	46,000	46,000	46,000	46,000	46,000	46,000
= TOTNOREV	Total Non Operating Revenue	96,489	71,627	70,964	70,964	54,413	70,964	54,413	70,964	54,413	92,573	92,573	71,064	71,064	71,064	71,064	71,064
	Non Operating Expenses																
585210630	Issuance Expense	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
960427605	Amortization of Issuance Expense	3,138	3,138	3,138	3,138	0	3,138	0	3,138	0	3,138	3,138	3,138	3,138	3,138	3,138	3,138
960427620	Interest on Long Term Notes	20,413	16,313	12,291	12,291	13,650	12,291	13,650	12,291	13,650	12,291	12,291	12,291	688	688	8,256	8,256
= TOTNOEXP	Total Non Operating Expenses	23,552	19,452	15,429	15,429	13,650	15,429	13,650	15,429	13,650	15,429	15,429	15,429	3,826	3,826	11,394	11,394
= GBCONT	Net Solid Waste	103,612	73,971	94,303	94,302	230,464	94,302	230,464	94,302	230,464	62,559	62,559	520,031	520,031	18,807	18,807	18,807
	Salaries & Benefits Summary																
= RFTSALARY	Full Time Salaries	276,900	311,307	291,365	291,365	166,027	291,365	166,027	291,365	166,027	0	25,338	0	25,338	304,053	304,053	304,053
= RPTSALARY	Part Time Salaries	23,654	22,960	36,200	36,201	14,129	36,201	14,129	36,201	14,129	0	3,042	0	3,042	36,500	36,500	36,500
= ROTSSALARY	Over Time Salaries	21,677	19,661	25,278	25,278	8,097	25,278	8,097	25,278	8,097	0	2,107	0	2,107	25,278	25,278	25,278
= SALARIES	Total Salaries	322,231	353,928	352,843	352,844	188,253	352,844	188,253	352,844	188,253	0	30,486	0	30,486	365,831	365,831	365,831
= SOCIALSEC	Social Security	24,531	26,943	26,992	26,992	14,262	26,992	14,262	26,992	14,262	0	2,332	0	2,332	27,986	27,986	27,986
= RETIREMENT	Retirement	32,995	29,248	19,319	19,319	10,968	19,319	10,968	19,319	10,968	0	1,899	0	1,899	22,793	22,793	22,793
= WRKERSCP	Workers Compensation	6,564	12,252	12,449	12,449	6,867	12,449	6,867	12,449	6,867	0	1,103	0	1,103	13,230	13,230	13,230
= HEALTH	Health & Life Benefits	71,269	94,211	88,745	88,745	55,057	88,746	55,057	88,746	55,057	0	7,186	0	7,186	86,235	86,235	86,235
= RETIREE	Retiree Medical Benefits	16,266	20,076	15,666	15,666	10,627	15,666	10,627	15,666	10,627	15,666	15,666	15,666	13,246	13,246	15,666	15,666
= BENEFITS	Total Benefits	151,625	182,730	163,171	163,172	97,782	163,172	97,782	163,172	97,782	15,666	15,666	25,766	25,766	165,911	165,911	165,911
= TCYESTSB	Total Current Year Estimated Salaries & Benefits	0	0	0	0	0	0	0	0	0	495,940	495,940	0	0	0	0	0

ACCOUNT	Label	PACT 2010	ACTUAL 2011	G6Y201212	AMEND 2012	ACTUAL 2012	EST2012	DEPT2013	DEPTREQ13
		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Request	Total Department Request
=	TOTSLBEN	473,855	402,664	516,014	516,016	286,035	511,606	56,252	531,742
	Percent of Labor Dollars								
=	PSS	8	8	92	8	8	0	8	92
=	PRETIREMENT	10	8	66	5	6	0	6	75
=	PWORKERCOMP	2	3	42	4	4	0	4	43
=	PHEALTH	22	27	302	25	29	0	24	283
=	PWTOTAL	42	46	502	42	46	0	41	493

ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMEND 2012		ACTUAL 2012		EST2012		DEPT2013		DEPTREQ13	
		Actuals	2010	Actuals	2011	Original Budget 2012	Amended Budget 2012	Actuals	2012	Estimate	2012	Non HR Budget	Total Department Revenue				
	OPERATING REVENUE																
+	Residential meter sales (2005-Garbage Collection)	1,320,734	0	1,330,396	0	1,330,692	0	1,330,692	890,408	1,337,615	1,345,000	1,345,000	1,345,000				
	1st Qtr	0	0	0	0	332,673	0	0	0	333,585	336,000	336,000	336,000				
	2nd Qtr	0	0	0	0	332,673	0	0	0	334,030	336,000	336,000	336,000				
	3rd Qtr	0	0	0	0	332,673	0	0	0	335,000	336,000	336,000	336,000				
	4th Qtr	0	0	0	0	332,673	0	0	0	335,000	337,000	337,000	337,000				
*	Amount missing from detail	1,320,734	0	1,330,396	0	1,330,692	0	1,330,692	890,408	0	0	0	0				
+	Recycling Rebate (2005-Recycling Collection)	50,476	0	94,645	0	80,000	0	80,000	26,556	61,621	5,000	5,000	60,000				
	1st Quarter	0	0	0	0	20,000	0	0	0	15,124	1,250	1,250	15,000				
	2nd Quarter	0	0	0	0	20,000	0	0	0	16,497	1,250	1,250	15,000				
	3rd Quarter	0	0	0	0	20,000	0	0	0	15,000	1,250	1,250	15,000				
	4th Quarter	0	0	0	0	20,000	0	0	0	15,000	1,250	1,250	15,000				
*	Amount missing from detail	50,476	0	94,645	0	80,000	0	80,000	26,556	0	0	0	0				
	Yard Waste Collection	0	0	0	0	0	0	0	0	0	0	0	0				
	Recycling Containers	4,545	0	4,825	0	3,500	0	3,500	3,810	5,000	5,000	5,000	5,000				
	Bulk Pick Up Revenue	13,531	0	16,482	0	16,000	0	16,000	11,650	17,000	17,000	17,000	17,000				
	Container Rental	17,471	0	16,494	0	16,500	0	16,500	11,046	16,544	16,544	16,544	16,544				
+	Other Recycling Revenues	16,447	0	13,913	0	7,268	0	7,268	5,817	8,000	7,000	7,000	7,000				
	Other Recycling Revenue	0	0	0	0	5,000	0	5,000	0	8,000	7,000	7,000	7,000				
	One Source Settlement Agreement	0	0	0	0	2,268	0	2,268	0	0	0	0	0				
*	Amount missing from detail	16,447	0	13,913	0	7,268	0	7,268	5,817	0	0	0	0				
	Other Garbage Revenue	6,630	0	5,225	0	5,000	0	5,000	4,940	7,000	6,000	6,000	6,000				
=	Solid Waste Operating Revenue	1,429,835	0	1,481,980	0	1,458,960	0	1,458,960	954,227	1,452,780	1,401,544	1,401,544	1,456,544				
	OPERATING EXPENSES																
	Depreciation expense	92,725	0	94,554	0	92,000	0	92,000	0	92,000	92,000	92,000	92,000				
=	Solid Waste - Depreciation	92,725	0	94,554	0	92,000	0	92,000	0	92,000	92,000	92,000	92,000				
	Employment Evaluations	243	0	486	0	300	0	300	161	300	300	300	300				
	Publication of Notices/Agendas	0	0	0	0	0	0	0	0	0	0	0	0				
+	Contractual Printing	11,836	0	13,708	0	11,250	0	11,250	6,471	11,250	11,250	11,250	11,250				
	Calendar Advertising	0	0	0	0	5,000	0	5,000	0	5,000	5,000	5,000	5,000				
	Newsletter Advertising	0	0	0	0	5,000	0	5,000	0	5,000	5,000	5,000	5,000				
	Utility Bills	0	0	0	0	750	0	750	0	750	750	750	750				
	Compost Stickers	0	0	0	0	500	0	500	0	500	500	500	500				
*	Amount missing from detail	11,836	0	13,708	0	11,250	0	11,250	6,471	0	0	0	0				
+	Attorney Fees	5,180	0	5,195	0	2,000	0	2,000	425	1,000	1,000	1,000	1,000				
	Recycling Contractor - Bankruptcy	0	0	0	0	0	0	0	0	0	0	0	0				
	Other	0	0	0	0	2,000	0	2,000	0	1,000	1,000	1,000	1,000				
*	Amount missing from detail	5,180	0	5,195	0	2,000	0	2,000	425	0	0	0	0				
	Accounting/Audit Fees	0	0	0	0	0	0	0	0	0	0	0	0				

ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMEND 2012		ACTUAL 2012		EST2012		DEPT2013		DEPTREQ13	
		Actuals 2010	Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Personnel	Total Department Personnel							
+ 530921214	Consultant/Contractual Service	7,178	5,041	1,250	1,250	1,250	954	1,325	1,500	1,500							
1	Monthly PSN Fee	0	0	1,250	1,250	1,250	954	1,325	1,500	1,500							
2	Power Engineers, Inc (City Works Implementation)	0	0	0	0	0	0	0	0	0							
*	Amount missing from detail	7,178	5,041	0	1,250	0	(0)	0	0	0							
530921216	Legislative Services	0	0	200	200	200	0	0	200	200							
530921224	Telephone	1,864	2,114	1,900	1,900	1,900	1,296	1,900	1,900	1,900							
530921225	Cellular Charges	418	1,451	1,300	1,300	1,300	844	1,200	1,200	1,200							
530921226	Data/Voice Communications	2,470	1,929	2,500	2,500	2,500	813	2,500	2,500	2,500							
530921232	Facility Lease	10,408	10,408	9,954	9,954	9,954	0	9,954	10,000	10,000							
530921241	Software Maintenance Agreements	0	0	0	0	0	0	0	0	0							
530921260	Travel	98	0	0	0	0	0	0	0	0							
530921261	Meals & Lodging	102	66	187	187	187	0	250	250	250							
530921262	Conferences /Seminars/ Training	296	143	450	450	450	0	500	500	500							
530921300	Memberships & Subscriptions	242	242	242	242	242	425	425	250	250							
530921310	Office Supplies	255	160	250	250	250	104	250	250	250							
530921311	Copying/Printing	1,186	822	1,100	1,100	1,100	533	1,000	1,000	1,000							
530921312	Postage	1,390	1,553	1,200	1,200	1,200	879	1,500	1,400	1,400							
530921350	Minor Equipment / Tool Replacement	2,250	0	0	0	0	0	0	0	0							
530921399	Miscellaneous Expense	211	0	100	100	100	0	100	100	100							
+ 530921510	Property & Liability Insurance	0	1,694	0	0	0	0	0	0	0							
1	Sanitation truck hit at&t wires	0	0	0	0	0	0	0	0	0							
2	Sanitation truck hit parked vehicle	0	0	0	0	0	0	0	0	0							
*	Amount missing from detail	0	1,694	0	0	0	0	0	0	0							
= S921	Solid Waste - Office Supplies & Expenses	45,626	45,012	34,183	34,183	34,183	12,904	33,454	33,600	33,600							
=																	
+ 536350110	Salaries - compost site	20,982	14,652	15,929	15,929	15,929	6,774	0	1,370	1,370							
+ 536350111	Part - time salaries - compost	13,037	15,316	20,388	20,388	20,388	9,023	0	1,676	1,676							
1	Original Amount	0	0	19,670	19,670	19,670	0	0	0	0							
2	New Program - Increase PT Starting Wages	0	0	718	718	718	0	0	0	0							
*	Amount missing from detail	13,037	15,316	0	20,388	0	9,023	0	1,676	1,676							
= 536350112	Overtime salaries - compost site	10,336	9,881	15,177	15,177	15,177	5,850	0	1,265	1,265							
+ 536350151	Social security	3,373	3,011	3,939	3,939	3,939	1,630	0	330	330							
1	Original Amount	0	0	3,884	3,884	3,884	0	0	0	0							
2	New Program - Increase PT Starting Wage	0	0	55	55	55	0	0	0	0							
*	Amount missing from detail	3,373	3,011	0	3,939	0	1,630	0	330	330							
+ 536350152	Wisconsin retirement	3,445	2,246	2,000	2,000	2,000	951	0	190	190							
1	Original Amount	0	0	1,993	1,993	1,993	0	0	0	0							
2	New Program - Increase Pt Starting Wages	0	0	7	7	7	0	0	0	0							
*	Amount missing from detail	3,445	2,246	0	2,000	0	951	0	190	190							
+ 536350153	Worker's compensation	1,010	1,476	1,920	1,920	1,920	781	0	166	166							

ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMEND 2012		ACTUAL 2012		EST 2012		DEPT2013		DEPTREQ13	
		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Budget	Total Department Budget								
1	Original/Amount	0	0	1,889	0	0	0	0	0	0	0	0	0	0	0	0	0
2	New Program - Increase PT Starting Wages	0	0	31	0	0	0	0	0	0	0	0	0	0	0	0	0
*	Amount missing from detail	1,010	1,476	0	1,920	781	0	1,920	0	781	0	0	0	166	1,996	1,996	1,996
=	Health & life benefits	7,223	7,164	5,124	5,124	4,093	0	5,124	0	4,093	0	0	0	409	4,906	4,906	4,906
536350159	Retiree Medical Benefits	952	1,099	841	841	622	0	841	0	622	0	0	0	841	841	841	841
+ 536350214	Contractual Services	35,524	29,733	28,700	28,700	13,824	0	28,700	0	13,824	0	0	0	29,000	29,000	29,000	29,000
1	Tub Grinding	0	0	27,000	0	0	0	0	0	0	0	0	0	27,000	27,000	27,000	27,000
2	Stump Removal	0	0	0	0	0	0	0	0	0	0	0	0	300	300	300	300
3	Toilet Rental for Compost Site	0	0	700	0	0	0	0	0	0	0	0	0	700	700	700	700
4	Tipping Fee	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
5	Other	0	0	1,000	0	0	0	0	0	0	0	0	0	1,000	1,000	1,000	1,000
*	Amount missing from detail	35,524	29,733	0	28,700	13,824	0	28,700	0	13,824	0	0	0	0	0	0	0
536350220	Electric	62	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
536350242	Contracted equipment maintenance	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
536350399	Misc. Expense	162	0	100	100	435	0	100	0	435	0	0	0	200	200	200	200
536350905	ISF Charge	51,482	48,798	49,971	49,971	25,616	0	49,971	0	25,616	0	0	0	50,000	50,000	50,000	50,000
CYESTSB350	Current Year Estimated Salaries & Benefits	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
= S350	Solid Waste - Compost Site Expenses	147,588	133,377	144,089	144,089	69,598	0	144,089	0	69,598	0	0	0	85,446	144,901	144,901	144,901
=	Salaries - administrative	39,823	61,093	59,092	59,092	31,257	0	59,092	0	31,257	0	0	0	5,366	64,396	64,396	64,396
=	Part - time Salaries	2,777	0	6,775	6,775	3,804	0	6,775	0	3,804	0	0	0	616	7,395	7,395	7,395
=	Overtime salaries - admin	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
=	Social security	3,213	4,646	5,039	5,039	2,649	0	5,039	0	2,649	0	0	0	458	5,492	5,492	5,492
=	Wisconsin retirement	4,494	5,484	3,886	3,886	2,063	0	3,886	0	2,063	0	0	0	401	4,810	4,810	4,810
=	Worker's compensation	370	1,504	1,768	1,767	954	0	1,767	0	954	0	0	0	157	1,880	1,880	1,880
=	Health & life benefits	9,009	17,405	15,865	15,865	9,713	0	15,865	0	9,713	0	0	0	1,381	16,576	16,576	16,576
=	Long - term disability	0	0	164	164	0	0	164	0	0	0	0	0	15	175	175	175
536351158	Retiree Medical Benefits	2,666	3,366	2,643	2,643	1,742	0	2,643	0	1,742	0	0	0	223	2,643	2,643	2,643
+ 536351199	Personnel Transfers	33,214	34,066	34,461	34,461	22,463	0	34,461	0	22,463	0	0	0	3,021	36,043	36,043	36,043
1	Transfer from Admin	0	0	7,956	0	0	0	0	0	0	0	0	0	547	6,520	6,520	6,520
2	Transfer from Finance	0	0	10,666	0	0	0	0	0	0	0	0	0	920	10,963	10,963	10,963
3	Transfer from IT	0	0	11,968	0	0	0	0	0	0	0	0	0	1,048	12,510	12,510	12,510
4	Transfer from HR	0	0	3,871	0	0	0	0	0	0	0	0	0	338	4,045	4,045	4,045
5	Transfer from Clerk	0	0	0	0	0	0	0	0	0	0	0	0	168	2,005	2,005	2,005
*	Amount missing from detail	33,214	34,066	0	34,461	22,463	0	34,461	0	22,463	0	0	0	(0)	(0)	(0)	(0)
536351201	Unemployment	0	4,239	3,755	3,755	2,504	0	3,755	0	2,504	0	0	0	191	2,160	2,160	2,160
536351901	Non Personnel Transfer	10,300	13,000	13,000	13,000	8,667	0	13,000	0	8,667	0	0	0	14,400	14,400	14,400	14,400
+ 536351990	New Program	0	0	0	0	0	0	0	0	0	0	0	0	2,222	26,488	26,488	26,488
1	Hazardous Waste Collection Contracted	0	0	0	0	0	0	0	0	0	0	0	0	3,000	36,000	36,000	36,000
2	Hazardous Waste Collection - In-House	0	0	0	0	0	0	0	0	0	0	0	0	2,299	27,500	27,500	27,500
3	Training For Village staff to collection Haz Waste	0	0	0	0	0	0	0	0	0	0	0	0	549	6,500	6,500	6,500

ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMEND 2012		ACTUAL 2012		EST2012		DEPT2013		DEPTREQ13	
		Actuals 2010	Actuals 2010	Actuals 2011	Actuals 2011	Original Burdnet 2012	Amended Burdnet 2012	Actuals 2012	Actuals 2012	Estimate 2012	Non HR Burdnet	Total Department Burdnet					
4	Rate Increase of \$0.50 to fund Haz Waste Collection	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
*	Amount missing from detail	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
=	536351991	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
+	536351994	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1	Self-Serve Compost Site on Saturday	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
*	Amount missing from detail	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	CYESTSB351	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
=	S351	105,867	144,804	144,804	146,448	146,447	146,447	85,816	146,447	85,816	146,447	146,447	28,450	182,458			
=	536352110	7,850	17,550	17,550	11,630	11,630	11,630	343	11,630	343	11,630	11,630	1,000	12,000			
+=	536352111	7,241	6,605	6,605	7,317	7,317	7,317	765	7,317	765	7,317	7,317	603	7,236			
1	OriginalAmount	0	0	0	7,078	7,078	7,078	0	7,078	0	7,078	7,078	0	0			
2	New program - Increase Part-time Starting Wage	0	0	0	239	239	239	0	239	0	239	239	0	0			
*	Amount missing from detail	7,241	6,605	6,605	7,317	7,317	7,317	765	7,317	765	7,317	7,317	603	7,236			
=	536352112	3,427	12	12	0	0	0	4	0	4	0	0	0	0			
+=	536352151	1,413	1,840	1,840	1,449	1,449	1,449	84	1,449	84	1,449	1,449	123	1,472			
1	OriginalAmount	0	0	0	1,431	1,431	1,431	0	1,431	0	1,431	1,431	0	0			
2	New Program - Increase PT Starting Wage	0	0	0	18	18	18	0	18	0	18	18	0	0			
*	Amount missing from detail	1,413	1,840	1,840	1,449	1,449	1,449	84	1,449	84	1,449	1,449	123	1,472			
+=	536352152	1,180	1,281	1,281	745	745	745	29	745	29	745	745	72	862			
1	OriginalAmount	0	0	0	743	743	743	0	743	0	743	743	0	0			
2	New Program - Increase PT Starting Wage	0	0	0	2	2	2	0	2	0	2	2	0	0			
*	Amount missing from detail	1,180	1,281	1,281	745	745	745	29	745	29	745	745	72	862			
+=	536352153	511	866	866	706	706	706	64	706	64	706	706	62	742			
1	OriginalAmount	0	0	0	696	696	696	0	696	0	696	696	0	0			
2	New Program - Increase PT Starting Wages	0	0	0	10	10	10	0	10	0	10	10	0	0			
*	Amount missing from detail	511	866	866	706	706	706	64	706	64	706	706	62	742			
=	536352154	2,345	6,330	6,330	3,689	3,689	3,689	367	3,689	367	3,689	3,689	294	3,529			
	536352159	680	839	839	655	655	655	444	655	444	655	655	655	655			
	536352351	0	0	0	0	0	0	0	0	0	0	0	0	0			
	536352905	39,287	48,896	48,896	48,488	48,488	48,488	3,895	48,488	3,895	48,488	48,000	48,000	48,000			
	CYESTSB352	0	84,220	84,220	74,679	74,679	74,679	0	74,679	0	74,679	74,679	50,808	74,495			
=	S352	63,934	63,934	63,934	63,934	63,934	63,934	5,995	63,934	5,995	63,934	63,934	50,808	74,495			
=	536353110	53,876	51,992	51,992	58,099	58,099	58,099	33,599	58,099	33,599	58,099	58,099	4,996	59,946			
=	536353111	96	102	102	491	491	491	115	491	115	491	491	42	503			
=	536353112	3,838	4,952	4,952	2,525	2,525	2,525	2,354	2,525	2,354	2,525	2,525	210	2,525			
=	536353151	4,385	4,323	4,323	4,675	4,675	4,675	2,720	4,675	2,720	4,675	4,675	401	4,817			
=	536353152	6,358	5,098	5,098	3,581	3,581	3,581	2,124	3,581	2,124	3,581	3,581	349	4,190			
=	536353153	1,100	2,092	2,092	2,274	2,274	2,274	1,406	2,274	1,406	2,274	2,274	203	2,431			
=	536353154	12,820	15,741	15,741	18,183	18,183	18,183	10,855	18,183	10,855	18,183	18,183	1,448	17,376			

ACCOUNT	Label	PACT 2010 Actuals 2010	ACTUAL 2011 Actuals 2011	G6Y201212 Original Budget 2012	AMEND 2012 Amended Budget 2012	ACTUAL 2012 Actuals 2012	EST 2012 Estimate 2012	DEPT2013 Non HR Budget	DEPTREQ13 Total Department Budget
+ 536353159	Retiree Medical Benefits	3,400	4,197	3,275	3,275	2,221	3,275	3,275	3,275
536353214	Consultant/Contractual Service	7,306	630	4,000	4,000	1,336	25,000	4,000	4,000
1	Haz Waste Collection	0	0	0	0	0	21,000	0	0
2	Shred It	0	0	400	0	0	400	400	400
3	Electronic Recycling	0	0	3,600	0	0	3,600	3,600	3,600
*	Amount missing from detail	7,306	630	0	4,000	1,336	0	0	0
+ 536353289	Tipping Fees	44,464	42,266	40,000	40,000	23,906	40,000	40,000	40,000
1	Tipping	0	0	20,000	0	0	20,000	20,000	20,000
2	Hauling / Trucking	0	0	20,000	0	0	20,000	20,000	20,000
*	Amount missing from detail	44,464	42,266	0	40,000	23,906	0	0	0
+ 536353350	Minor equipment/Tool Replacement	0	0	0	0	0	13,439	625	7,500
1	Recycling Carts	0	0	0	0	0	13,439	625	7,500
2	Other	0	0	0	0	0	0	0	0
*	Amount missing from detail	0	0	0	0	0	0	0	0
536353353	Safety Equipment	70	42	100	100	25	100	100	100
536353399	Miscellaneous	0	0	0	0	0	0	0	0
536353905	ISF Charge	90,839	91,608	91,181	91,181	63,094	95,000	95,000	95,000
CYESTSB353	Current Year Estimated Salaries & Benefits	0	0	0	0	0	92,305	0	0
= S353	Solid Waste - Recycling Collection Exp	228,551	223,043	228,384	228,385	143,754	269,119	150,649	241,663
536400000	Garbage Collection	0	0	0	0	0	0	0	0
= 536400110	Salaries	154,370	166,021	146,615	146,615	94,053	0	12,606	151,276
= 536400111	Part - time salaries	503	937	1,229	1,229	423	0	105	1,256
= 536400112	Overtime salaries	4,076	4,816	7,576	7,576	(110)	0	631	7,576
= 536400151	Social security	12,147	13,122	11,890	11,890	7,180	0	1,021	12,248
= 536400152	Wisconsin retirement	17,518	15,140	9,107	9,107	5,800	0	888	10,653
= 536400153	Worker's compensation	3,573	6,313	5,782	5,782	3,662	0	515	6,180
= 536400154	Health & life benefits	39,872	47,571	45,885	45,885	30,030	0	3,654	43,849
536400159	Retiree Medical Benefits	8,568	10,575	8,252	8,252	5,598	8,252	8,252	8,252
536400214	Consultant/Contractual Service	2,577	0	3,000	3,000	65	3,000	3,000	3,000
536400216	Legislative Services	1,205	166	400	400	166	400	400	400
536400230	Equipment rental	0	0	0	0	0	0	0	0
536400246	Contracted Vehicle Maintenance	0	0	0	0	0	0	0	0
536400289	Tipping Fees	261,618	262,323	250,000	250,000	160,779	265,000	265,000	265,000
536400300	Memberships	0	0	0	0	0	0	0	0
536400350	Minor equipment/Tool Replacement	0	0	0	0	0	0	625	7,500
1	Garbage Carts	0	0	0	0	0	0	625	7,500
*	Amount missing from detail	0	0	0	0	0	0	0	0
536400352	Uniform services & uniforms	2,280	525	500	500	920	1,200	500	500
536400353	Safety Equipment	520	289	100	250	496	500	250	250
536400357	Fuel	0	0	0	0	0	0	0	0

ACCOUNT	Label	PACT 2010		ACTUAL 2011		G6Y201212		AMEND 2012		ACTUAL 2012		EST 2012		DEPT2013		DEPTREQ13	
		Actuals	2010	Actuals	2011	Original	Budget 2012	Amended	Budget 2012	Actuals	2012	Estimate	2012	Non HR	Budget	Total Department	Requirement
536400399	Miscellaneous expense	0	123	500	350	0	350	0	0	0	350	350	350	350	350	350	
536400905	ISF Charge	206,046	207,255	209,574	209,574	209,574	209,574	137,397	137,397	210,000	210,000	210,000	210,000	210,000	210,000	210,000	
CYESTSB400	Current Year Estimated Salaries & Benefits	0	0	0	0	0	0	0	0	230,055	230,055	0	0	0	0	0	
= S400	Solid Waste - Garbage Collection Exp	714,870	735,176	700,409	700,410	700,410	700,410	446,458	446,458	718,757	718,757	507,797	507,797	507,797	507,797	728,291	
= SOPEXP	Solid Waste Total Operating Expense	1,399,161	1,460,185	1,420,192	1,420,193	1,420,193	1,420,193	764,526	764,526	1,467,365	1,467,365	948,751	948,751	948,751	948,751	1,497,407	
= SOPGAIN	Solid Waste Operating Gain (Loss)	30,674	21,795	38,768	38,767	38,767	38,767	189,701	189,701	(14,585)	(14,585)	452,793	452,793	452,793	452,793	(40,863)	
	Non Operating Revenue																
444190000	Interest Income - Late Payments	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
+ 481103000	Gain/Loss on Sale	0	0	0	0	0	0	0	0	21,500	21,500	0	0	0	0	0	
1	ATC Electric Line Easement	0	0	0	0	0	0	0	0	21,500	21,500	0	0	0	0	0	
*	Amount missing from detail	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
484190000	Interest on Investments	2,118	1,838	1,500	1,500	1,500	1,500	842	842	1,600	1,600	1,600	1,600	1,600	1,600	1,600	
484192000	Interest - Late Payments	17,813	18,362	18,000	18,000	18,000	18,000	7,562	7,562	18,000	18,000	18,000	18,000	18,000	18,000	18,000	
484195000	Amortization of Bond Premium	5,464	5,464	5,464	5,464	5,464	5,464	0	0	5,464	5,464	5,464	5,464	5,464	5,464	5,464	
485280000	Emergency Government Grant	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
485450000	Recycling Grant	71,094	45,964	46,000	46,000	46,000	46,000	46,009	46,009	46,009	46,009	46,000	46,000	46,000	46,000	46,000	
= TOTNOREV	Total Non Operating Revenue	96,489	71,627	70,964	70,964	70,964	70,964	54,413	54,413	92,573	92,573	71,064	71,064	71,064	71,064	71,064	
	Non Operating Expenses																
585210630	Issuance Expense	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
960427605	Amortization of Issuance Expense	3,138	3,138	3,138	3,138	3,138	3,138	0	0	3,138	3,138	3,138	3,138	3,138	3,138	3,138	
960427620	Interest on Long Term Notes	20,413	16,313	12,291	12,291	12,291	12,291	13,650	13,650	12,291	12,291	688	688	688	688	8,256	
= TOTNOEXP	Total Non Operating Expenses	23,552	19,452	15,429	15,429	15,429	15,429	13,650	13,650	15,429	15,429	3,826	3,826	3,826	3,826	11,394	
= GBCONT	Net Solid Waste	103,612	73,971	94,303	94,302	94,302	94,302	230,464	230,464	62,559	62,559	520,031	520,031	520,031	520,031	18,807	
	Salaries & Benefits Summary																
= RFTSALARY	Full Time Salaries	276,900	311,307	291,365	291,365	291,365	291,365	166,027	166,027	0	0	25,338	25,338	25,338	25,338	304,053	
= RPTSALARY	Part Time Salaries	23,654	22,960	36,200	36,201	36,201	36,201	14,129	14,129	0	0	3,042	3,042	3,042	3,042	36,500	
= ROTNSALARY	Over Time Salaries	21,677	19,661	25,278	25,278	25,278	25,278	8,097	8,097	0	0	2,107	2,107	2,107	2,107	25,278	
= SALARIES	Total Salaries	322,231	353,928	352,843	352,844	352,844	352,844	188,253	188,253	0	0	30,486	30,486	30,486	30,486	365,831	
= SOCIALSEC	Social Security	24,531	26,943	26,992	26,992	26,992	26,992	14,262	14,262	0	0	2,332	2,332	2,332	2,332	27,986	
= RETIREMENT	Retirement	32,995	29,248	19,319	19,319	19,319	19,319	10,968	10,968	0	0	1,899	1,899	1,899	1,899	22,793	
= WRKERSCP	Workers Compensation	6,564	12,252	12,449	12,449	12,449	12,449	6,867	6,867	0	0	1,103	1,103	1,103	1,103	13,230	
= HEALTH	Health & Life Benefits	71,289	94,211	88,745	88,746	88,746	88,746	55,057	55,057	0	0	7,186	7,186	7,186	7,186	86,235	
= RETIREE	Retiree Medical Benefits	16,266	20,076	15,666	15,666	15,666	15,666	10,627	10,627	15,666	15,666	13,246	13,246	13,246	13,246	15,666	
= BENEFITS	Total Benefits	151,625	182,730	163,171	163,172	163,172	163,172	97,782	97,782	15,666	15,666	25,766	25,766	25,766	25,766	165,911	



ACCOUNT	Label	PACT 2010	ACTUAL 2011	G6Y201212	AMEND 2012	ACTUAL 2012	EST2012	DEPT2013	DEPTREQ13
		Actuals 2010	Actuals 2011	Original Budget 2012	Amended Budget 2012	Actuals 2012	Estimate 2012	Non HR Budget	Total Department Request
= TCYESTSB	Total Current Year Estimated Salaries & Benefits	0	0	0	0	0	495,940	0	0
= TOTSLEBEN	Total Salaries & Benefits	473,855	402,664	516,014	516,016	286,035	511,606	56,252	531,742
=	Percent of Labor Dollars								
= PSS	Social Security	8	8	92	8	8	0	8	92
= PRETIREMENT	Retirement	10	8	66	5	6	0	6	75
= PWORKERCOMP	Workers Comp	2	3	42	4	4	0	4	43
= PHEALTH	Health & Life	22	27	302	25	29	0	24	283
= PWTOTAL	Sewer Total	42	46	502	42	46	0	41	493

			2013 Budget	Starting Salary	Increase %	Increase Period	New Salary	Increase% 2	Increase Period 2	New Salary 2	Bonus %	Bonus Amount
100-08-005	Ocacio, Santos		0.00	\$50,731	3.00%	1	\$52,253		0	\$52,253		0
100-08-021	Lynch, William		0.00	\$50,731	3.00%	1	\$52,253		0	\$52,253		0
100-14-006	Thomas, Glenn		0.00	\$50,731	3.00%	1	\$52,253		0	\$52,253		0
100-14-007	Heger, Robert		0.00	\$50,731	3.00%	1	\$52,253		0	\$52,253		0
110	Salary Account		0.00			0			0			0
100-08-005	Ocacio, Santos		0.00	\$50,731	3.00%	1	\$52,253		0	\$52,253		0
100-08-021	Lynch, William		0.00	\$50,731	3.00%	1	\$52,253		0	\$52,253		0
100-14-006	Thomas, Glenn		0.00	\$50,731	3.00%	1	\$52,253		0	\$52,253		0
100-14-007	Heger, Robert		0.00	\$50,731	3.00%	1	\$52,253		0	\$52,253		0
120	Snow Removal Wages		0.00			0			0			0
			0.00			0			0			0

# VILLAGE OF PLEASANT PRAIRIE

## New Programs

BUDGET YEAR: 2013

DEPARTMENT: Solid Waste

FUND NO. & NAME: 603 - Solid Waste

### NEW PROGRAMS OVERVIEW:

List all New Programs and amounts. For each New Program listed, a separate New Program detail sheet needed.

	NEW PROGRAM NAME	AMOUNT
1.	Haz. Waste Collection monthly Apr-Dec (In-House)-Opt1	\$27,500
2.	Train 10 Village staff to collect Haz. waste in-house-Opt1	\$6,500
3.	Haz. Waste Collection Contracted 3 times per year-Opt 2	\$36,000
4.	Rate Increase of \$0.50 to fund the Hazardous Waste Collection	(\$43,512)
5.		
6.		
7.		
8.		
9.		
10.		
11.		
12.		
13.		
14.		
15.		

TOTAL AMOUNT: \$26,488

# VILLAGE OF PLEASANT PRAIRIE

## New Programs

BUDGET YEAR: 2013

DEPARTMENT: Solid Waste

FUND NO. & NAME: 603 - Solid Waste

### NEW PROGRAMS REQUEST DETAIL:

Complete a detail sheet for each new program listed above. Note: Click to add "Additional New Program Request...".

NEW PROGRAM DETAIL NO.: 1

NEW PROGRAM NAME: Hazardous Waste Collection - in house

CAPITAL PURCHASE REQUIRED: Yes IF YES,

CAPITAL PROJECT NAME: Hazardous Waste Collection Building

CAPITAL PROJECT NO.: SW-13-03

APPROVED

REJECTED

ACCOUNT	DESCRIPTION	COST
603-536353-214	Contracted services	\$20,000
603-536353-214	Contracted services	\$7,500

**TOTAL COSTS:** \$27,500

### OVERVIEW INCLUDING EFFECT ON GOALS:

Construct hazardous waste collection site and perform residential hazardous waste collection in house on the first Saturday of the month, April - December, 7am to 2 pm. Material would be stored in new Hazardous Waste collection storage building. Village would contract quarterly for removal of hazardous material removal from new building. Village staff would need Hazwoper training.

# VILLAGE OF PLEASANT PRAIRIE

## New Programs

BUDGET YEAR: 2013

DEPARTMENT: Solid Waste

FUND NO. & NAME: 603 - Solid Waste

### NEW PROGRAMS REQUEST DETAIL:

Complete a detail sheet for each new program listed above. Note: Click to add "Additional New Program Request...".

NEW PROGRAM DETAIL NO.: 2

APPROVED

NEW PROGRAM NAME: Train Village Staff to collect Haz Waste

REJECTED

CAPITAL PURCHASE REQUIRED: Yes IF YES,

CAPITAL PROJECT NAME: Hazardous Waste Collection Building

CAPITAL PROJECT NO.: SW-13-03

ACCOUNT	DESCRIPTION	COST
603-536353-214	Contracted services	\$6,500

TOTAL COSTS: \$6,500

### OVERVIEW INCLUDING EFFECT ON GOALS:

Cost to provide 10 Village Employees with Hazwoper Training. This would allow Village staff to collect the Hazardous waste material monthly in house. The material would be stored in a new Hazardous Waste building and collected by a certified contractor three times per year.

# VILLAGE OF PLEASANT PRAIRIE

## New Programs

BUDGET YEAR: 2013

DEPARTMENT: Solid Waste

FUND NO. & NAME: 603 - Solid Waste

### NEW PROGRAMS REQUEST DETAIL:

Complete a detail sheet for each new program listed above. Note: Click to add "Additional New Program Request...".

NEW PROGRAM DETAIL NO.: 3

APPROVED

NEW PROGRAM NAME: Hazardous Waste Collection contracted 3 times p...

REJECTED

CAPITAL PURCHASE REQUIRED: No IF YES,

CAPITAL PROJECT NAME: \_\_\_\_\_

CAPITAL PROJECT NO.: \_\_\_\_\_

ACCOUNT	DESCRIPTION	COST
603-536353-214	Contracted services	\$20,000
603-536353-214	Contracted services	\$16,000

TOTAL COSTS: \$36,000

### OVERVIEW INCLUDING EFFECT ON GOALS:

The solid waste division is proposing to contract hazardous waste collection three times per year from 9 to noon. In years past Pleasant Prairie was part of a grant with Kenosha county. That grant was reduced by 50% in 2012 with funds allocated to the spring collection held in Kenosha County DPW. Veolia was awarded the state contract for hazardous waste collection. Pleasant Prairie would piggy back the state rates for 2013. Estimated \$12,000 per collection date. \$36,000 per year

# VILLAGE OF PLEASANT PRAIRIE

## New Programs

BUDGET YEAR: 2013

DEPARTMENT: Solid Waste

FUND NO. & NAME: 603 - Solid Waste

### NEW PROGRAMS REQUEST DETAIL:

Complete a detail sheet for each new program listed above. Note: Click to add "Additional New Program Request...".

NEW PROGRAM DETAIL NO.: 4

APPROVED

NEW PROGRAM NAME: Rate Increase of \$0.50 to fund the Hazardous Was...

REJECTED

CAPITAL PURCHASE REQUIRED: Yes IF YES,

CAPITAL PROJECT NAME: Hazardous Waste Collection Building

CAPITAL PROJECT NO.: SW-13-03

ACCOUNT	DESCRIPTION	COST
603-464611-000	Revenue	(\$43,512)

TOTAL COSTS: (\$43,512)

### OVERVIEW INCLUDING EFFECT ON GOALS:

In years past, Pleasant Prairie was part of a grant with Kenosha county. That grant was reduced by 50% in 2012 with all funds allocated to the spring collection held in Kenosha County DPW. All of the funds forward will be used to host the county wide collection day at Kenosha County Center. The cost estimate for Pleasant Prairie to fund from user fees is estimated at \$54,000 for 2013. This rate increase of \$0.50 will allow hazardous collection 9 times per year

Village of Pleasant Prairie, WI

*Capital Plan*

2013 thru 2017

**PROJECTS BY DEPARTMENT**

Department	Project#	Priority	2013	2014	2015	2016	2017	Total
<b>603 Solid Waste</b>								
Fire Protection Sanitation Garage	SW-13-01	1	54,000	44,000				98,000
Pave Compost Site	SW-13-02	2			70,000			70,000
Hazardous Waste Collection Building	SW-13-03	1	20,000					20,000
Concrete E-Recycling building	SW-13-04	1	10,000					10,000
Dumpsters for Cobblestone Creek	SW-13-05	1	12,000					12,000
<b>603 Solid Waste Total</b>			96,000	44,000	70,000			210,000
<b>GRAND TOTAL</b>			96,000	44,000	70,000			210,000

**Report criteria:**

- Type: E or I or Z
- Active Projects
- Department: 603 Solid Waste
- All Categories
- All Priority Levels
- All Source Types
- All Special Assessable data
- All Fund Number data



# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 603 Solid Waste

**Contact** John Steinbrink, Jr.

**Type** Improvement

**Useful Life** 25-30 years

**Category** Buildings

**Priority** 1 Urgent

**Status** Active

**Total Project Cost:** \$98,000

<b>Project #</b>	SW-13-01
<b>Project Name</b>	Fire Protection Sanitation Garage

Special Assessable

Fund Number

<b>Description</b>
Fire protection for garage housing sanitation trucks.

<b>Justification</b>
Fire protection required by fire department. Contracted costs to install system \$44,000. Internal costs to extend water line and electrical work \$54,000

Expenditures	2013	2014	2015	2016	2017	Total
Construction	54,000	44,000				98,000
<b>Total</b>	<b>54,000</b>	<b>44,000</b>				<b>98,000</b>

Funding Sources	2013	2014	2015	2016	2017	Total
Operating Funds	54,000	44,000				98,000
<b>Total</b>	<b>54,000</b>	<b>44,000</b>				<b>98,000</b>

<b>Budget Impact/Other</b>

**Capital Plan**

2013 *thru* 2017

**Village of Pleasant Prairie, WI**

**Department** 603 Solid Waste  
**Contact** John Steinbrink, Jr.  
**Type** Improvement  
**Useful Life** 15-20 years  
**Category** Land Improvements  
**Priority** 2 Very Important  
**Status** Active

<b>Project #</b>	<b>SW-13-02</b>
<b>Project Name</b>	<b>Pave Compost Site</b>

Special Assessable

Fund Number

**Total Project Cost: \$70,000**

<b>Description</b>
Pave Compost Site

<b>Justification</b>

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Construction			70,000			70,000
<b>Total</b>			70,000			70,000

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Operating Funds			70,000			70,000
<b>Total</b>			70,000			70,000

<b>Budget Impact/Other</b>

**Capital Plan**

2013 *thru* 2017

**Department** 603 Solid Waste

**Village of Pleasant Prairie, WI**

**Contact** John Steinbrink, Jr.

<b>Project #</b>	<b>SW-13-03</b>
<b>Project Name</b>	<b>Hazardous Waste Collection Building</b>

**Type** Improvement

**Useful Life** 15-20 years

**Category** Buildings

**Priority** 1 Urgent

**Status** Active

Special Assessable

**Fund Number**

**Total Project Cost: \$20,000**

<b>Description</b>
Purchase of a hazardous waste storage building.

<b>Justification</b>
Special building required to house hazardous waste material from household collections

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Construction	20,000					20,000
<b>Total</b>	<b>20,000</b>					<b>20,000</b>

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Operating Funds	20,000					20,000
<b>Total</b>	<b>20,000</b>					<b>20,000</b>

<b>Budget Impact/Other</b>

# Capital Plan

2013 *thru* 2017

## Village of Pleasant Prairie, WI

**Department** 603 Solid Waste

**Contact** John Steinbrink, Jr.

**Type** Improvement

**Useful Life** 20 years

**Category** Buildings

**Priority** 1 Urgent

**Status** Active

**Total Project Cost:** \$10,000

<b>Project #</b>	SW-13-04
<b>Project Name</b>	Concrete E-Recycling building

Special Assessable

Fund Number

<b>Description</b>
Construct concrete floor in E-Recycling building

<b>Justification</b>
New concrete floor is required in E-Recycling building. This building will house white goods, computers and electronics for the Village recycling program. This building was relocated by Village staff in 2012 from newly aquired property.

Expenditures	2013	2014	2015	2016	2017	Total
Construction	10,000					10,000
<b>Total</b>	<b>10,000</b>					<b>10,000</b>

Funding Sources	2013	2014	2015	2016	2017	Total
Operating Funds	10,000					10,000
<b>Total</b>	<b>10,000</b>					<b>10,000</b>

<b>Budget Impact/Other</b>

**Capital Plan**

2013 *thru* 2017

**Village of Pleasant Prairie, WI**

**Department** 603 Solid Waste  
**Contact** John Steinbrink, Jr.  
**Type** Equipment  
**Useful Life**  
**Category** Equipment - New  
**Priority** 1 Urgent  
**Status** Active

<b>Project #</b>	SW-13-05
<b>Project Name</b>	Dumpsters for Cobblestone Creek

Special Assessable  
 Fund Number

**Total Project Cost: \$12,000**

<b>Description</b>
8 dumpsters for Cobblestone Creek. 4 Solidwaste and 4 recycling

<b>Justification</b>
Dumpsters to hold Solidwaste and Recycling

<b>Expenditures</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Equip/Vehicles/Furnishings	12,000					12,000
<b>Total</b>	12,000					12,000

<b>Funding Sources</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>Total</b>
Operating Funds	12,000					12,000
<b>Total</b>	12,000					12,000

<b>Budget Impact/Other</b>

**RESOLUTION #12-39**

**RESOLUTION RELATING TO ADOPTION  
OF 2013 BUDGET AND PROPERTY TAX LEVY INCLUDING  
CAPITAL, DEBT SERVICE, AND OTHER  
FUNDS OF THE VILLAGE BUDGET**

WHEREAS, the Village Board of the Village of Pleasant Prairie, in order to promote the public health, welfare and safety of the residents of the Village of Pleasant Prairie; and,

WHEREAS, the proposed 2013 Budget including capital, debt service, and ancillary funds have been noticed publicly and have been available for review prior to a public hearing; and,

WHEREAS, the adoption of the General Fund Budget requires a property tax levy of \$9,191,482,

WHEREAS, to fund capital purchases in 2013, a transfer of surplus funds in 2012 from general fund operating of \$700,000 and from fleet internal service of \$115,000 to the general capital project fund is needed,

NOW, THEREFORE, BE IT RESOLVED that the Village Board of the Village of Pleasant Prairie hereby adopts the 2013 Budget and property tax levy including capital, debt service, and other ancillary fund budgets of the Village.

Passed and adopted this 19<sup>th</sup> day of November, 2012.

---

John P. Steinbrink, President  
Village of Pleasant Prairie

Attest:

---

Jane M. Romanowski, Village Clerk

**RESOLUTION #12-41**

**RESOLUTION RELATING TO ADOPTION OF THE  
2013 CLEAN WATER UTILITY BUDGET**

WHEREAS, the Village Board of the Village of Pleasant Prairie, in order to manage storm water, improve collections of, meet Federal mandates, and maintain our current storm water infrastructure in the Village of Pleasant Prairie; and,

WHEREAS, the proposed 2013 Budget including operating and capital plans and,

WHEREAS, the adoption of the Clean Water Utility Budget would not require an increase in fees,

NOW, THEREFORE, BE IT RESOLVED that the Village Board of the Village of Pleasant Prairie hereby adopts the 2013 Clean Water Utility Budget.

Passed and adopted this 19<sup>th</sup> day of November, 2012.

---

John P. Steinbrink, President  
Village of Pleasant Prairie

Attest:

---

Jane M. Romanowski, Village Clerk

**RESOLUTION #12-42**

**RESOLUTION RELATING TO ADOPTION OF THE  
2013 FLEET INTERNAL SERVICE FUND BUDGET**

WHEREAS, the Village Board of the Village of Pleasant Prairie, in order to provide fleet services to the public works, parks, engineering, water utility, sewer utility, sanitation utility, and clean water utility, and,

WHEREAS, starting in 2013, it will provide fleet services to general government administration, assessing, inspection, IT, and RecPlex,

WHEREAS, the proposed 2013 budget includes operating and capital plans and,

WHEREAS, the adoption of the Fleet Internal Service Fund budget would better manage the Village's fleet of vehicles and equipment and,

NOW, THEREFORE, BE IT RESOLVED that the Village Board of the Village of Pleasant Prairie hereby adopts the 2013 Fleet Internal Service Fund budget,.

Passed and adopted this 19<sup>th</sup> day of November, 2012.

---

John P. Steinbrink, President  
Village of Pleasant Prairie

Attest:

---

Jane M. Romanowski, Village Clerk



**RESOLUTION #12-43**

**RESOLUTION RELATING TO ADOPTION OF THE  
2013 SOLID WASTE UTILITY BUDGET**

WHEREAS, the Village Board of the Village of Pleasant Prairie, in order to provide garbage, recycling, leaf collection and compost site services to the residents of the Village of Pleasant Prairie; and,

WHEREAS, starting in 2013, the Village of Pleasant Prairie will provide hazardous waste collection on the 1<sup>st</sup> Saturday of the month from April through December,

WHEREAS, the proposed 2013 Budget includes operating and capital plans and,

WHEREAS, the adoption of the Solid Waste Utility Budget would require a \$.50 cent per month user fee increase to cover the cost of hazardous waste collection,

NOW, THEREFORE, BE IT RESOLVED that the Village Board of the Village of Pleasant Prairie hereby adopts the 2013 Solid Waste Utility Budget.

Passed and adopted this 19<sup>th</sup> day of November, 2012

---

John P. Steinbrink, President  
Village of Pleasant Prairie

Attest:

---

Jane M. Romanowski, Village Clerk

Consider the **Settlement Agreement between the Village of Pleasant Prairie and VIDHYA Corp, VIII, Inc.** for the BP Amoco located at 10477 120<sup>th</sup> Avenue related to the remedial activities and conditions to correct the illicit discharges at the property.

**Recommendation:** Village staff recommends approval of the Settlement Agreement as presented provided the Condition Use Permit (CUP) and the Zoning Text Amendment (PUD) are approved by the Village Plan Commission and Village Board, respectively. Said approved PUD and CUP shall be included as Exhibit D to the Settlement Agreement.

Consider a **Zoning Text Amendment (Ord. #12-40)** for the request of Attorney J. Michael McTernan agent for VIDHYA Corp, VIII, Inc. to amend the BP-Amoco Planned Unit Development Ord. No. 01-32 to reflect the proposed new site conditions and business operations of the BP Amoco gasoline station and AM/PM convenience store located at 10477 120<sup>th</sup> Avenue.

**Recommendation:** Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the Zoning Text Amendment (Ord. #12-40) as presented.

Consider approval of the **Digital Security Imaging System Agreement and associated Access Easement** for the BP Amoco gasoline station and AM/PM convenience store located at 10477 120<sup>th</sup> Avenue.

**Recommendation:** Village staff recommends approval of the Digital Security Imaging System Agreement and associated Access Easement subject to compliance with the Village Staff Report of November 19, 2012.

## VILLAGE STAFF REPORT OF NOVEMBER 19, 2012

Consider the **Settlement Agreement between the Village of Pleasant Prairie and VIDHYA Corp, VIII, Inc.** for the BP Amoco located at 10477 120<sup>th</sup> Avenue related to the remedial activities and conditions to correct the illicit discharges at the property.

Consider a **Zoning Text Amendment (Ord. #12-40)** for the request of Attorney J. Michael McTernan agent for VIDHYA Corp, VIII, Inc. to amend the BP-Amoco Planned Unit Development Ord. No. 01-32 to reflect the proposed new site conditions and business operations of the BP Amoco gasoline station and AM/PM convenience store located at 10477 120<sup>th</sup> Avenue.

Consider approval of the **Digital Security Imaging System Agreement and associated Access Easement** for the BP Amoco gasoline station and AM/PM convenience store located at 10477 120<sup>th</sup> Avenue.

*The petitioner is requesting the following approvals for the BP Amoco gasoline and AM/PM convenience store located at 10477 120<sup>th</sup> Avenue, known as Lot 14 of CSM 1489 located in a part of U.S. Public Land Survey Section 30, Township 1 North, Range 22 East in the Village of Pleasant Prairie and further identified as Tax Parcel Number 92-4-122-302-0130:*

- Consider the **Settlement Agreement between the Village of Pleasant Prairie and VIDHYA Corp, VIII, Inc.** for the BP Amoco located at 10477 120<sup>th</sup> Avenue related to the remedial activities and conditions to correct the illicit discharges at the property.
- **Zoning Map Amendment** to amend the BP-Amoco Planned Unit Development Ord. No. 01-32 to reflect the proposed new site conditions and business operations of the BP Amoco gasoline station and AM/PM convenience store located at 10477 120<sup>th</sup> Avenue.
- **Digital Security Imaging System Agreement and associated Access Easement** for the BP Amoco gasoline station and AM/PM convenience store located at 10477 120<sup>th</sup> Avenue.

VIDHYA Corp, VIII, Inc. ("Vidhya") is the current owner of a property located at 10477 120th Avenue, Pleasant Prairie Wisconsin (the "Property") with the following Tax Parcel number: 92-4-122-302-0130. The Property contains the BP Amoco gasoline station #3789 and AM/PM convenience store (the "Station").

In June 1993, August 1993, December 22, 1998, September 1999, May 2006 and February 2001, separate hazardous substance releases (the "Prior Releases") at the Property were reported to the Wisconsin Department of Natural Resources (the "WDNR"), for which the WDNR identified BP as the responsible party ("RP"). The WDNR closed the site with Geographic Information Service (GIS) Registry on December 20, 2006 (**Exhibit A of Exhibit 1** contains information regarding historical releases).

On April 26, 2011, the Village of Pleasant Prairie reported to the WDNR what it claimed was a hazardous substance release at the Property. The WDNR subsequently identified Vidhya as the RP. In addition, on or about June 9, 2009 WE Energies and the owner of an adjacent property reported a strong gassy smell and a possible spill in a ditch line area along the south side of STH 165, adjacent to the Property (Collectively, the Prior Releases, June 2009, April 2011 and any subsequent releases at the Property are referred to as the "Releases".)

The Station operates at the Property under Conditional Use Permit #01-11, approved by the Village Plan Commission on June 25, 2001 (the "C.U. Permit").

On February 22, 2012, the Village issued a compliance order (the "Order") to Vidhya to: eliminate the alleged illicit discharge at the Property; cease and desist the alleged discharges, practices, or operations; and/or, to abate or remediate the alleged stormwater pollution or contamination hazards and restore any affected property.

Vidhya is of the opinion that because the site is situated in clay, the pipeline and utility trenches with granular backfill serve as a collection system for the multiple petroleum releases which occurred during BP's ownership. Some tests results have contained high concentrations of contaminants, including diesel range organics (DRO) and benzene which may indicate a more recent discharge of petroleum products on the Property which could be contributing to the alleged illicit discharge at the Property.

From April, 2011 to November 5, 2012 several Remedial Activities have been conducted by Vidhya, see **Exhibit A of Exhibit 1**.

The Village has alleged that Vidhya has not met the Order's required actions, and has issued several citations (the "Citations") to Vidhya and is also alleging that Vidhya is noncompliant with the terms of the C.U. Permit due to "illicit discharges or petroleum releases into the drainage ditch adjacent to the Property that have occurred and continue to occur from the Property, which also drain onto the adjacent property impacting the water quality and resulting in potentially both soil and water contamination." The Citations include potential fines totaling \$84,500.00 (the "Fines"). The Village has also threatened to suspend or revoke the C.U. Permit and use of the Property as a gas station until or unless "there is compliance with the standards, regulations and condition imposed with said permit." Even though the Village alleges that Vidhya has not met the Order's required actions, the Village stopped issuing Citations as of July 22, 2012. A public hearing was held before the Village Plan Commission on August 20, 2012 and at that time evidence and testimony were submitted and the hearing was closed. The Village Plan Commission made no findings and did not act on the Petition of the Village to revoke or suspend the C.U. Permit and has since adjourned the meeting to November 19, 2012.

Vidhya disputes that it is responsible for the Releases at the Property or for the environmental condition of the Property. Nonetheless, Vidhya has spent approximately \$300,000 to date to address the Releases and has agreed to take additional actions to further address the Releases.

Illicit discharges at the Property which violate Village Ordinances continue and Vidhya has agreed to perform remedial activities for stopping said illicit discharges from the Property and Vidhya further agrees to comply with all Village Ordinances.

In return for Vidhya's agreement to complete and fulfill performance of certain Remedial Activities at the Property to further address the Releases, and to bring the Property into compliance with Village Ordinances, the Village has agreed to the terms of the Settlement Agreement and to allow the C.U. Permit, amended as provided below, to continue in effect.

In accordance with the **Settlement Agreement** (see **Exhibit 1**), Vidhya and/or Vidhya's consultants or contractors on Vidhya's behalf, shall complete the following Remedial Activities, in accordance with applicable law:

- a. By October 1, 2012, conduct interim Remedial Activities by installing a 21,000 gallon frac water holding tank (delivered September 17, 2012) for pump out and ground water level control of the UST tank field to eliminate from the north storm water ditch, discharges of petroleum impacted ground water (subject to reasonable permit issuance by the controlling governmental agencies). Pumping of the tank field started September 20, 2012;

- b. Prepare and submit to the Village a written plan for sampling, and analytical testing of the storm water discharge, to include at a minimum PVOC, lead, naphalene and PAH analysis during the initial startup phase, see **Exhibit B of Exhibit 1**. Depending on the results of testing, additional parameters may be added or subtracted from the sampling regimen, reasonably acceptable to the Village, by November 16, 2012. In addition, the Village or its contractors shall be entitled to perform similar sampling and analytical testing, at Vidhya's expense, for purposes of confirmation of testing results and compliance monitoring;
- c. Beginning on November 9, 2012 prepare a daily inspection log (to be delivered to the Village Engineer weekly) and complete daily inspections of the Property, to include the storm water discharge culvert and the road ditch and weekly checks of the tank sumps. By November 26, 2012, Vidhya agrees that the liquid level in the diesel tank sumps and gasoline tank sumps shall be maintained at a level of 8 feet or greater below the ground surface to the top of the water level in the sumps.;
- d. Work with the WDNR to prepare a Preliminary Site Investigation Plan based on the information and sampling results developed during implementation of the Remediation Plan which Site Investigation Plan will be completed and a copy delivered to the Village by November 16, 2012;
- e. By December 7, 2012 install ground water monitoring wells and soil probes pursuant to the Preliminary Site Investigation Plan;
- f. Prepare and submit to the Village a Preliminary Remediation Plan, reasonably acceptable to the Village, by November 16, 2012; said Remediation Plan to include testing and remediation in compliance with all local, state and federal laws, rules, regulations and ordinances, including without limitation, those contained in Chapter 292 of the Wisconsin Statutes;
- g. Contain any contaminated materials at the Property, including but not limited to maintaining and replacing, as necessary, surface water skimmer booms and/or additional materials to capture any sheen in the road ditch area;
- h. By December 19, 2012, install a system of blocking/recovery wells near the storm water outfall and near the sanitary lateral (also submit and obtain Village Erosion Control Permit) and install a carbon treatment system on the Property by January 18, 2013 to treat and control groundwater level in the tank field and construct a heated and insulated small structure that will prevent equipment from freezing. All parties acknowledge prior to construction of any recovery system Vidhya shall provide plans and elevations to the Village for Village review, and to obtain any necessary temporary or permanent amendments or changes to the C.U. Permit and the PUD Ordinance affecting the Property **Exhibit C of Exhibit 1** shows the location for the carbon treatment system for ground water treatment;
- i. Consult with the WDNR and obtain WDNR comments on the planned Remedial Activities;
- j. Replace northerly outfall manhole by December 7, 2012 and to properly dispose of any contaminated soils that may have to be excavated during said storm sewer repairs or any future repairs;
- k. Re-sod and restore the Property disturbed by implementation of Remedial Activities;
- l. Consent to the amendment of the C.U. Permit and the PUD Ordinance affecting the Property, to provide that any violation of the terms of this Settlement Agreement will be a violation of the terms of the C.U. Permit, to authorize the construction of the carbon ground water treatment system and structure;

- m. Comply with the performance standards and reporting requirements of the WDNR WPDES Permit and with WDNR regulatory requirements for the investigation and remediation of any onsite and offsite discharges or releases incorporated herein by reference; and
- n. Substantial completion and OPERATION of all Remedial Activities shall take place on or before April 1, 2013, and final completion of all Remedial Activities shall take place on or before May 1, 2013 ( the "Compliance Date").
- o. Vidhya agrees to pay all reasonable costs and expenses incurred by the Village arising out of, or relating to, the alleged illicit discharges at the Property or the enforcement of this Agreement, including without limitation, reasonable attorneys' fees, environmental consultant fees, fees for the Village Engineer and other Village staff, testing, sampling, and all similar costs. The Village estimates that its costs to September 27, 2012 are approximately \$39,099.40 as shown on **Exhibit E of Exhibit 1** attached hereto and incorporated herein by reference. Vidhya agrees to pay the amount of \$39,099.40 on or before December 31, 2012 and to pay any other invoices from the Village for such expenses within fourteen (14) days following the date they have been notified by the Village in accordance with Paragraph 17 of the Settlement agreement of amounts owed.
- p. The Village agrees not to issue any new Citations regarding anything covered in this Agreement, subject to the ability of the Village to issue new Citations if Vidhya violates any terms or provisions of this Agreement or Village ordinances after the date of this Agreement, and allow the Conditional Use Permit, as amended, to continue in effect. Nothing contained in this Agreement shall affect the rights of the parties regarding any Citations and Fines issued prior to the date of this Agreement. All such existing Citations and Fines shall be the subject of the pending legal action in the Village Municipal Court.
- q. Vidhya shall apply for and obtain all local, state and federal permits that are required for Vidhya to undertake the Remedial Activities, including but not limited to a Wisconsin DOT Work-in-the-Right-Of-Way Permit and a Village erosion control permit (collectively, the "Remedial Activities Permit(s)"). All parties acknowledge that the C.U. Permit and PUD Ordinance affecting the Property will need to be amended to allow the construction of the carbon ground water treatment system and structure.
- r. The Village agrees to reasonably support and facilitate the review and approval of Vidhya's applications for the Remedial Activities Permits.
- s. Except as specifically set forth in the Settlement Agreement, Vidhya agrees to indemnify and to hold harmless the Village and all of its elected officials, officers, directors, employees, agents, shareholders, attorneys, subsidiaries, successors and assigns from any and all claims, causes of action, loss, costs, expense, damage, injury, obligation, liability, penalty, fine, suit, including, without limitation, attorney and consultant fees and expenses, of whatever kind or nature, known or unknown, contingent or otherwise, arising out of or in any way related to or arising out of the Remedial Activities and where founded upon or growing out of the acts or omissions of Vidhya.
- t. Except as specifically provided in the Settlement Agreement, there are no representations, covenants, warranties, promises, agreements, conditions, or undertakings, oral or written, between the Village and Vidhya, as to the subject matter hereof. Except as specifically provided in the Settlement Agreement, all Village Ordinances apply to Vidhya and the Property.

If Vidhya does not complete any of its obligations under the Settlement Agreement by the due date (the "Delayed Completion"), Vidhya agrees to pay liquidated damages to the Village in accordance with **Exhibit F of Exhibit 1** and incorporated herein by reference (the "Liquidated Damages"), provided however, that Vidhya will not pay Liquidated Damages if the Delayed Completion is substantially caused by any of the following: (a) the Village; (b) a delay in Vidhya' s Remedial Activities which delay is beyond Vidhya' s reasonable control; or, (c) a Force Majeure Event. For purposes of the Settlement Agreement, a "Force Majeure Event" means an event or occurrence including without limitation, drought, flood, earthquake, storm, fire, lightning, epidemic, war, riot, civil disturbance, sabotage, explosion, strike, lockout or other labor dispute which is beyond the reasonable control of, and not due to the fault or negligence of, the party affected, and which could not have been avoided by due diligence and use of reasonable efforts. If Vidhya violates any provisions of the Settlement Agreement, the Village may also exercise all rights and remedies allowed pursuant to the Settlement Agreement and applicable law, including without limitation, issuing additional Citations, seeking the suspension or revocation of the C.U. Permit, seeking injunctive relief and collecting its actual damages from Vidhya. The use of any remedy shall not preclude the use of any other remedies.

**Background Information** related to the Conditional Use Permits and Planned Unit Development for the property: The property is zoned B-4, PUD Freeway Service Business District with a Planned Unit Development Overlay and a gasoline station requires a Conditional Use Permit in the B-4 District.

1. C.U. Permit #91-001 (**Exhibit 2**) approved by the Village on August 5, 1991 allowed for the construction and operation of a gasoline station/convenience store.
2. C. U. Permit #01-11 (**Exhibit 3**) approved by the Village on June 24, 2001 allowed the owner to re-develop the property and construct and operate a 4,200 square foot gasoline station/convenience store with 10 fuel dispensers. Diesel fuel is allowed to be sold at the new facility only to automobiles and light trucks. The gasoline station/convenience store was allowed to be open 24 hours and to provide the following customer services: a quick service restaurant and bakery, convenience store, self-service coffee bar and soda fountain and an e-commerce area for computerized assistance with weather and traffic information.
3. PUD Ord. #01-32 (**Exhibit 4**) approved by the Village on July 2, 2001 allowed for the new 4,200 square foot building to be constructed 13 feet from the rear property line; allowed the north parking lot/paved maneuvering areas adjacent to 104<sup>th</sup> Street to be setback minimum of 15 feet to the north property line, and allowed for the total Aggregate Permitted Background Commercial Sign area to be increased to 181 square feet. The flexibility provided in the PUD was allowed provided that the development comply with all other Federal, State and Village Ordinances; the development comply with the LakeView Corporate Park Declaration of Development Standards and Protective Covenants and Modifications; and the cross-access easement agreement between this property and the property to the east (Culver's Restaurant). See **Exhibit 5** for a copy of the Cross-Access Easement.
4. Conditional Use Permit #03-13 (C.U. Permit #03-13) approved by the Village on July 28, 2003 (**Exhibit 6**) allowed for a 203 square foot restroom addition to the facility.
5. On November 5, 2012 the Village Board conditionally approved a Class "A" fermented malt beverage license application to sell prepackaged malt beverages until November 20, 2012. The license provides that certain conditions must be satisfied, including but not limited to the Plan Commission approval of a Conditional Use Permit and Site and Operational Plans, no outstanding building, fire and zoning violations and a valid occupancy permit. The petitioner is currently operating under

a Class "A" fermented malt beverage license and a license for the sale of tobacco products.

6. In 2008, the Vidhya began operating BP Amoco gasoline and convenience store under the existing C. U. Permit #01-11 and C.U. Permit #03-13 and PUD Ord. #01-32.
7. Pursuant to the terms of the Settlement Agreement, Vidhya has submitted a request to amend the C.U. Permit and the PUD Ordinance. Pursuant to the application the applicant has made the following statements (See **Exhibit 7**):
  - a. BP Amoco Gas Station and Convenience Store located at 10477 120<sup>th</sup> Avenue is a self-service gasoline and diesel station, selling petroleum products to consumers of passenger vehicles and light trucks. It does not service or sell petroleum products to over-the-road trucks, cabs or other specialized commercial or construction vehicles. In addition, BP operates a convenience store under the brand name AM/PM that provides various grocery store and automobile supplies and accessories, along with a quick service restaurant, bakery, self-service coffee bar and soda fountain, and an e-commerce area for computerized assistance with weather and traffic information. The quick service restaurant provides seating for approximately 12 people and quick food selections of bakery items, sandwiches, soups and salads. The facility also provides separate men's and women's washrooms, and various other related convenience service amenities, including but not limited to, vacuum cleaners and compressed air for automobile maintenance, automated teller machine, along with the sale of alcohol and tobacco products as authorized by its license.
  - b. Due to several reported hazardous substance releases at the BP gas station dating back to 1993, the owner's consultants are developing and installing a carbon treatment system that will treat contaminated ground water. This system needs to be installed in an enclosed and heated facility. As a result, the southeast corner of the building is being expanded in order to house the filters and pumps that are necessary to operate the carbon treatment system. This system is detailed in a Settlement Agreement being entered into between the property owner and the Village, and the property owner will obtain all applicable permits before installing said system.
  - c. The expansion of the building will measure approximately 450 square feet (30 feet by 15 feet) and will simply "square" the building foot print. The same exterior building materials (brick and trim) will be used in order to match the expansion to the existing building.
  - d. The carbon treatment system will not create any disturbance to the surrounding property owners as it will be housed in an enclosed and insulated expansion of the building. It is anticipated that the system will operate off and on for several years, dependent on the rise of ground water due to changes in the weather.
  - e. This system will not require any additional staff to manage and operate, as it will be automated and will only occasionally require the replacement of carbon filters that will be disposed of using sealed drums provided and retrieved by qualified environmental disposal companies.
  - f. Moreover, the system will not alter existing operations of the gasoline station and convenience store, as those operations will continue as normal.



- g. BP is currently open for business between the hours of 6:00 a.m. through 11:00 p.m., seven (7) days a week, but has maintained expanded hours (up to 24 hours a day) during the Thanksgiving-Black Friday with a Village Temporary Use Permit. During this expanded time, additional staff is maintained in order to service the increase in customers.

Pursuant to the Village Zoning Ordinance, businesses in the B-4 District are allowed be open (when the public is allowed to enter or remain on site for business purposes), except for hotels, uses requiring a Village liquor license or restaurants or gasoline stations whose hours are established by conditional use permit: 5:00 a.m. to 12:00 midnight maximum; for hotels: no limit; for uses requiring a Village liquor license: as provided in § 125.68(4), Wis. Stats.; and for gasoline stations and restaurants: up to 24 hours pursuant to a conditional use permit.

Village staff recommends that the BP station hours of operation (when the public is allowed to enter or remain on site for business purposes) be limited to 5:00 a.m. to 12:00 a.m. daily. A Temporary Use Permit may be issued for 24-hour operations during any holiday period subject to approval of the Village Police Chief. In addition, a 24-hour holiday operation may require the owners to enter into an agreement and pay for the overtime services of the Police Department, a determined by the Police Chief. Pursuant to the zoning ordinance and liquor license requirements, the store is allowed to be open until midnight; however, Class A Beer is only allowed to be sold from 8:00 a.m. to midnight and Class A Intoxicated Liquor is only allowed to be sold from 8:00 a.m. to 9:00 p.m.

- h. Currently, deliveries and shipments occur during the time that BP is open to the public.

Staff recommends that the BP station delivery hours or any other activities outside the principal building that might cause a disturbance to neighboring areas (e.g., outside loading or unloading, the arrival of deliveries, idling of delivery trucks, beeping of backing vehicles, and garbage pickup), except for snow removal, to be allowed only from 6:00 a.m. to 10:00 p.m.

- i. Currently, there are seven (7) full time and three (3) part time employees, but additional seasonal help is retained during those peak holiday seasons. Currently, there are only two shifts of employees, but a third shift has been added when the hours are expanded during the Midnight Madness house Thanksgiving evening/Black Friday. There are currently 23 parking spaces on the site, but with the expansion of the building, two (2) parking spaces are being removed, leaving a total of 21 parking spaces (one handicapped access parking space, and 20 conventional parking spaces). The number of parking spaces excludes the cars that can be parked at the pumps.

Pursuant to the Village Zoning Ordinance the minimum parking requirements for a gasoline station with a convenience store is five (5) spaces per each 2,000 square feet of gross floor area plus 1 space for each employee on the largest shift plus the required handicapped accessible parking spaces pursuant to the state code. Therefore, a minimum of 13 spaces plus their required handicapped accessible parking spaces is required (5 spaces plus 3 spaces plus 5 spaces (assuming no more than five workers on site).

- j. It is anticipated that traffic volumes of 500 to 1,000 daily trips will continue, and there will be no truck trips other than deliveries of goods to the BP. The

main products being sold at the BP include, but are not limited to: gasoline and diesel fuels, related automobile supplies and parts, along with food and beverages, all of which are currently being sold at the BP, which will continue after the expansion. Aside from the installation of the carbon treatment system, all of the existing equipment will continue to be utilized in the operation of the BP (petroleum delivery systems, coolers, ovens, and related food preparation equipment).

- k. Aside from the disposal of the carbon filters, the BP only has normal household cleaners used in the maintenance of the business in order to clean the food preparation and service areas, floors and bathrooms. The only waste that is disposed of at the BP is spoiled food and drink products, grey water waste and sanitary waste from the bathrooms.
8. A new Conditional Use Permit including Site and Operational Plans that would allow BP Amoco to operate the gasoline station and AM/PM convenience store and to address the installation of a carbon treatment system that will treat existing contaminated ground water from several reported hazard substance releases at the site located at 10477 120<sup>th</sup> Avenue was conditionally approved by the Plan Commission on November 19, 2012. The attached conditional use permit (See **Exhibit 8**) shall be executed and recorded at the Kenosha County Register of Deeds Office.

The owners have installed and maintained a fully functioning and operational security camera system. However, the facility and site shall be equipped with fully functioning and operational security cameras both inside and outside the facility at each entrance and exit and a Digital Security Imaging System (DSIS) will be required to be installed in accordance with the requirements of Chapter 410 of the Village Municipal Code. The required DSIS Agreement (**Exhibit 9**) was drafted by the Village for review and approval of the Village Board. The location and number of security cameras shall be provided and approved by the Village Police Chief. At a minimum the DSIS Agreement requires the following:

- a. The security cameras shall be inaccessible to employees. Conspicuous signs shall be posted at the entrance stating that security cameras with an inaccessible recording device is in place on the premises. Said system shall be maintained in working order at all times and the Village of Pleasant Prairie Police Department shall be promptly provided any requested video. The recording shall be kept in an archive for a minimum of two weeks and the Pleasant Prairie Police Department shall have remote access to the system to monitor and download video. Specifically, internet access shall be provided which would allow the Police Department to have "live time" monitoring of the BP store and site.
- b. The parking lot shall be illuminated to provide sufficient lighting for the public's safety and for the security cameras to operate effectively per the Village's satisfaction.
- c. A clear and unobstructed view of the cash registers and transaction areas shall be maintained from the internal 30-foot wide on-site circulation access roadway.
- d. The building shall be equipped with and shall use an inaccessible drop safe.
- e. Between 10:00-12:00 p.m. and 5:00-7:00 a.m. at least two (2) employees shall be working on-site unless the business has taken measures to protect a lone clerk such as the installation of bullet resistant glass or other equipment as approved by the Police Department, making the lone employee inaccessible.

- f. Installation and full operation of a hold-up alarm, which is monitored by a UL listed central station with functioning telephone service, shall be used at the BP station building.
- g. The cash register shall not be left unattended for periods of time when the convenience store is open to the public.
- h. A height strip shall be located at each doorway entering and exiting the convenience store.
- i. The owners retain landscapers to regularly maintain, replace and upgrade the landscaping that surrounds the property, including the removal of all snow and ice from the parking lots, driveways and sidewalks. In addition, employees walk the property on a regular basis to pick up debris, empty garbage cans, restock self-service washer fluids and paper towels, and to monitor the entire property in order to maintain it in a first class condition.
- j. The owner maintains all permits and licenses required to operate its business. Those permits and licenses allow for the sale of petroleum, alcohol, tobacco, food, and related items sold in its business, issued from the various government agencies.

**RECOMMENDATIONS:**

**Settlement Agreement:** Village staff recommends approval of the Settlement Agreement as presented provide the Condition Use Permit (CUP)and the Zoning Text Amendment (PUD) are approved by the Village Plan Commission and Village Board, respectively. Said approved PUD and CUP shall be included as Exhibit D to the Settlement Agreement.

**Zoning Text Amendment (Ord. #12-40) to amend the BP-Amoco PUD Ordinance:** Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the Zoning Text Amendment as presented.

**Digital Security Imaging System Agreement and associated Access Easement:** Village staff recommends approval of the Digital Security Imaging System Agreement and associated Access Easement subject to the following conditions:

1. All required Exhibits shall be provided to the Village and the attached Agreement and Easement shall be finalized and executed by December 14, 2012.
2. The owner shall pay for all recording and filing fees to record the Easement at the Kenosha County Register of Deeds Office.

**ORD. # 12-40**

**ORDINANCE TO AMEND CHAPTER 420 ATTACHMENT 3 APPENDIX C  
SPECIFIC DEVELOPMENT PLANS 10  
OF THE VILLAGE ZONING ORDINANCE  
PURSUANT TO CHAPTER 420-137  
OF THE VILLAGE ZONING ORDINANCE  
FOR BP-AMOCO PLANNED UNIT DEVELOPMENT  
IN THE VILLAGE OF PLEASANT PRAIRIE,  
COUNTY OF KENOSHA, STATE OF WISCONSIN**

**THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, DO ORDAIN THAT CHAPTER 420 ATTACHMENT 3 APPENDIX C SPECIFIC DEVELOPMENT PLANS 10 FOR BP-AMOCO PLANNED UNIT DEVELOPMENT IS HEREBY AMENDED AS FOLLOWS:**

**10. BP-AMOCO PUD**

- a. It is the intent that the BP-Amoco development will provide for development and uses on the property as legally described below in conformity with the adopted Village Comprehensive Plan and the basic underlying zoning district; that the development will not be contrary to the general welfare and economic prosperity of the community; and that the structures, landscaping, parking areas, architectural design, lighting, general site development and signage for the facility shall be properly maintained and general site development will result in an attractive and harmonious commercial retail area, will operate as a uniform development and will not adversely affect the property values of the surrounding properties.
- b. Legal Description: The property included is known as Lot 14 of Certified Survey Map #1489, located in U.S. Public Land Survey Section 30, Township 1 North, Range 22 East in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin and is hereinafter referred to as the DEVELOPMENT.
- c. Requirements within the DEVELOPMENT:
  - (i) The DEVELOPMENT shall be in compliance with all Federal, State, County and Village ordinances and regulations except as expressly modified in Section d below. Additionally, all portions of the Village Zoning Ordinance not modified by this PUD shall apply to the DEVELOPMENT.
  - (ii) The DEVELOPMENT shall be in compliance with the LakeView Corporate Park Declaration of Development Standards and Protective Covenants and Modifications, as may be amended from time to time, as recorded at the Kenosha County Register of Deeds Office.
  - (iii) Compliance with the Reciprocal Access Easement (Recorded at the Kenosha County Register of Deeds Office on August 22, 2001 as Document #1232401). This easement allows for vehicular cross-access between the DEVELOPMENT site and the Culver's restaurant, located to the immediate east.
  - (iv) Compliance with the Settlement Agreement approved by the Village Board on November 19, 2012 on file with the Village.
  - (v) Compliance with the Conditional Use Grant Document #12-10 including Site and Operational Plans approved by the Village Plan

Commission on November 19, 2012 and recorded at the Kenosha County Register of Deeds Office.

- (vi) Compliance with the Digital Security Imaging System Agreement (DSIS) and recorded Access Easement as approved by the Village on November 19, 2012.
- (vii) Hours of operation (when the public is allowed to remain on-site ) shall be limited from 5:00 a.m. to 12:00 a.m. daily. A Temporary Use Permit may be issued for 24-hour operations during any holiday period. A Temporary Use Permit may be issued for 24-hour operations during any holiday period subject to approval of the Village Police Chief. In addition, a 24-hour holiday operation may require the owners to enter into an agreement and pay for the overtime services of the Police Department, a determined by the Police Chief. Pursuant to the zoning ordinance and liquor license requirements, the store is allowed to be open until midnight; however, Class A Beer is only allowed to be sold from 8:00 am to midnight and Class A Intoxicated Liquor is only allowed to be sold from 8:00 am to 9:00 p.m.
- (viii) Delivery hours or any other activities outside the principal building that might cause a disturbance to neighboring areas (e.g., outside loading or unloading, the arrival of deliveries, idling of delivery trucks, beeping of backing vehicles, and garbage pickup), except for snow removal, is allowed only from 6:00 a.m. to 10:00 p.m.
- (ix) The DEVELOPMENT, including but not limited to, the building, accessory structure pump, canopy and garbage enclosure, signs, landscaping, parking lots, exterior site lighting, etc., and the site as a whole, shall be maintained both inside and outside in a neat, presentable, clean aesthetically pleasing, structurally sound and non-hazardous condition. Maintenance shall be conducted on a regular basis both inside and outside of the buildings and site.
- (x) The inside of the building shall be clean, bath rooms shall be inspected and cleaned, floors shall be swept and walls shall be re-painted and repaired as necessary.
- (xi) Parking is only allowed in designated parking spaces within the DEVELOPMENT. No parking is allowed on STH 165, 120<sup>th</sup> Avenue or shared the private roadway south of the DEVELOPMENT. In addition, the parking lot areas shall be striped with reflected white or yellow paint and all handicapped accessible parking spaces shall be clearly marked. Any pot holes or other damages to the parking lot shall be promptly repaired.
- (xii) The building and site improvements within the DEVELOPMENT shall be made in accordance with the applicable Village Ordinance and Codes, that may be amended from time to time.
- (xiii) All buildings/structures and all exterior additions, remodeling or alterations to the any buildings/structures within the DEVELOPMENT shall be constructed of the same or complimentary exterior materials, colors and architectural style.
- (xiv) Plantings, mulch/stone shall be installed and maintained pursuant to the Village approved Landscape Plan on file with the Village.

- (xv) All exterior site building and landscaping maintenance shall be performed regularly by the owners or managers of the DEVELOPMENT. Specifically garbage/litter shall be picked up on a site on a daily basis, site lighting, signage, parking lot and pumps shall be in working order and provide receipts. If improvements are damaged or not working properly shall be promptly repaired.
- (xvi) No flags, pennants, streamers, inflatable signage, spot lights, walking signs, shall be affixed to any building, landscaping vehicle, roof-top, or the ground shall be allowed unless expressly permitted by the Zoning Ordinance.
- (xvii) The DEVELOPMENT shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and nonhazardous condition. All litter or garbage on and adjacent to the site shall be picked up on a daily basis by the petitioner.
- (xviii) The DEVELOPMENT shall comply with all applicable performance standards set forth in Section 420-38 of the Village Zoning Ordinance.
- (xix) No outdoor vending machines, propane tanks, oil drums, or newspaper stands shall be allowed on the site outside of the building.
- (xx) No outside storage of merchandise or donation drop boxes for clothing, furniture or other household products permitted shall be allowed anywhere on the site.
- (xxi) The DEVELOPMENT shall not be used for any outside parking (neither overnight nor during the day) of junked, inoperable, dismantled or unlicensed vehicles. All junked, inoperable, dismantled or unlicensed vehicles that are parked outside will be issued citations.
- (xxii) No vehicular parking shall be permitted in the cross access driveways, on-site driveways, maneuvering lanes, fire lanes or landscaped areas.
- (xxiii) No semi-trucks, semi-trailers, cabs, or construction-related equipment shall be parked during the day or overnight on the site.
- (xxiv) No used vehicles "for sale" or "for lease" shall be parked on the site.
- (xxv) No semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks shall be used for storage purposes on the site. Outdoor storage of any materials, including but not limited to: products, oil, wood, windshield wiper fluids, business supplies, pallets, crates, etc., is also prohibited.
- (xxvi) The garbage dumpster gates shall be kept closed at all times, except when garbage is being collected. In addition, all garbage and recycling materials shall be stored within the garbage dumpster enclosure.
- (xxvii) All signs within the DEVELOPMENT shall comply with Article X of Chapter 420 of the Village Municipal Code and this PUD Ordinance. In addition, all signs shall be in good working order, properly maintained, repaired as needed, painted and well-kept.
- (xxviii) Owner, manager and employees shall be informed of these regulations and perform daily site inspections and shall comply with the requirements of this Ordinance.

(xxix) Semi-annual zoning inspections will be conducted for the Development to verify compliance with this PUD.

d. Specific modifications to the Village of Pleasant Prairie Zoning Ordinance for the DEVELOPMENT:

- (i) Section 420-48 L related to setbacks for parking areas is amended to read as follows:
  - L. Setbacks for parking areas (which includes parking spaces, maneuvering lanes and fire lanes). Parking areas shall be set back a minimum of 15 feet (as measured from the north property line to the back-of-curb) from all adjoining street rights-of-way and a minimum of 20 feet (as measured from the north property line to the back-of-curb) from all adjoining private roadways and lot lines.
- (ii) Section 420-121 H (4) (c) related to building setbacks in the B-4, Freeway Service Business District is amended to read as follows:
  - (c) Setbacks:
    - [1] Street setback: minimum of 65 feet from arterial streets or highways and a minimum of 40 feet from nonarterial streets or private roads.
    - [2] Side setback (to east property line): 13 feet minimum.
- (iii) Section 420-78 K (1) related to the Aggregate Permitted Background Commercial Sign Area is amended to read as follows: :
  - (1) The maximum Aggregate Permitted Background Commercial Sign Area allowed within this DEVELOPMENT is 181 square feet,

e. Amendments

- (i) The PUD regulations for the DEVELOPMENT may be amended pursuant to Chapter 420-137 of the Zoning Ordinance.
- (ii) The Zoning Administrator has the discretion to approve minor changes, adjustments and additions to this PUD ordinance document without the need for Village Plan Commission and Village Board review and approval.

**Adopted this 19<sup>th</sup> day of November, 2012.**

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

\_\_\_\_\_  
John P. Steinbrink  
Village President

\_\_\_\_\_  
Jane M. Romanowski  
Village Clerk

Posted: \_\_\_\_\_

# Exhibit 1

## SETTLEMENT AGREEMENT

This SETTLEMENT AGREEMENT (the "Agreement") is made this \_\_\_\_ day of November, 2012, between the Village of Pleasant Prairie, Wisconsin (the "Village") and VIDHYA Corp VIII, Inc. ("Vidhya").

### RECITALS

A. Vidhya is the current owner of a property located at 10477 120th Avenue, Pleasant Prairie Wisconsin (the "Property") with the following Tax Parcel number: 92-4-122-302-0130. The Property contains BP Amoco gasoline station #3789 (the "Station").

B. In June 1993, August 1993, December 22, 1998, September 1999, May 2006 and February 2001, separate hazardous substance releases (the "Prior Releases") at the Property were reported to the Wisconsin Department of Natural Resources (the "WDNR"), for which the WDNR identified BP as the responsible party ("RP"). The WDNR closed the site with GIS Registry on December 20, 2006 (Exhibit A contains information regarding historical releases).

C. On April 26, 2011, the Village of Pleasant Prairie reported to the WDNR what it claimed was a hazardous substance release at the Property. The WDNR subsequently identified Vidhya as the RP. In addition, on or about June 9, 2009 WE Energies and the owner of an adjacent property reported a strong gassy smell and a possible spill in a ditch line area along the south side of STH 165, adjacent to the Property (Collectively, the Prior Releases, June 2009, April 2011 and any subsequent releases at the Property are referred to as the "Releases".)

D. The Station operates at the Property under Conditional Use Permit #01-11, approved by the Village Plan Commission on June 25, 2001 (the "C.U. Permit").

E. On February 22, 2012, the Village issued a compliance order (the "Order") to Vidhya to: eliminate the alleged illicit discharge at the Property; cease and desist the alleged discharges, practices, or operations; and/or, to abate or remediate the alleged stormwater pollution or contamination hazards and restore any affected property.

F. Vidhya is of the opinion that because the site is situated in clay, the pipelined utility trenches with granular backfill serve as a collection system for the multiple petroleum releases which occurred during BP's ownership. Some tests results have contained high concentrations of contaminants, including diesel range organics (DRO) and benzene which may indicate a more recent discharge of petroleum products on the Property which could be contributing to the alleged illicit discharge at the Property.

G. From April, 2011 to November 5, 2012, significant Remedial Activities have been conducted by Vidhya, see Exhibit A attached.

H. The Village has alleged that Vidhya has not met the Order's required actions, and has issued several citations (the "Citations") to Vidhya and is also alleging that Vidhya is noncompliant with the terms of the C.U. Permit due to "illicit discharges or



petroleum releases into the drainage ditch adjacent to the Property that have occurred and continue to occur from the Property, which also drain onto the adjacent property impacting the water quality and resulting in potentially both soil and water contamination." The Citations include potential fines totaling \$84,500.00 (the "Fines"). The Village has also threatened to suspend or revoke the C.U. Permit and use of the Property as a gas station until or unless "there is compliance with the standards, regulations and condition imposed with said permit." Even though the Village alleges that Vidhya has not met the Order's required actions, the Village stopped issuing Citations as of July 22, 2012. A public hearing was held before the Village Plan Commission on August 20, 2012 and at that time evidence and testimony were submitted and the hearing was closed. The Village Plan Commission made no findings and did not act on the Petition of the Village to revoke or suspend the C.U. Permit and has since adjourned the meeting to November 19, 2012.

I. Vidhya disputes that it is responsible for the Releases at the Property or for the environmental condition of the Property. Nonetheless, Vidhya has spent approximately \$300,000 to date to address the Releases and has agreed to take additional actions to further address the Releases.

J. Illicit discharges at the Property which violate Village Ordinances continue and Vidhya has agreed to perform remedial activities for stopping said illicit discharges from the Property and Vidhya further agrees to comply with all Village Ordinances.

K. In return for Vidhya's agreement to complete and fulfill performance of certain Remedial Activities at the Property to further address the Releases, and to bring the Property into compliance with Village Ordinances, the Village has agreed to the terms of this Agreement and to allow the C.U. Permit, amended as provided below, to continue in effect.

NOW, THEREFORE, in consideration of the mutual covenants and conditions below, the receipt and sufficiency of which is hereby acknowledged, the Village and Vidhya hereby agree as follows:

#### AGREEMENT

1. The Parties agree that this Agreement is the compromise of a dispute and without admission of fault or liability the Parties agree to a resolution contained herein in the interest advancing their mutual and individual interests.

2. Vidhya and/or Vidhya's consultants or contractors on Vidhya's behalf, shall complete the following Remedial Activities, in accordance with applicable law:

- a. By October 1, 2012, conduct interim Remedial Activities by installing a 21,000 gallon frac water holding tank (delivered September 17, 2012) for pump out and ground water level control of the UST tank field to eliminate from the north storm water ditch, discharges of petroleum impacted ground water (subject to reasonable permit issuance by the controlling governmental agencies). Pumping of the tank field started September 20, 2012;

- b. Prepare and submit to the Village a written plan for sampling, and analytical testing of the storm water discharge, to include at a minimum PVOOC, lead, naphalene and PAH analysis during the initial startup phase, see Exhibit B attached. Depending on the results of testing, additional parameters may be added or subtracted from the sampling regimen, reasonably acceptable to the Village, by November 16, 2012. In addition, the Village or its contractors shall be entitled to perform similar sampling and analytical testing, at Vidhya's expense, for purposes of confirmation of testing results and compliance monitoring;
- c. Beginning on November 9, 2012, prepare a daily inspection log (to be delivered to the Village Engineer weekly) and complete daily inspections of the Property, to include the storm water discharge culvert and the road ditch and weekly checks of the tank sumps. By November 26, 2012 Vidhya agrees that the liquid level in the diesel tank sump and gasoline tank sump shall be maintained at a level of 8 feet or greater below the ground surface to the top of the water level in the sump;
- d. Work with the WDNR to prepare a preliminary Site Investigation Plan based on the information and sampling results developed during implementation of the remediation plan which Site Investigation Plan will be completed and a copy delivered to the Village by November 16, 2012;
- e. By December 7, 2012 commence installation of the ground water monitoring wells and soil probes pursuant to the Preliminary Site Investigation Plan. The work shall be complete by December 14, 2012;
- f. Prepare and submit to the Village a preliminary remediation plan, reasonably acceptable to the Village, by November 16, 2012; said remediation plan to include without limitation, testing and remediation in compliance with all local, state and federal laws, rules, regulations and ordinances, including without limitation, those contained in Chapter 292 of the Wisconsin Statutes;
- g. Contain any contaminated materials at the Property, including but not limited to maintaining and replacing, as necessary, surface water skimmer booms and/or additional materials to capture any sheen in the road ditch area;
- h. By December 19, 2012, install a system of blocking/recovery wells near the storm water outfall and near the sanitary lateral (also submit and obtain Village Erosion Control Permit) and install a carbon treatment system on the Property by January 18, 2013 to treat and control groundwater level in the tank field and construct a heated and insulated small structure that will prevent equipment from freezing.

All parties acknowledge prior to construction of any recovery system Vidhya shall provide plans and elevations to the Village for Village review, and to obtain any necessary temporary or permanent amendments or changes to the C.U. Permit and the PUD Ordinance affecting the Property. Attached hereto as Exhibit C and incorporated herein by reference are the proposed locations for the carbon treatment system for ground water treatment;

- i. Consult with the WDNR and obtain WDNR comments on the planned Remedial Activities;
  - j. Vidhya agrees to replace northerly outfall manhole by December 7 , 2012 and to properly dispose of any contaminated soils that may have to be excavated during said storm sewer repairs or any future repairs;
  - k. Re-sod and restore the Property disturbed by implementation of Remedial Activities;
  - l. Consent to the amendment of the C.U. Permit and the PUD Ordinance affecting the Property, to provide that any violation of the terms of this Settlement Agreement will be a violation of the terms of the C.U. Permit, to authorize the construction of the carbon ground water treatment system and structure described in Paragraph 2.h above, and to provide for the additional requirements listed on Exhibit D attached hereto and incorporated herein by reference as conditions of the C.U. Permit;
  - m. Comply with the performance standards and reporting requirements of the WDNR WPDES Permit and with WDNR regulatory requirements for the investigation and remediation of any onsite and offsite discharges or releases incorporated herein by reference; and
  - n. Substantial completion and operation of all Remedial Activities shall take place on or before April 1, 2013, and final completion of all Remedial Activities shall take place on or before May 1, 2013 ( the "Compliance Date").
3. Vidhya agrees to pay all reasonable costs and expenses incurred by the Village arising out of, or relating to, the alleged illicit discharges at the Property or the enforcement of this Agreement, including without limitation, reasonable attorneys' fees, environmental consultant fees, fees for the Village Engineer and other Village staff, testing, sampling, and all similar costs. The Village estimates that its costs to September 27, 2012 are approximately \$39,099.40 as shown on Exhibit E attached hereto and incorporated herein by reference. Vidhya agrees to pay the amount of \$39,099.40 on before December 31, 2012 and to pay any other invoices from the Village for such expenses within fourteen (14) days following the date they have been notified by the Village in accordance with Paragraph 17 below of the amounts owed.

4. The Village agrees not to issue any new Citations regarding anything covered in this Agreement, subject to the ability of the Village to issue new Citations if Vidhya violates any terms or provisions of this Agreement or Village ordinances after the date of this Agreement, and allow the Conditional Use Permit, as amended, to continue in effect. Nothing contained in this Agreement shall affect the rights of the parties regarding any Citations and Fines issued prior to the date of this Agreement. All such existing Citations and Fines shall be the subject of the pending legal action in the Village Municipal Court.

5. Vidhya shall apply for and obtain all local, state and federal permits that are required for Vidhya to undertake the Remedial Activities, including but not limited to a Wisconsin DOT Work-In-The-Right-Of-Way Permit and a Village erosion control permit (collectively, the "Remedial Activities Permit(s)"). All parties acknowledge that the C.U. Permit and PUD Ordinance affecting the Property will need to be amended as described in Paragraph 2.1. above and to allow the construction of the carbon ground water treatment system and structure as described in Paragraph 2h. above.

6 The Village agrees to reasonably support and facilitate the review and approval of Vidhya's applications for the Remedial Activities Permits.

7. Except as specifically set forth herein, Vidhya hereby agrees to indemnify and to hold harmless the Village and all of its elected officials, officers, directors, employees, agents, shareholders, attorneys, subsidiaries, successors and assigns from any and all claims, causes of action, loss, costs, expense, damage, injury, obligation, liability, penalty, fine, suit, including, without limitation, attorney and consultant fees and expenses, of whatever kind or nature, known or unknown, contingent or otherwise, arising out of or in any way related to or arising out of the Remedial Activities and where founded upon or growing out of the acts or omissions of Vidhya.

8. Except as specifically provided in this Agreement, there are no representations, covenants, warranties, promises, agreements, conditions, or undertakings, oral or written, between the Village and Vidhya, as to the subject matter hereof. Except as specifically provided in this Agreement, all Village Ordinances apply to Vidhya and the Property.

9. If any provision of this Agreement conflicts with applicable Village, state, or federal laws, ordinances, rules or regulations, such conflict shall not affect the other provisions of this Agreement which can be given effect without the conflicting provision, and, to this end, the provisions of this Agreement shall be severable, and the invalidity or partial invalidity or unenforceability of any one (1) provision or portion hereof shall not affect the validity or enforceability of the remaining portions of said provision or any other provisions of this Agreement.

10. This Agreement shall be binding upon and inure to the benefit of the parties and their respective successors and assigns, and shall be considered to "run with the land" and bind subsequent owners/occupants of and at the Property, provided, however, that Vidhya may not assign any of its obligations under this Agreement without the express written consent of the Village.

11. This Agreement shall be construed under the laws of the State of Wisconsin. The Village shall be entitled to collect from Vidhya its reasonable attorneys' fees and costs in collecting any amounts owed by Vidhya to Village.

12. Time is deemed to be of the essence with regard to all dates and time periods set forth herein or incorporated herein.

13. If Vidhya does not complete any of its obligations under this Agreement by the due date (the "Delayed Completion"), Vidhya agrees to pay liquidated damages to the Village in accordance with Exhibit F attached hereto and incorporated herein by reference (the "Liquidated Damages"), provided however, that Vidhya will not pay Liquidated Damages if the Delayed Completion is substantially caused by any of the following: (a) the Village; (b) a delay in Vidhya's Remedial Activities which delay is beyond Vidhya's reasonable control; or, (c) a Force Majeure Event. For purposes of this Agreement, a "Force Majeure Event" means an event or occurrence including without limitation, drought, flood, earthquake, storm, fire, lightning, epidemic, war, riot, civil disturbance, sabotage, explosion, strike, lockout or other labor dispute which is beyond the reasonable control of, and not due to the fault or negligence of, the party affected, and which could not have been avoided by due diligence and use of reasonable efforts. If Vidhya violates any provisions of this Agreement, the Village may also exercise all rights and remedies allowed under this Agreement and applicable law, including without limitation, issuing additional Citations, seeking the suspension or revocation of the C.U. Permit and seeking injunctive relief and collecting its actual damages from Vidhya. The use of any remedy shall not preclude the use of any other remedies.

14. This Agreement, and all other documents or instruments that may be required by this Agreement, may be executed in several counterparts, each of which shall be deemed an original, but all of which shall constitute the same instrument. This Agreement may contain more than one (1) counterpart of the signature page, and may be executed by the affixing of the signatures of each of the signers to one (1) of such counterpart signature pages; all of such counterpart signature pages shall be read as though one (1), and shall have the same force and effect as though all of the signers had signed a single signature page.

15. Access and Purposes. Vidhya hereby permits the Village, its employees, duly authorized representatives, agents and subcontractors, to enter upon and have rights of ingress and egress over and access at reasonable times to the Property for the purpose of observing the conduct of the Remedial Activities and to take water, soil and other samples for testing.

16. Term. The term of this Agreement will commence upon execution of this Agreement and continue until Vidhya has completed its obligations under this Agreement. Paragraphs 3, 4, 5 and 7 will survive expiration or termination of this Agreement.

17. Notice. Any request, demand or other notice required or permitted to be given under this Agreement shall be in writing and may be, and shall be deemed, given and sent, if mailed, two days after the date when deposited in the United States mail, certified

mail, return receipt requested, postage prepaid, or by overnight courier service, telecopy, telegraph or telex when delivered to the appropriate office for transmission, charges prepaid, or by telecopy when received, addressed:

If to Vidhya: Dixit Patel  
VIDHYA Corp VIII, Inc.  
1491 W. Roosevelt Road  
West Chicago, IL 60185  
Telephone: 630-202-6724  
Fax:  
E-mail: ddwc1@sbcglobal.net

With a copy to: J. Michael McTernan  
Alia, DuMez, Dunn & McTernan, S.C.  
6633 Green Bay Road  
Kenosha, Wisconsin 53142  
Telephone: 262-654-8700  
Fax: 262-654-8600  
E-mail: jmm@addmlaw.com

Donald P. Gallo, Esq.  
Reinhart Boerner Van Deuren s.c.  
N16 W23250 Stone Ridge Drive, Ste. 1  
P.O. Box 2265  
Waukesha, WI 53187-2265  
Telephone: 262-951-4555  
Fax: 262-951-4690  
E-mail: dgallo@reinhartlaw.com

If to the Village: Michael R. Spence, P.E., LEED AP  
Village Engineer/Building Inspection  
Village of Pleasant Prairie  
9915-39th Avenue  
Pleasant Prairie, WI 53158  
Telephone: 262-948-8951  
Fax: 262-925-6786  
E-mail: [mspence@plprairiewi.com](mailto:mspence@plprairiewi.com)

Michael Pollocoff  
Village Administrator  
9915-39th Avenue  
Pleasant Prairie, WI 53158  
Telephone: 262-948-8951  
Fax: 262-925-6786  
Email: [mpollocoff@plprairiewi.com](mailto:mpollocoff@plprairiewi.com)

With a copy to: Timothy J. Geraghty, Esq.  
Village Attorney  
Godin Geraghty Puntillo Camilli, S.C.  
6301 Green Bay Road  
Kenosha, WI 53142  
Telephone: 262-657-3500  
Fax: 262-657-1690  
E-mail: tgeraghty@wi.rr.com

All parties shall acknowledge in writing the receipt of any notice delivered in person.

IN WITNESS WHEREOF, the parties have executed this Agreement on the date first written above.

VIDHYA Corp VIII, Inc.  
PRAIRIE

By: \_\_\_\_\_

THE VILLAGE OF PLEASANT

By: \_\_\_\_\_  
\_\_\_\_\_, Village President

Attest: \_\_\_\_\_  
\_\_\_\_\_, Village Clerk

APPROVAL OF \_\_\_\_\_

This Agreement was approved by the  
\_\_\_\_\_ of the Village of Pleasant  
Prairie by Resolution dated the  
\_\_\_\_\_ day of \_\_\_\_\_, 2012.

## EXHIBIT A

### Chronology of Immediate and Interim Remedial Activities Conducted by VIDHYA Corp VIII, Inc. November 6, 2012

- 4/26/11 - Fire chief reports petroleum observed in storm sewer catch basin on north side of property. Frank Bennett, Retail Petroleum Inspector, requires tightness testing of dispenser sumps, repair of leaking union under diesel dispense and pumping of one inch layer of diesel product from diesel sump. Two booms to absorb petroleum were installed.
- 6/1/11 - Tanknology conducted tank testing identified gas and diesel releases but they were contained in annular space and did not escape double wall system and did not impact the environment.
- 6/9/11 - Moraine and Interstate Pump and Tank met on site to identify issues and solutions. Moraine sampled soil and surface water in north drainage ditch area and identified diesel constituents as being six (6) times more prevalent than those of gasoline.
- 7/8/11 - Moraine conducted further sampling and recommended inspecting the interior lining of the catch basins and storm sewers. They also recommended excavation of contaminated soils in the north drainage ditch area. Moraine concluded that the impacts are the result of on-going incidental spillage from daily fueling that run off into the two down gradient catch basins which then travels through the discharge pipe or surrounding backfill into the north drainage ditch.
- 11/17/11 - Quality Environmental Solutions (QES) and representatives from Anderson Pump and Graham Enterprise (fuel supplier) attended a meeting with the Village. QES disagrees with Moraine's conclusions that the source of the impacts in the north ditch are from surface runoff from fueling operations but rather from weathered petroleum products from overspills in the 1990's into the tank field via the piping utility trenches' granular fill. High precipitation resulting in higher groundwater table has mobilized the weathered petroleum via the utility trench backfill. QES recommended removal and disposal of all impacted materials in the drainage ditch area, installation of engineered controls to prevent migration to off-site properties and installation of new booms and an oil/water separator.
- 3/27/12 - Petroleum products were pumped from tank field backfill and containment pans near the pump islands.
- 5/12 - Unipump removed flexible piping and replaced it with fiberglass piping and continue to pump from tank field, backfill, containment pans and dispensers. A second set of booms were installed. QES conducted second soil sampling along the pipe lines. Excess soils from pipe replacement were disposed of at a landfill.
- 6/12 - Three (3) on-site inspections were conducted and no observations of a sheen in the north drainage ditch.



- 7/5-12/12 - Impacted soils (124 tons) were removed from north drainage ditch area and disposed. QES then collected soil samples indicating some residual contamination in the excavation area. QES concluded from soil sampling in piping area that the release is historic. Sod was placed over the excavation area.
- 8/7/12 - Midwest Engineering Services (MES) sampled ditch surface water.
- 8/13/12 - MES was retained to conduct remedial actions to prevent further migration of residual petroleum contamination offsite.
- 8/20/12 - MES provided a draft Remedial Activities and Schedule.
- 8/28/12 - Future Environmental cleaned the onsite stormwater system and removed accumulated sludge. DeBelak Plumbing used sewer camera scope to evaluate the integrity of the existing stormwater sewer system. The northwestern catch basin was the only defective section of the system.
- 9/14/12 - VIDYHA attended a meeting with Village, consultants, and legal representation.
- 9/17/12 - Northshore Environmental positioned a 21,000-gallon "frac" tank onsite.
- 9/20/12 – The proposed groundwater treatment system was ordered from Carbonair.
- 9/26/12 – Northshore Environmental pumped petroleum-impacted water from gas basin into “frac” tank.
- 10/1/12 – Northshore Environmental pumped petroleum-impacted water from diesel basin into “frac” tank. A total of 19,000 gallons of petroleum-impacted water has been pumped into “frac tank.
- 9/26/12 - MES submitted the WPDES General Permit application for discharge of contaminated groundwater from remedial action operations to WDNR.
- 10/9/12 – MES collected a water sample from gas basin and submitted to laboratory for analytical testing for VOCs and PAHs per WDNR request.
- 10/19/12 – MES collected water sample from diesel basin and submitted to laboratory for analytical testing for VOCs and PAHs.
- 11/2/12 - WDNR approved the WPDES Permit.
- 11/5/12 - MES prepared a Preliminary Site Investigation Workplan, a revised Remedial Activities plan, and a treatment system sampling analysis plan for submittal and approval from WDNR.

## **Exhibit B-Sampling & Analytical Testing Plan**

### **System Start-up (Assume 3 days):**

Owner to sample influent and effluent for VOCs, naphthalene, GRO, DRO, PAHs and lead once daily during the first three days of system operation.

Village may collect duplicate samples (at Owner's expense) for analysis of VOCs and/or PVOCs, naphthalene, GRO, DRO, PAHs and lead up to once daily during the first three days of system operation.

Owner shall provide Village with electronic copies of laboratory analytical results upon receipt (or laboratory may provide analytical results directly to Village Engineer via electronic delivery. No treated water will be permitted to be discharged until such time that the analytical results are determined below acceptable discharge levels (i.e. no detects above either NR 140 PAL standards, Safe Drinking Water Act limits or WPDES permit level limits).

### **Weekly Sampling (Duration – 12 Weeks following system start-up):**

If no VOCs, naphthalene, GRO, DRO, PAHs or lead are detected during the system start-up testing within the influent and effluent samples following the completion of the initial six weeks of testing, subsequent weekly testing during weeks 7 through 12 of influent and effluent samples to be obtained by Owner can, at the Village's discretion, be reduced to include analysis of only PVOCs and any other detected analytes within the influent samples and PVOCs and any other detected analytes within the effluent samples.

Village may, at Owner's expense, collect influent and/or effluent samples for analysis of VOCs and/or PVOCs, naphthalene, GRO, DRO, PAHs and lead up to once per week during the 12 week "weekly sampling" period unless effluent analytical results indicate an exceedance of either NR 140 PAL standards, SDWA limits or WPDES permit limits. In the event that any of the Village's weekly compliance sample results exceed such limits, additional testing (including up to daily testing) may be immediately initiated until such time that the effluent meets discharge standards.

### **Monthly Sampling (Duration – Minimum Two Years)**

If no VOC, PVOc, naphthalene, PAH or lead impacts are identified within the effluent samples collected during the 12 week "weekly sampling" period, monthly influent and effluent sampling for PVOCs shall be conducted by the Owner.

Village may, at Owner's expense, collect influent and/or effluent samples for analysis of VOCs and/or PVOCs, naphthalene, GRO, DRO, PAHs and lead up to once per month. In the event that any of the Village's monthly compliance sample results exceed such limits, additional testing (including up to daily testing) may be immediately initiated until such time that the effluent meets discharge standards.

### **Quarterly Sampling (Duration – Years two through ten+)**

Following at least two years of monthly influent and effluent sampling, a change to quarterly sampling may be approved by the Village at its sole discretion if all of the preceding monthly

testing results showed no detectable levels of contamination above the laboratory's method detection limits which will be presumed to be below the NR 140 PAL standards at that time.

Village may, at Owner's expense, collect influent and/or effluent samples for analysis of VOCs and/or PVOCs, naphthalene, GRO, DRO, PAHS and lead up to once per month during the quarterly sampling. In the event that any of the Village's compliance sample results exceed applicable limits, additional testing (including up to daily testing) may be immediately initiated until such time that the effluent meets discharge standards.

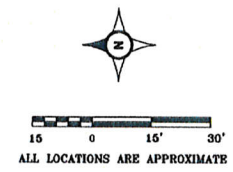
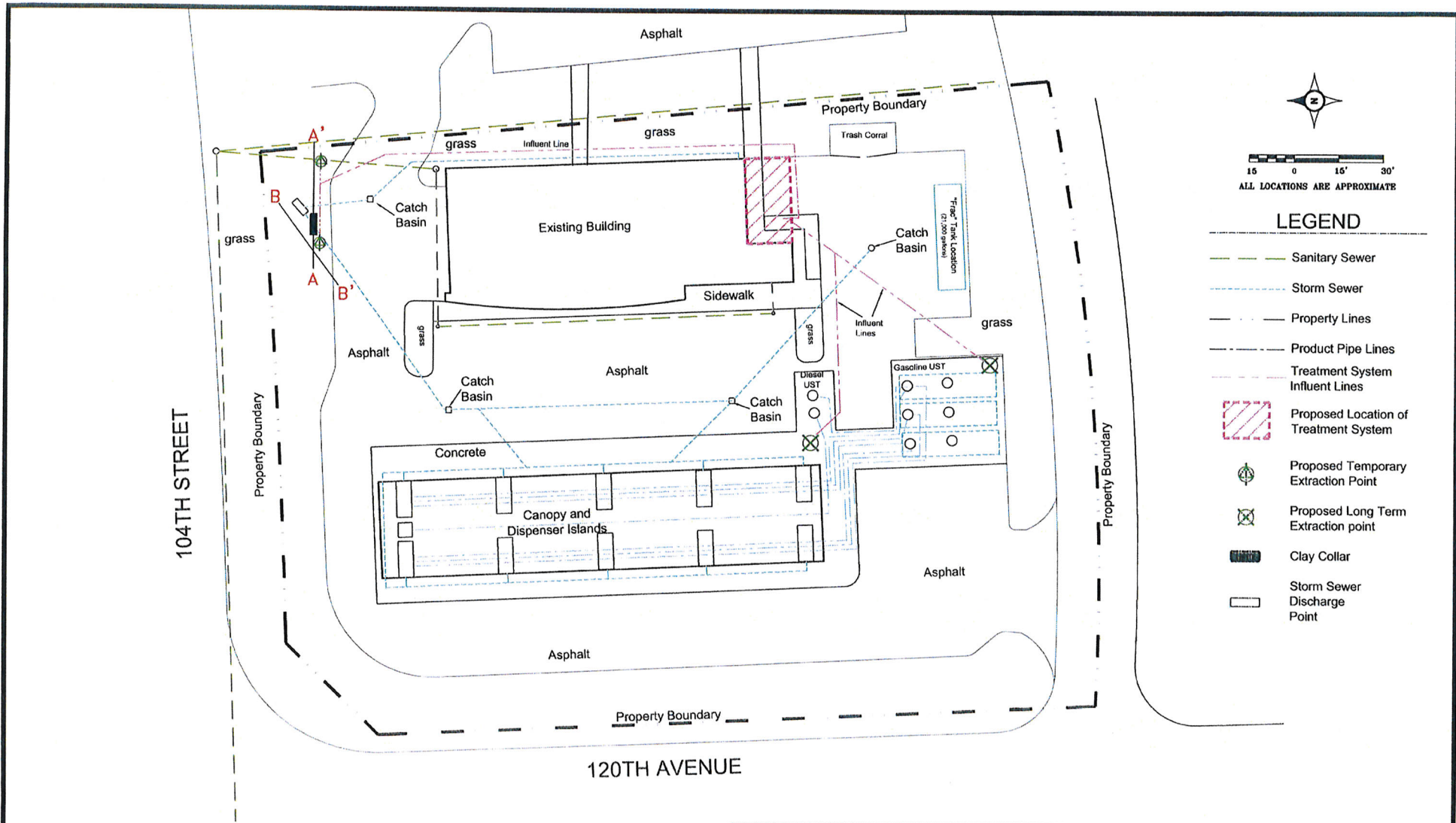
### **\*\*\*Additional Extraction Point Sampling Requirements**

Owner to sample each additional extraction point influent for VOCs, naphthalene, PAHS, lead, GRO & DRO at the time that any new extraction points are added to the system. A minimum of two influent samples are to be collected from each point during the first two days of extraction from such points and companion effluent samples are to be collected daily for two days following the start-up of extraction at each additional point. No discharge of treated water is permitted to occur until the results of the additional extraction point sampling demonstrates that the effluent results comply with all applicable standards.

Village may, at Owner's expense, collect companion influent and effluent samples for analysis of VOCs and/or PVOCs, naphthalene, GRO, DRO, PAHS and lead as each additional extraction point is connected to the system until such time that the treated water meets all applicable discharge requirements.

### **Additional Conditons:**

- Owner to immediately report any exceedances of applicable discharge standards to the Village and the Wisconsin Department of Natural Resources;
- Owner to provide to Village weekly summary reports in an electronic format containing tabulated analytical test results for each sampling event and sampling point (influent vs. effluent) and treatment system performance data (gallons treated/discharged, operational status of system, and estimate of carbon/zeolite media remaining along with anticipated changeout dates and any other operation & maintenance data, etc.) commencing with the week following start-up through the second anniversary date of system start-up. Thereafter, monthly summary reports shall be provided to the Village for the remainder of the project.
- Once groundwater monitoring wells have been installed at the site, monthly groundwater elevation readings shall be obtained from all monitoring wells at the site (including any monitoring wells installed off-site as part of the release investigation activities) and reported to the Village within the required weekly summary reports or in a separate transmittal entitled "BP Amoco Site - groundwater conditions").



- LEGEND**
- Sanitary Sewer
  - Storm Sewer
  - Property Lines
  - Product Pipe Lines
  - Treatment System Influent Lines
  - Proposed Location of Treatment System
  - ⊕ Proposed Temporary Extraction Point
  - ⊗ Proposed Long Term Extraction point
  - Clay Collar
  - Storm Sewer Discharge Point

Notes:  
Developed from Site Plan provided  
by client

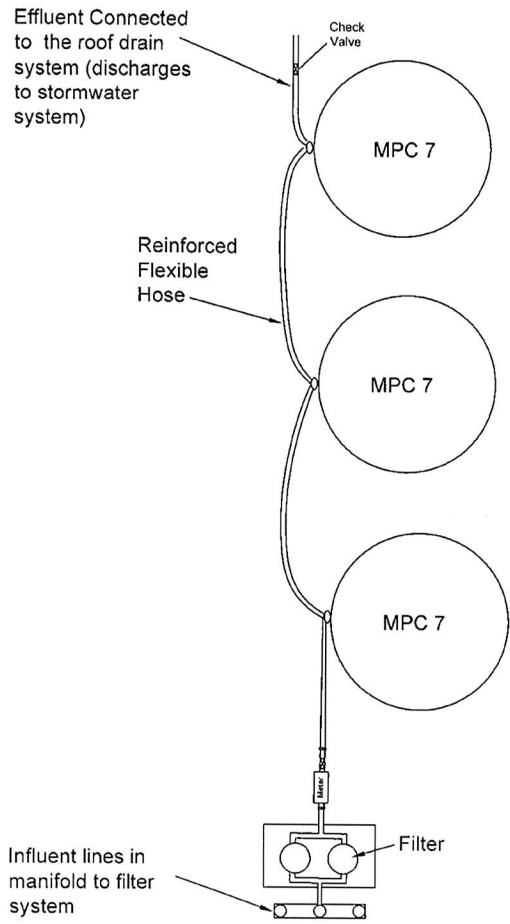
	EXISTING SITE FEATURES DIAGRAM	Scale: 1" = 30' +/-
	BP Station 10477 120th Avenue Pleasant Prairie, WI	Project Number: 7-121029 Date: 8/13/12 Drawn By: SLH

7-121029\autocadfiles\bp station site.dwg\site

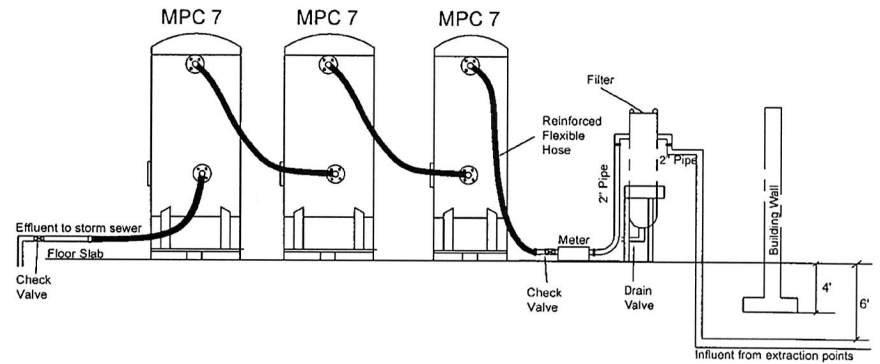
FIGURE 1

Exhibit C

### System Plan View



### System Cross Section



Notes:  
Developed from Site Plan provided by client.



DETAIL OF TREATMENT SYSTEM

BP Station  
10477 120th Avenue  
Pleasant Prairie, WI

Scale: NOT TO SCALE

Project Number: 7-121029

Date: 8/13/12

Drawn By: SLH



**midwest engineering services, inc.**

geotechnical • environmental • materials engineers

821 Corporate Court  
Suite 102  
Waukesha, WI 53189-5010  
262-521-2125  
FAX 262-521-2471  
www.midwesteng.com

November 13, 2012

Jean M. Werbie-Harris  
Community Development Director  
Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, Wisconsin 53158

SUBJECT: Explanation of Clay Collar Installation and Catch Basin Soil Handling  
BP Station  
10477 120<sup>th</sup> Avenue  
Village of Pleasant Prairie, Wisconsin  
MES Project No. 7-121029  
FID No. 230103830  
BRRTS No. 02-30-557069

Ms. Werbie-Harris,

The construction of the clay collar that is planned for the northern storm water discharge point will be constructed by Bouterse Construction under the field supervision of Midwest Engineering Services. The activities will consist of the excavation of the surface topsoil material, which will be stockpiled for potential reuse as topsoil once the collar has been installed. The excavation will be extended into and to a depth beneath the granular material around the 12 inch storm water. If water is encountered within the granular material a sump pump will be installed and the water will be pumped to one of the "frac" tanks located along the south of the station. Once water removal is completed, the excavation will extend vertical to a depth of at least 12 inches beneath the granular material around the pipe. It is anticipated that the granular fill material extends to a depth between 3.5 to 4.5 feet. It is proposed that any relatively "clean" granular material may be used to backfill the excavation (around the pipe on the up stream side) once the clay collar is constructed. Any surrounding soil fill, natural soils, and comingled soil and granular material will be excavated, loaded into a "special waste licensed" truck and transported to a WDNR-licensed special waste facility (Kestrel Hawk Landfill).

Due to the location of existing utilities, the excavation will be in a general parallel location to the existing curb line and thus not perpendicular to the storm water line. As such, it is anticipated that the length of the exposed granular material will be about 3.5 feet. As requested, both sides of the excavation will be extended about 2 feet horizontally from the granular material. Once the excavation has been completed and the granular material around the pipe has been removed, chipped bentonite will be placed in about 12 to 18 inch lifts and

MES Project No. 7-121029  
BP Station  
Village of Pleasant Prairie, Wisconsin  
Page 2

wetted with clean water to assure activation. This material will extend to about 12 inches from the ground surface. Topsoil will then be placed to the ground surface.

Regarding the soil that will be encountered during the removal and replacement of the catch basin, any soil and comingled granular material and soil will be removed and transported to Kestrel Hawk Landfill. These excavation and handling services (remedial actions) will be performed in general accordance with NR 708 requirements under NR 708.05(3).

We trust this information meets your needs. Please feel free to contact us if you have any questions.

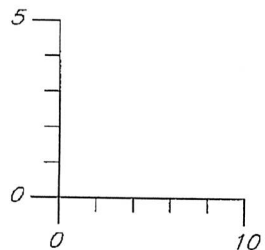
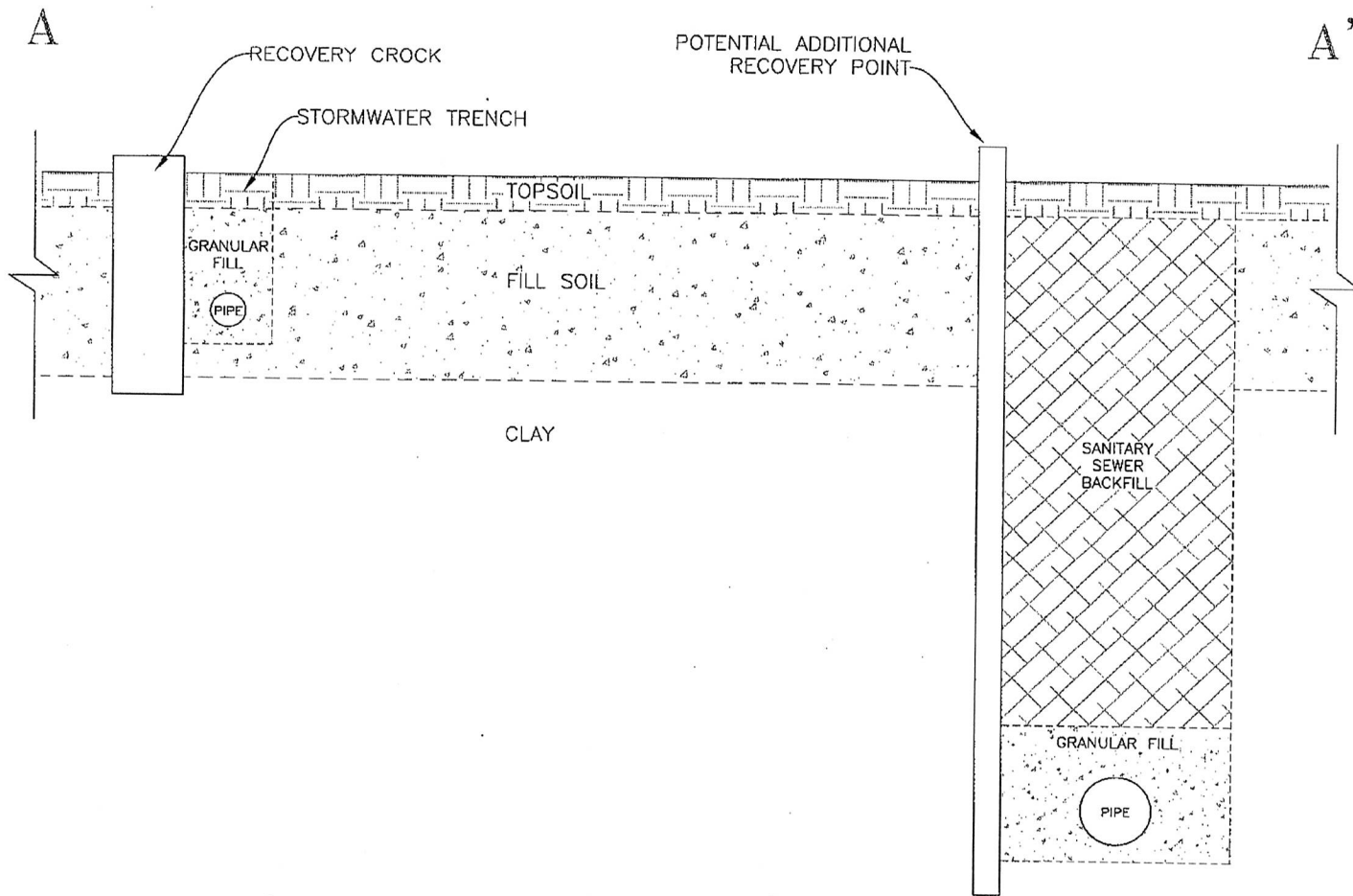
Sincerely,

MIDWEST ENGINEERING SERVICES, INC.




Patrick J. Patterson, P.E., P.G.  
Department Manager  
Environmental Services

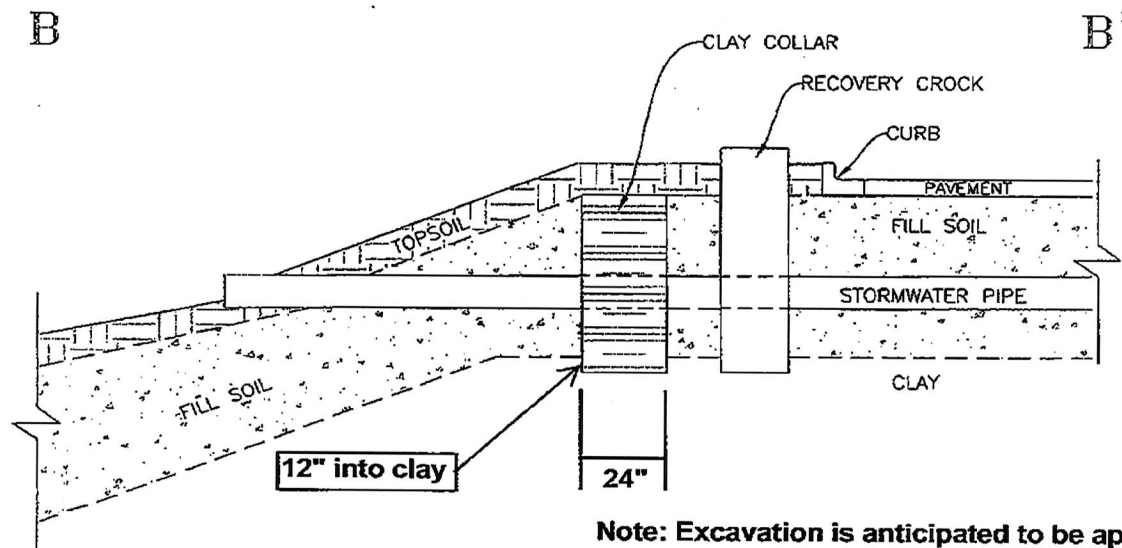
cc: Mr. Dixit Patel; VIDHYA Corp. VIII, Inc.  
Atty. J. Michael McTernan; Alia, DuMez, Dunn and McTernan, S.C.  
Atty. Donald P. Gallo; Reinhart Boerner Van Deuren, S.C.



SCALE  
 HORIZONTAL: 1" = 10'  
 VERTICAL: 1" = 5'

 midwest engineering services, inc.	CROSS-SECTION A-A' RECOVERY POINTS	MES Project No: 7-121029
	BP STATION #3789 10477 120th AVE. KENOSHA, WI	BRRS No: 03-30-242791
		Date: SEPTEMBER, 2012
		Drawn By: KP

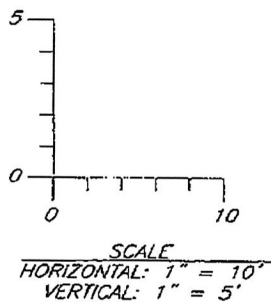




12" into clay

24"

**Note:** Excavation is anticipated to be approximately 24" (2') wide and approximately 8 feet long. However, the excavation will extend at least 2 feet beyond both sides of the granular material around the 12" storm water pipe. The collar will extend 12" into natural clay soil. Due to existing utilities in this area, the clay collar/excavation will be constructed parallel to the existing curb line.



CROSS-SECTION B-B'  
 CLAY COLLAR AND RECOVERY CROCK

BP STATION #3789  
 10477 120th AVE.  
 KENOSHA, WI

MES Project No: 7-121029

BRRS No: 03-30-242791

Date: SEPTEMBER, 2012

Drawn By: KP

## EXHIBIT E

### Total Cost<sup>1)</sup>

Cost Entity	Total	Comments
Village Engineering Department	\$12,356.25	Thru 9/26
Communtiy Development/Zoning	\$1,760.00	Thru 9/27
Environmental Consultant	\$14,783.15	Thru 9/15
Attorney Fees	\$10,200.00	Thru 9/21
	<b>Total: \$39,099.40</b>	

<sup>1)</sup>Activities go back to April 26, 2011. Work includes site visits, reviews, correspondance, discussions with regulatory officials, meetings. Additional fees beyond these dates will be invoiced and shall be paid pursuant to the PreDevelopment Agreement on file with the Village.

**Exhibit F - Milestone Dates Liquidated Damages**  
**BP Amoco Gas Station**  
**Parcel Number 92-4-122-302-0130**

Milestone	Scheduled Date	Actual Date	Liquidated Damages \$ per day <sup>5)</sup>
Daily inspection log (to be delivered to the Village weekly)	11/09/12		
Conduct interim Remedial Activities <sup>1)</sup>	10/01/12	9/17/12	
Pump tank field	10/01/12	9/20/12	
Contain any contaminated materials at the Property <sup>2)</sup>	10/10/12		
Submit erosion control permit and construction plan to Village	11/20/12		
Replace northerly outfall manhole	12/07/12		
Maintain liquid level in each of the sumps for the diesel and gasoline tanks at the level agreed to in the Agreement <sup>3)</sup>	11/26/12		\$200
Prepare and submit to the Village a written plan for sampling, and analytical testing of the storm water discharge reasonably acceptable to the Village	11/16/12		\$200
Prepare and submit to the Village a Site-investigation work plan reasonably acceptable to the Village <sup>3)</sup>	11/16/12		\$200
Prepare and submit to the Village a preliminary Site-remediation plan reasonably acceptable to the Village <sup>4)</sup>	11/16/12		\$200
Install a system of blocking/recovery wells near the storm water outfall and near the sanitary lateral and install a temporary carbon treatment system near the north ditch area	12/19/12		\$200
Consent to the amendment of the C.U. Permit and the PUD Ordinance and Settlement Agreement <sup>5)</sup>	11/19/12		
Commence installation of soil borings and monitoring wells	12/07/12		\$200
Obtain all permit approvals from Village, State, DNR	11/20/12		
Construct a heated and insulated structure that will prevent equipment from freezing	1/18/13		
Install a long term carbon groundwater treatment system to treat and control groundwater level in the tank field	1/18/13		\$300
Substantial completion and operation of all Remedial Activities defined and agreed to in the Site-Remediation Plan	4/01/13		\$676
Final completion of work including site restoration.	5/01/13		\$100

**Notes:**

- 1) Install two-21,000 gallon frac holding tanks;
- 2) To include but not limited to: Maintain and replace as necessary surface water skimmer booms and/or additional materials to capture sheen in road ditch area;
- 3) This level must be maintained from November 26, 2012 until the permanent system is installed and operating;

- 4) Includes without limitation testing and remediation for all “downstream” properties affected by any petroleum discharges from the Property;
- 5) Liquidated damages will occur concurrently for multiple items until they are complete.
- 6) PUD Ordinance and Settlement agreement to be considered by the Village Board on November 19, 2012

92-4-122-302-0130



873824  
VOL 1163 PAGE 119 -126

REGISTER'S OFFICE  
KENOSHA COUNTY, WISCONSIN

Page 1 of 8

AUG 30 2 31 PM '91

DONNA M. DIETMAN  
REGISTER OF DEEDS

2400

VILLAGE OF PLEASANT PRAIRIE **CONDITIONAL USE GRANT** GRANT NO. 91-001

Before the Village Board of the Village of Pleasant Prairie, Kenosha County, Wisconsin, in regard to premises located south of STH 165 and east of 120th Avenue identified as Tax Parcel Number 92-4-122-302-0113-0 (Parcel 14, a redivision of Parcel 7 CSM #1362) in Township 1 North, Range 22 East, Kenosha County, State of Wisconsin, further described as follows:

Commencing at the Northwest corner of said Section 30, thence N89° 44' 44" East along the North line of said Northwest 1/4 Section, 1169.05 feet; thence South 02° 43' 08" East, 128.42 feet to the place of beginning of the following description;

Thence North 44° 33' 09" East, 45.74 feet to a point in the South line of STH 165 and a point in a curve; thence Northeasterly 363.41 along the South line of said highway and the arc of said curve, whose center lies to the North, whose radius is 2939.79 feet and whose chord bears North 84° 36' 06" East, 363.17 feet to the West line of 114th Avenue; thence South 12° 21' 54" East, 290.69 feet; thence South 80° 05' 08" West, 35.00 feet; thence South 23° 32' 21" West, 250.00 feet; thence South 58° 50' 27" West, 250.00 feet; thence South 89° 44' 44" West, 80.00 feet to the East line of 120th Avenue (Frontage Road); thence North 02° 43' 08" West and along the East line of said 120th Avenue, 582.78 feet to the place of beginning, a part of the NW 1/4, Section 30, T1N, R22E, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin. Containing in all 5.027 acres of land, more or less.

**WHEREAS**, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provide that the premises may not be used of right for the purpose hereinafter described but that

upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the Village Board of the Village of Pleasant Prairie having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance;

**NOW, THEREFORE,** a conditional use is granted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of operating a gasoline service station with a convenience store and a proposed future car wash facility in a B-4, Planned Business Zoning District with a PUD, Planned Unit Development Overlay Zoning District.

The Conditional Use Permit is granted subject to the following conditions:

1. Wisconsin State DILHR approved plans for construction shall be submitted to the Village's Inspection Department for review and approval.
2. A WDOT permit will be required for the driveway opening onto the frontage road (120th Avenue). A copy of the permit shall be provided to the Village prior to issuance of Village zoning and building plans.
3. Sanitary sewer service can be provided from the existing 8-inch sewer along the south side of STH 165. The proposed sanitary lateral or private main shall be shown on the plans. A sanitary meter manhole will be required.
4. The size of the proposed water main and service(s) shall be shown on the plans along with valves and/or hydrants. Revised plans to include hydrant location.
5. Storm sewer and manholes/catch basins shall be identified. Sizing calculations shall be provided. Roof drain connections shall also be shown.

6. Proposed pavement and/or curb grades shall be shown. The parking lot and driveway entrances shall be paved, asphalt or concrete pads. There shall be no parking of vehicles on the grass areas.
7. Separate sign permits shall be obtained prior to construction of signs.

On July 30, 1991 Amoco Oil Company received two (2) sign setback variances from the Village Board of Appeals:

- Permits a pole sign to be located two (2) feet from the STH 165 r-o-w.
  - Permits a monument sign to be located six (6) feet from the 120th Avenue r-o-w.
8. The height of the building and the canopy shall be shown on the building construction plans. The canopy may not exceed 20 feet in height.
  9. Approval of the proposed future car wash shall be contingent on a change in the Village Zoning Ordinance which would allow car washes as a conditional use within the B-4, Planned Business District. The petitioner shall obtain Village zoning and building permits prior to construction of the car wash.
  10. Erosion control measures such as silt fencing and graveled entrances shall be utilized on the entire development site where applicable. An erosion control application and plan shall be submitted with the construction plans for review and a permit shall be issued prior to commencing construction activities.
  11. The method of exterior maintenance (site and building) shall be submitted for review and approval.
  12. All lighting shall be directed so as not to glare into the adjacent right-of-way or onto adjacent properties.

13. Any proposed new fencing shall comply with the Village's regulations. The location of any fencing, height and type shall be shown on a site plan and separate building and zoning permits shall be obtained prior to construction.
14. No outside display of products shall be allowed and merchandise may not be stored outside (i.e. salt, oil, tires etc.)
15. Use of flags and glittery streamers will be prohibited as they serve to distract drivers on the adjacent highway. No inflatable signs or portable/flashing signs are permitted. No signs shall be affixed, located on, attached to or cover any landscaping, shrubs, trees, utility poles or directional signs.
  - a. It is the owner's responsibility to sign the conditional use permit document and pay the recording and filing fees prior to obtaining zoning and building permits.
16. An acceptable method of gasoline spill mitigation shall be provided to the Fire Chief for review and approval prior to issuance of Village building and zoning permits.
17. A final approved landscaping plan shall be submitted to the Village. All landscaping shall be completed within 6-8 months of final occupancy.
18. One Knox box shall be provided on the site. Keys to the convenience store shall be kept in the Knox box.
19. There shall be no vehicles displayed on the site for sale and no outside storage of junk vehicles
20. In the existing Zoning Ordinance, search lights for advertising purposes may be permitted provided that the search light will not be located in any public right-of-way, will not be closer than 10 feet to an adjacent property and will not cause a hazard to traffic or



adjoining properties. Search light permits shall not be granted for a period of more than 12 days in any 6-month period.

21. This Grant shall become effective upon the execution and recording by the Village for the Owners of the Premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
22. This Grant shall be void unless proper application, pursuant to the building code and zoning ordinance of the Village, for appropriate Building, and Zoning and Occupancy Permits in conformity to this Grant, is made within six (6) months of the date hereof.
23. This Grant is subject to amendment and termination in accordance with the provisions of the Zoning Ordinance of the Village.
24. Construction and operation of the use granted shall be in strict conformity to the approved site, building and operation plans filed in connection with the petition for this permit, and annexed hereto.
25. Any of the conditions of this Grant which would normally be the responsibility of tenants of the premises shall be made a part of their lease by the Owner, which lease shall contain provisions for posting of the pertinent conditions to notify employees thereof.

GRANTED by the action of the Village Board of the Village of Pleasant Prairie the 5th day of August, 1991.

*Thurston*  
(Village President)

Attest:

*Donald S. Wruck*  
(Village Clerk)

Original filed in the Office of Planning and Zoning of the Village of Pleasant Prairie.

Signed: *Michael P. Kocon*  
Petitioner(s) Michael P. Kocon  
Project Engineer Amoco Oil Company

ACKNOWLEDGMENT

STATE OF WISCONSIN )  
 ) SS  
Kenosha COUNTY )

Personally came before me this 29 day of August, 1991, the above named Michael P. Kocon to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

*Jeanne Anderson*

Notary Public Kenosha County, WI. My Commission is permanent. (If not, state expiration date: 8/23/92)

Receipt of a True Copy of this document on behalf of the petitioner(s) acknowledged the 29th day of August, 1991.

THIS INSTRUMENT WAS DRAFTED BY:

Katherine Rowland  
ASSISTANT VILLAGE PLANNER  
& DEPUTY ZONING  
ADMINISTRATOR

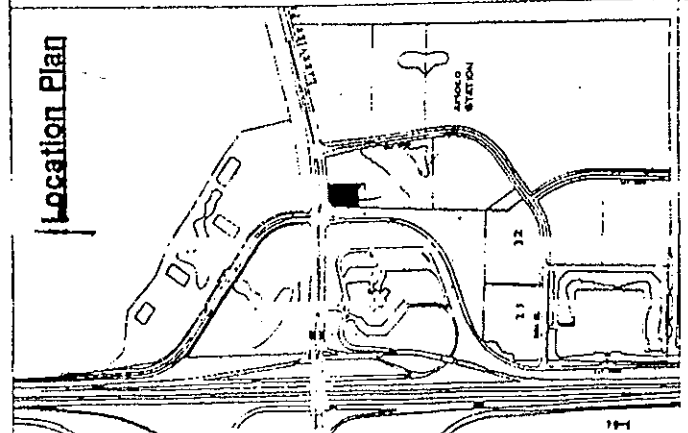
Katherine L. Rowland  
Deputy Zoning Administrator

Original document filed in  
Community Development Department  
Village of Pleasant Prairie

Return this document to:  
Village of Pleasant Prairie  
Community Development Department  
P.O. Box 89  
Pleasant Prairie, WI  
53158-0089

Conditional Use Permit Number: 91-001

CONDUSEGR.004



**NOVALS**

NO OIL CO.  
PUMPING ROAD,  
BROOK, ILL

MARK CORPORATION  
LAKEVIEW PARKWAY SUITE #100  
DX 180  
MOUNT PRAIRIE WIS 53158 -180

DATE

DATE

**Legend**

1	Proposed Building Footprint
2	Proposed Site Work
3	Proposed Site Work
4	Proposed Site Work
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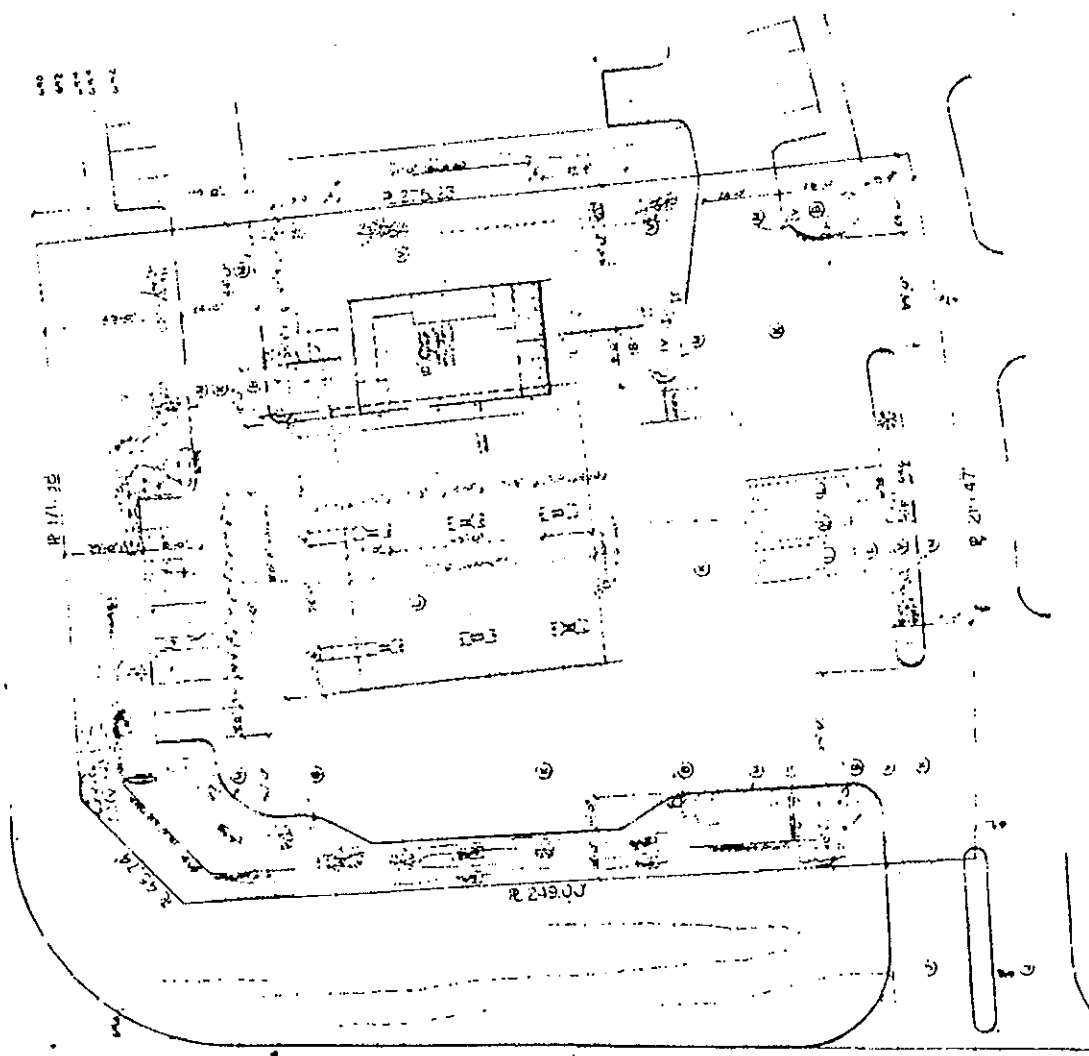
**Data Sheet**

DATE	1974
PROJECT	LAKEVIEW PARKWAY SUITE #100
CLIENT	MARK CORPORATION
DESIGNER	NOVALS
SCALE	AS SHOWN

Proposed Food Shop,  
Pumper  
LAKEVIEW PARKWAY SUITE #100  
MOUNT PRAIRIE, ILLINOIS  
NOVALS  
Site Plan  
DWG. No.

VOL. 1430 PAGE 200

Lakeview Parkway S.T.H. 165



Site Plan

I-24 Frontage Road



**COPY**

DOCUMENT NUMBER

1235622

CONDITIONAL USE PERMIT  
R E C O R D E D  
At Kenosha County, Kenosha, WI  
Louise J. Principec, Registrar of Deeds  
on 9/28/2001 at 2:01PM  
10046671 \$17.00


RECEIVED

BM3

**VILLAGE OF PLEASANT PRAIRIE  
CONDITIONAL USE GRANT NO. 01-11**

Before the Village of Pleasant Prairie Plan Commission,  
Kenosha County, Wisconsin, in regard to the Amoco Oil  
Company property located at 10477 120<sup>th</sup> Avenue.

**Return to:**  
Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

 **Parcel Number:**  
92-4-122-302-0130-0

**Legal Description:** Lot 14 of CSM 1489 f/k/a part of CSM 1362 located in a part of the Northwest ¼ of Section 30 Township 1 North, Range 22 East in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

**WHEREAS**, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

**WHEREAS**, such petition having been made, and public hearing held thereon, and the Village Plan Commission having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance. Specifically, based upon the information presented at the public hearing the project meets the following standards for granting a Conditional Use Permit in that: the project does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services; the project does not impair an adequate supply of light and air to the adjacent properties; does not increase danger of fire--in so far as the danger of fire does not exceed the capabilities of the Village Fire and Rescue Department; the project does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; there is no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use; and the proposed and applied for use on this particular parcel is not inherently inconsistent with either the B-4 (PUD), Planned Business District with a Planned Unit Development Overlay District in which it is located or the adjoining Zoning Districts or the industrial neighborhood.




**NOW THEREFORE**, a conditional use is granted, subject to compliance with the terms and conditions hereinafter stated for Amoco Oil Company, to redevelop/reconstruct and operate a 24-hour gasoline station and convenience store at 10477 120th Avenue.

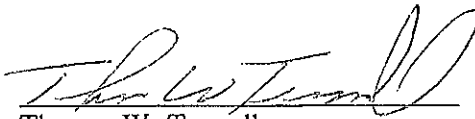
1. This conditional use permit allows the owner to replace the existing Amoco gasoline station/convenience store with a new 4,200 square foot BP-Amoco gasoline station/convenience store as a 24-hour operation. The development will have 10 fuel dispensers. Diesel fuel will be sold at the new facility only to automobiles and light trucks – no diesel fuel is to be distributed to semi trucks. The 4,200 square foot building will contain various operations which will provide the following customer services: a quick service restaurant and bakery, convenience store, self-service coffee bar and soda fountain and an e-commerce area for computerized assistance with weather and traffic information. The “Wild Bean Café” restaurant and bakery will serve such items as sandwiches, soups and salads. The facility is scheduled to be a 24-hour/day operation with the 10 employees working on the largest shift. The daily number of vehicle trips is estimated to be 500 to 900, with the highest traffic volume being during the summer months. The proposed parking meets the requirements for the gasoline station with convenience store. Additionally, a cross-access agreement between Amoco and Culvers property has been recorded, which serves to be economically beneficial and convenient for the traveling public for both businesses.
2. Compliance with the specific requirements of PUD Ordinance approved by the Village Board on July 2, 2001 as Village Ordinance #01-32.
3. Compliance with the Site and Operational Plans as conditionally approved by the Village Plan Commission on June 25, 2001 as on file with the Village of Pleasant Prairie.
4. Subject to the terms of the Cross-Access Easement Agreement between Culver’s and BP Amoco as recorded with the Kenosha County Register of Deeds.
5. As a 24-hour per day operation, the facility shall meet the following requirements:
  - a. The parking lot shall be adequately illuminated.
  - b. A clear and unobstructed view of the cash registers and transaction areas shall be maintained from a public roadway or an internal 30-foot wide site circulation access roadway.
  - c. The building shall be equipped with security cameras. The location and number of cameras shall be reviewed and approved by the Village Police Chief. Said security cameras shall be inaccessible to employees. A conspicuous sign shall be posted at the entrance stating that security cameras with an inaccessible recording device are in place on the premises.
  - d. The building shall be equipped with an inaccessible drop safe and a conspicuous sign shall be posted at the entrance stating that an inaccessible drop safe is on the premises.
  - e. During the hours of 11:00 p.m. and 6:00 a.m. at least two (2) employees shall be working on-site unless the business has taken measures to protect a lone clerk such as but not limited to the installation of bullet-resistant glass or other equipment making a lone employee inaccessible as approved by Village Police Department.
  - f. Installation of a hold up alarm, which is monitored, by a UL listed central station with functioning phone service shall be installed in the building.

6. No temporary outdoor storage units shall be permitted on the site. All merchandise is to be stored inside the convenience store building or within the designated trash/recycling enclosure.
7. There shall be no outside storage of merchandise at this site. This includes, but is not limited to: soda, windshield washer fluid and other vehicle accessories, wood, bags of wood chips, charcoal, etc.).
8. The site shall not be used for any parking (neither overnight nor during the day) of semi trucks, semi trailers and junked/inoperable vehicles.
9. At no time shall the site be used to sell any vehicles that are "for sale".
10. No outdoor vending machines shall be allowed on the site.
11. No vehicular parking will be permitted in driveways, maneuvering lanes, or on landscaped areas.
12. There shall be no outside banners, pennants, flags or streamers affixed or attached to the building(s), light poles, gasoline canopy, ground or landscaping.
13. No temporary banners shall be permitted to be located on the exterior of the building, gasoline canopy or elsewhere on the site. A Grand Opening Sign may be permitted with the proper application and subsequent approval.
14. No temporary, portable signs or metal spring signage shall be permitted on the site.
15. During the demolition and re-construction of the facility no construction equipment or vehicles shall block, hinder or unreasonably disturb adjacent businesses.
16. Permits shall be obtained from the Village prior to commencing work and the Village prior to operation of this facility shall issue a Certificate of Occupancy.
17. No changes to the exterior site, building conditions, or facility operations, which are inconsistent with the Conditional Use Permit, shall be made without the Village's approval. In addition, any addition, alteration, extension, expansion, repair or other proposed change in the approved operation shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
18. The Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land.
19. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance.
20. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
21. The owner of the property shall provide a copy of these conditions to the on-site manager/operator of the facility.

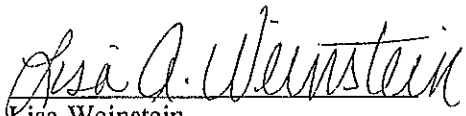
Granted by the action of the Village of Pleasant Prairie Plan Commission the 25<sup>th</sup> day of June 2001.

ATTEST:

  
Donald Hackbarth  
Secretary

  
Thomas W. Terwall  
Plan Commission Chairman

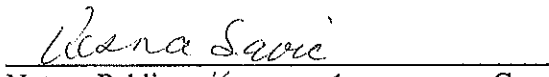
OWNER: Amoco Oil Company

  
Lisa Weinstein  
Real Estate Project Manager

ACKNOWLEDGMENT

STATE OF Wisconsin  
SS  
Kenosha COUNTY)

Personally came before me this 7 day of September, 2001, the above named to me known to be the person (Lisa Weinstein) who executed the foregoing instrument and acknowledge the same.

  
Notary Public, Kenosha County, WI.  
My Commission expires: 01-12-03.

THIS INSTRUMENT WAS DRAFTED BY:  
Jean M. Werbie, Community Development Director  
Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, Wisconsin 53158



ORDINANCE # 01-32

**ORDINANCE TO AMEND SECTION 12.26-4  
OF THE VILLAGE OF PLEASANT PRAIRIE ZONING ORDINANCE  
KENOSHA COUNTY, WISCONSIN  
RELATING TO BP-AMOCO PUD**

**BE IT ORDAINED** by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, that Section 12.26-4 (l) of the Village Zoning Ordinance is hereby created to read as follows:

**Section 12.26-4 (l) SPECIFIC DEVELOPMENT PLANS**

**4. BP-AMOCO PUD**

- a. It is the intent that the BP-Amoco (re)development will continue to provide for development and uses on the property as legally described below in conformity with the adopted Village Comprehensive Plan and the basic underlying zoning district; that the development will not be contrary to the general welfare and economic prosperity of the community; and that the structures, landscaping, parking areas, architectural design, lighting, general site development and signage for the facility shall be properly maintained and general site development will result in an attractive and harmonious commercial retail area, will operate as a uniform development and will not adversely affect the property values of the surrounding properties.
- b. Legal Description: The property included is known as Lot 14 of Certified Survey Map #1489, located in U.S. Public Land Survey Section 30, Township 1 North, Range 22 East in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.
  - i. The BP-Amoco (re)development shall be in compliance with all Federal State, County and Village ordinances and regulations except as expressly modified in Section 12.26-4 (l) 4 c below. Additionally, all portions of the Village Zoning Ordinance not modified by this PUD shall apply to the BP-Amoco (re)development:

- ii. The BP-Amoco (re)development shall be in compliance with the LakeView Corporate Park Declaration of Development Standards and Protective Covenants and Modifications, as may be amended from time to time, as recorded at the Kenosha County Register of Deeds Office.
  - iii. The vehicular cross-access easement agreement between the BP-Amoco facility and the Culver's restaurant, located to the immediate east, shall be effective immediately and the cross-access shall be kept permanently open to allow for the free flow of vehicular traffic between the two properties. Exception: the cross-access shall be allowed to be temporarily closed during the construction of the new BP-Amoco facility beginning September 4, 2001 and ending upon the opening of the new BP-Amoco facility.
- c. Specific modifications to the Village Ordinance and regulations and specific requirements:
- i. The BP-Amoco building and associated structures located at 10477 120<sup>th</sup> Street shall specifically allow for the modification of the following Sections of the Village Zoning Ordinance:
    - (1) Section 12.14-U 11 b. entitled "Aggregate Permitted Background Commercial Sign Area" shall be modified for the BP-Amoco (re)development; and the following sign requirements shall apply:
      - (a) The maximum Aggregate Permitted Background Commercial Sign Area allowed for this property shall be **181 square feet**. Specifically, the following signage shall be permitted:
        - One 6.5' x 5.5' (35.75 square feet) Wall (Building Tower) Sign;
        - One 26.0' x 3.67' (95.33 square feet) Wall ("bp connect") Sign;

- Two 3.0' x 3.0" (9 square feet per sign, 18 square feet total) Gasoline Canopy Signs;
- One 9.0' x 3.0' (27 square feet) Wall ("Wild Bean Café") Sign;
- One 2.0' x 2.0' (4 square feet) Wall (Rear Entrance) Sign.

(2) Section 12.13-3 entitled "PARKING REQUIREMENTS" shall be modified for the north side of the parking lot/paved maneuvering area and the following regulation shall apply:

(a) The north parking lot/paved maneuvering area, adjacent to 104<sup>th</sup> Street (STH 165), shall have a minimum setback of **15 feet** (as measured from the north property line to the back-of-curb) from the north property line to facilitate on-site vehicular traffic circulation.

(3) Section 12.22-4(g)5. entitled "Setbacks" shall be modified for the rear yard setback of the 4,200 square foot BP-Amoco convenience store structure and the following regulation shall apply:

(a) The 4,200 square foot BP-Amoco convenience store structure shall have a rear yard setback of **13 feet**, as measured from the closest point of the building foundation to the rear (east) property line.

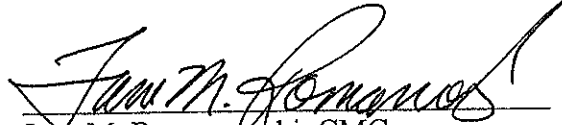
ii. Amendments

- (1) The PUD regulations for the BP-Amoco (re)development may be amended pursuant to Section 12.02-11 of the Zoning Ordinance.
- (2) An application for an amendment to this PUD shall be filed by the owner(s) of said property(ies).

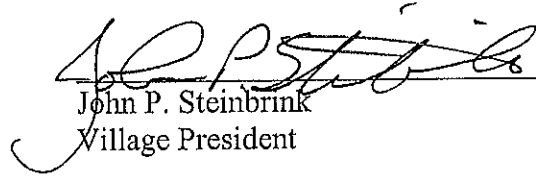
Adopted this 2<sup>nd</sup> day of July 2001.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:



Jane M. Romanowski, CMC  
Village Clerk



John P. Steinbrink  
Village President

Posted: 7/5/01  
Effective Date: 7/5/01

AFFIDAVIT OF POSTING

STATE OF WISCONSIN)  
: SS  
COUNTY OF KENOSHA )

I, CHERYL A. CLARK, of the Village of Pleasant Prairie, Kenosha County, Wisconsin, do hereby certify on July 5, 2001, I posted Ordinance No. 01-32 an "Ordinance to Amend Section 12.26-4 of the Village of Pleasant Prairie Zoning Ordinances Relating to BP-Amoco PUD" a copy of which is attached hereto and made a part hereof, in the following three public places, all located within the Village of Pleasant Prairie, Kenosha County, Wisconsin:

One at Pleasant Prairie Village Hall  
9915 39th Avenue - Pleasant Prairie, WI

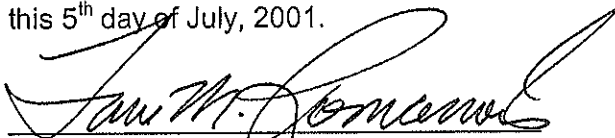
One at the Roger Prange Municipal Center  
8600 Green Bay Road - Pleasant Prairie, WI

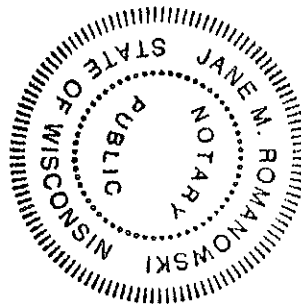
One at the Pleasant Prairie Fire Station No. 2  
8044 - 88th Avenue - Pleasant Prairie, WI

Dated this 5<sup>th</sup> day of July, 2001.

  
Cheryl A. Clark  
Village of Pleasant Prairie

Subscribed and sworn to before me  
this 5<sup>th</sup> day of July, 2001.

  
Notary Public - Kenosha Co., WI  
My Commission Expires 7/14/02



I hereby certify that the adjacent photograph has been compared with the record on file in this office and is a true copy thereof. I have hereunto affixed my official seal

8/30/01

RECIPROCAL ACCESS EASEMENT 20  
Title of Document

Document Number

*Louise I. Principe*  
Louise I. Principe, Register of Deeds  
Kenosha County, Wisconsin

**RECIPROCAL ACCESS EASEMENTS**

**THIS RECIPROCAL ACCESS EASEMENT ("Agreement")** is declared this 10 day of August, 2001 by OMA, LLC, a Wisconsin limited liability company, ("OMA, LLC") which owns Parcel 15 ("Parcel "15") of Certified Survey Map No. 1489 being a division of Parcel 7 of Certified Survey Map No. 1362, recorded in Volume 1456 Pages 153-157 of the certified survey map records of the Kenosha County Register of Deeds, as Document No. 872365 (the "CSM") and by Amoco Oil Company, a Maryland corporation ("Amoco") which owns Parcel 14 ("Parcel 14") of the CSM. (Parcel 14 and Parcel 15 together with any lots created by the further subdivision of such Parcels collectively hereinafter referred to as the "Parcels" and individually each a "Parcel"). A copy of the CSM is attached hereto as Exhibit A.

Name and Return Address

Dennis J. McNally  
McNally, Maloney & Peterson, S.C.  
2600 N. Mayfair Road, Suite 1080  
Milwaukee, WI 53226

44-

**WITNESSETH:**

92-4-122-302-0130  
(Parcel Identification Number)

WHEREAS, Parcel 14 is adjacent to and immediately west of Parcel 15 on the CSM; and

WHEREAS, the Amoco Conceptual Site Plan ("Site Plan"), a copy of which is attached hereto as Exhibit "B" and made a part hereof, shows certain Cross-Access Easements for Parcel 14 across Parcel 15 and for Parcel 15 across Parcel 14 (collectively the "Cross-Access Easements"); and

WHEREAS, the Site Plan also shows two (2) sidewalk accesses for Parcel 14 across Parcel 15 and for Parcel 15 across Parcel 14 (collectively the "Sidewalk Easements"); and

WHEREAS, OMA, LLC and Amoco desire to grant the Sidewalk Easements and the Cross-Access Easements across Parcel 14 and across Parcel 15 to further the efficient and convenient use of each of Parcel 14 and Parcel 15;

NOW THEREFORE, OMA, LLC and Amoco hereby declare on behalf of themselves and their successors and assigns as owners of the Parcels as follows:

159334

DOCUMENT NUMBER  
1232401

RECORDED  
At Kenosha County, Kenosha, WI  
Louise I. Principe, Register of Deeds  
on 8/22/2001 at 11:53AM  
1804458 \$44.00  
REGDEED2  
JMK

1. GRANT OF CROSS-ACCESS EASEMENT AND SIDEWALK EASEMENTS.

A. Except as otherwise specifically provided herein, OMA, LLC hereby further establishes permanent nonexclusive easements over the portions of the areas designated on the Site Plan as Sidewalk Easements Numbers 2 and 4 and as Cross Access Easement Number 2 for Parcel 14 which are located on Parcel 15 (the "Parcel 15 Sidewalk Easements and Cross-Access Easement Areas") for the benefit of Parcel 14. The purpose of the Cross-Access Easement and Sidewalk Easements for Parcels 14 are to provide free rights-of-way of vehicular and pedestrian ingress and egress over such easement areas located on Parcel 15 for the benefit of Parcel 14 and for free ingress and egress between Parcels 14 and 15 and to the Frontage Road. These easements shall run with the land, appurtenant to and for the benefit of Parcel 14 and burdening Parcel 15.

B. Except as otherwise specifically provided herein, Amoco hereby establishes permanent nonexclusive easements over the portions of the areas designed on the Site Plan as Sidewalk Easements Numbers 1 and 3 and as Cross Access Easement Number 1 for Parcel 15 which are located on Parcel 14 (the "Parcel 14 Sidewalk Easements and the Cross-Access Easement Areas") for the benefit of Parcel 15. The purpose of the Cross-Access Easement and the Sidewalk Easements for Parcel 15 are to provide free rights-of-way of vehicular and pedestrian ingress and egress over such easement areas located on Parcel 14 for the benefit of Parcel 15 and for free ingress and egress between Parcels 14 and 15 and to the Frontage Road. These easements shall run with the land, appurtenant to and for the benefit of Parcel 15 and burdening Parcel 14.

2. USE OF EASEMENT AREAS. The use of the Parcel 14 Sidewalk Easements and the Cross-Access Easement Areas and the Parcel 15 Sidewalk Easements and the Cross-Access Easement Areas (collectively hereinafter referred to as the "Cross-Access and Sidewalk Easement Areas" or individually as the "Cross-Access Easement Areas" or the "Sidewalk Easement Areas") shall be limited to vehicular and pedestrian travel. There shall be no parking or storage of vehicles or other property within the Cross-Access Easement Areas. Neither Parcel owner shall obstruct or in any way materially interfere with the other Parcel owner's lawful use of the Cross-Access Easement Areas, except during construction of improvements on any parcel.

3. MAINTENANCE OF EASEMENT AREAS. The owner of Parcel 14 and the owner of Parcel 15 shall at all times keep the sidewalks and private driveways located on the Cross-Access Easement Areas and/or the Sidewalk Easement Areas located on its own Parcels in good, usable condition and repair, including, but not limited to, snow plowing, trash and dirt removal, repairing, maintaining, replacing and rebuilding the sidewalks and/or the private driveways as may be necessary. However, in the event that maintenance, repair, replacement or rebuilding of the said sidewalks and/or private driveways are required because of the use by the owner, employees or agents of the owner of such Parcel or Parcels which causes damage to the sidewalks and/or private driveway in excess of ordinary wear and tear, the owner of that Parcel or Parcels shall be solely responsible for such maintenance, repair, replacement or rebuilding and the prompt payment for such required work. The condition of the sidewalks and/or the private driveways shall be maintained in a condition customarily maintained for sidewalks and private

driveways of a similar nature. The parties shall promptly make any repairs or replacements ordered by a competent authority having jurisdiction over the respective Parcels.

4. **INSURANCE AND INDEMNIFICATION.** Except as otherwise specifically provided herein, the owner of each Parcel will maintain or cause to be maintained in full force and effect a Commercial General Liability Insurance Policy covering the Cross-Access and Sidewalk Easement Areas located on its Parcel(s) with a combined single limit of liability of not less than One Million Dollars (\$1,000,000.00) for bodily injury to or personal injury or death of any person and consequential damages arising therefrom, and for property damage arising out of any one occurrence. To the extent such Parcel owner is not self-insured, each Parcel owner shall list the name of the other Parcel owner as a "named insured" under its respective insurance coverage as required herein, as its interest may appear.

Amoco shall be self-insured under this Agreement and hereby assumes the risk of loss for property, general liability and fire with extended coverage endorsement exposures with respect to its use and occupancy of the Cross-Access and Sidewalk Easement Areas, including those for which Amoco may be contractually liable under this Agreement. Losses for which Amoco is liable under this Agreement are covered by the significant financial resources of the BP Amoco group, of which Amoco is a part and are self-administered. Amoco agrees that it will defend OMA, LLC with respect to any litigation against it arising under this Agreement to the same extent OMA, LLC would be covered as an additional insured if Amoco had procured third party liability insurance, provided, however, Amoco shall not be liable for OMA, LLC's negligent or willful acts or omissions, or that of its members, contractors, licensees, concessionaires, agents, representatives or employees.

The owner of each Parcel covenants to defend (by counsel reasonably satisfactory to the party being defended), protect, indemnify and hold harmless the owner of the other Parcel or Parcels and its respective shareholders, directors, officers, members, agents, representatives, licensees, concessionaires, contractors and employees from and against all claims, including any action or proceeding brought thereon, and all costs, losses, expenses and liabilities (including reasonable attorneys' fees and cost of suit) asserted or insured (whether or not required insurance is obtained) in connection with or arising as a result of the death of, or any injury, loss or damage whatsoever to any person, or to the property of any person, as shall occur due to the performance or failure to perform by the owner of such Parcel or Parcels of its duties or obligations under this Agreement with respect to the maintenance and operation of the Cross-Access and Sidewalk Easement Areas located on its Parcel or Parcels, except for claims to the extent cause by the negligence or by the willful act or omission of the indemnified party or its directors, officers, members, contractors, licensees, concessionaires, agents, representatives or employees.

5. **NO PUBLIC RIGHTS.** This Agreement does not create any rights of the public except as may be specifically set forth herein and shall not be construed as creating any right of public use within the Cross-Access and Sidewalk Easement Areas, including that of street or thoroughway purposes.



6. **BINDING EFFECT.** This Agreement is intended by OMA, LLC and Amoco to be a covenant running with the Parcels and shall bind and burden the Parcels, OMA, LLC, Amoco and their respective successors and assigns in interest and all successor owners of the Parcels.

7. **APPLICABLE LAW.** Each of the parties to this Agreement hereby consents to the personal jurisdiction of the courts of the State of Wisconsin located in Kenosha County, Wisconsin, and agrees not to contest such personal jurisdiction nor the proper venue in such courts of any litigation relating to disputes arising under the terms of this Agreement.

8. **AMENDMENT.** This Agreement may not be amended, modified, terminated, or released without the written consent of all the owners of the Parcels or their successors in interest. Any amendment, modification, termination or release of this Agreement shall not be effective until it is recorded with the Kenosha County Register of Deed's office.

9. **INCORPORATION OF RECITALS.** The foregoing recitals to the Agreement are true, correct, and incorporated in their entirety herein by this reference.

10. **NO DRAFTING PRESUMPTION.** This Agreement has been drafted as a joint effort between the parties after lengthy negotiations, consultations, and approval as to form. Accordingly, neither of the parties may hereafter be entitled to a presumption that any portion of this Easement should be construed either for or against a particular party or contend that this Agreement was drafted by a particular party.

11. **ATTORNEYS' FEES.** In connection with any litigation arising out of or relating to this Agreement, the prevailing party shall be entitled to recover all reasonable costs and expenses incurred, including reasonable attorneys' fees. Except as expressly provided herein, said costs, expenses, and attorneys' fees shall not be prorated between successful and unsuccessful claims but shall be awarded in full to the prevailing party. For purposes of this subsection, "prevailing party" shall mean that party who obtains any of the relief requested on any one or more claims, counterclaims, or cross-claims. If more than one party obtains relief on any one or more of their respective claims, counterclaims, or cross-claims, then costs, expenses, and attorneys' fees provided for herein shall be awarded to each party only to the extent they relate to each party's successful claim(s).

12. **NOTICE.** Any request, demand or other notice required or permitted to be given under this Agreement shall be in writing and may be, and shall be deemed, given and sent, if mailed, two (2) days after the date when deposited in the United States mail, certified mail, return receipt requested, postage prepaid, or by overnight courier service, telecopy, telegraph or telex when delivered to the appropriate office for transmission, charges prepaid, or by telecopy when received, addressed:

If to Amoco:

Marcelo Ariola, Esq.  
Real Estate Manager  
28100 Torch Parkway  
Warrenville, Illinois 60555  
Fax: (630) 836-6381

With a copies to:

Richard L. Williams, Esq.  
BP Amoco Corporation  
Mid-Continent Business Unit  
28100 Torch Parkway, Suite 300  
Warrenville, Illinois 60555-4015  
Fax: (630) 836-6381

and

Jeffrey L. Abraham, Esq.  
Michael Best & Friedrich LLP  
100 East Wisconsin Avenue  
Milwaukee, WI 53202  
Fax: (414) 277-0656

If to OMA, LLC:

Edward Rich  
Managing Member  
OMA, LLC  
3270 East Carrolton Drive  
Oak Creek, Wisconsin 53154  
Fax: (262) 857-6995

With a copy to:

Dennis J. McNally  
McNally, Maloney & Peterson, S.C.  
2600 North Mayfair Road, Suite 1080  
Milwaukee, WI 53226  
Fax: (414) 257-3223

All parties shall acknowledge in writing the receipt of any notice delivered in person. Either party may change its address as set forth above by written notice to the other party as provided herein.

14. **AUTHORITY TO ENTER INTO AGREEMENT.** The individuals executing this Agreement on behalf of the parties herein represent and warrant that they have the authority to execute this Agreement; said representation and warranty shall survive the execution of this Agreement. The undersigned further state that they have carefully read the foregoing Agreement and know the contents thereof and sign their names of their own free will.

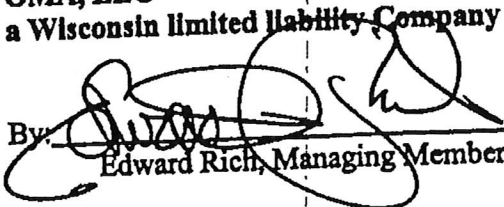
15. **TITLES AND HEADINGS.** Titles and headings of sections of this Agreement are for convenience of reference only and shall not affect the construction of any provision of this Agreement.

16. **EFFECTIVE DATE OF AGREEMENT.** This Agreement shall be effective upon the signature of this Agreement by the representatives of each party. However, the use of the Cross-Access Easements shall be suspended from the time that Amoco commences demolition for its 2001 construction of a new Amoco facility on Parcel 14 and the Cross Access Easements shall again be subject to use upon the issuance by the Village of Pleasant Prairie to Amoco of a permanent certificate of occupancy. Amoco shall notify Culver's of its receipt of the certificate of occupancy.

17. **SEVERABILITY.** Each section, subsection and paragraph of this Agreement shall be considered separable and if, for any reason, any section, subsection or paragraph herein is determined to be invalid and contrary to any existing or future laws, such invalidity shall not impair or affect those portions of this Agreement which are valid.

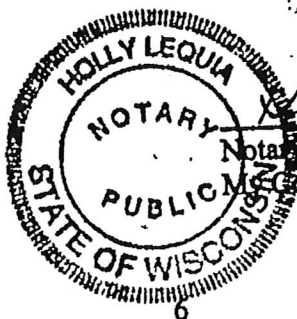
IN WITNESS WHEREOF, the undersigned have executed this Agreement as of the date first written above.

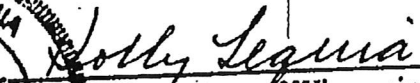
OMA, LLC  
a Wisconsin limited liability company

By:   
Edward Rich, Managing Member

STATE OF WISCONSIN     )  
  ) SS  
COUNTY OF KENOSHA    )

Personally came before me this 15 day of August, 2001, the above named Edward Rich, who acknowledged himself to be Managing Member of OMA, LLC, and to me known to be the person who execute the foregoing instrument, by his authority and acknowledged the same.



  
Notary Public, State of Wisconsin  
Commission: 2/2002

Amoco Oil Company, Inc.  
a Maryland corporation

By: Richard L. Williams  
Title: Attorney in Fact

STATE OF ILLINOIS     )  
                                  ) SS  
COUNTY OF DUPAGE     )

Personally came before me this 9<sup>th</sup> day of August, 2001, the above named Richard L. Williams, who acknowledged himself to be Attorney in Fact of Amoco Oil Company and to me known to be the person who execute the foregoing instrument, by his authority and acknowledged the same.



Tammy L. Rambow  
Notary Public, State of Illinois  
My Commission: May 25, 2002

This instrument was drafted by:  
  
Dennis J. McNally  
McNally, Maloney & Peterson, S.C.  
2600 North Mayfair Road, Suite 1080  
Milwaukee, WI 53226-3399  
Telephone: 414-257-3399  
Fax: 414-257-3223

T:\CLIENTA\014482\0050\A0223813  
08/08/01

EXHIBIT A

8 7 2 3 6 5

VOL. 1456 PAGE 153-157

REGISTERED

AUG - 9 2 29 PM '51

RONIA A. DILLMAN  
REGISTER-OF DEEDS

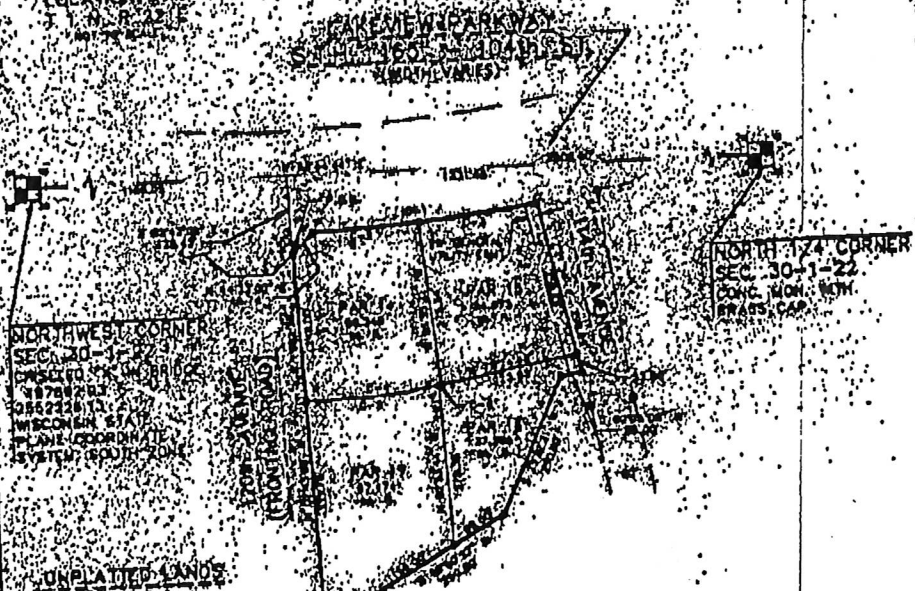
CERTIFIED SURVEY MAP NO. 1456  
REGISTERED IN THE PUBLIC RECORDS OF THE  
COUNTY OF KENOSHA, WISCONSIN, ON  
AUGUST 9, 1951, AT 2:29 PM.  
REGISTER-OF DEEDS



LOCATION MAP  
T. 1 N. R. 22 E.  
S. 30

**UNITED**

SECTION 30-1-22



NORTHWEST CORNER  
SEC. 30-1-22  
CONCRETE MON. WITH  
BRASS CAP  
N 87°28'51" E  
285.225 (1)  
WISCONSIN STATE  
PLANE COORDINATE  
SYSTEM SOUTH ZONE

NORTH 1/4 CORNER  
SEC. 30-1-22  
CONC. MON. WITH  
BRASS CAP

DISTRICT 1  
C.S.M. No. 1456

NO.	DESCRIPTION	DATE
1	...	...
2	...	...
3	...	...
4	...	...
5	...	...
6	...	...
7	...	...
8	...	...
9	...	...
10	...	...

- NOTES:**
- INDICATES 1" X 3/4" IRON PIPE WEIGHING 1.13 LBS. PER LINEAL FOOT.
  - INDICATES FOUND AND ACCEPTED 5/8" IRON ROD WITH PLASTIC CAP.

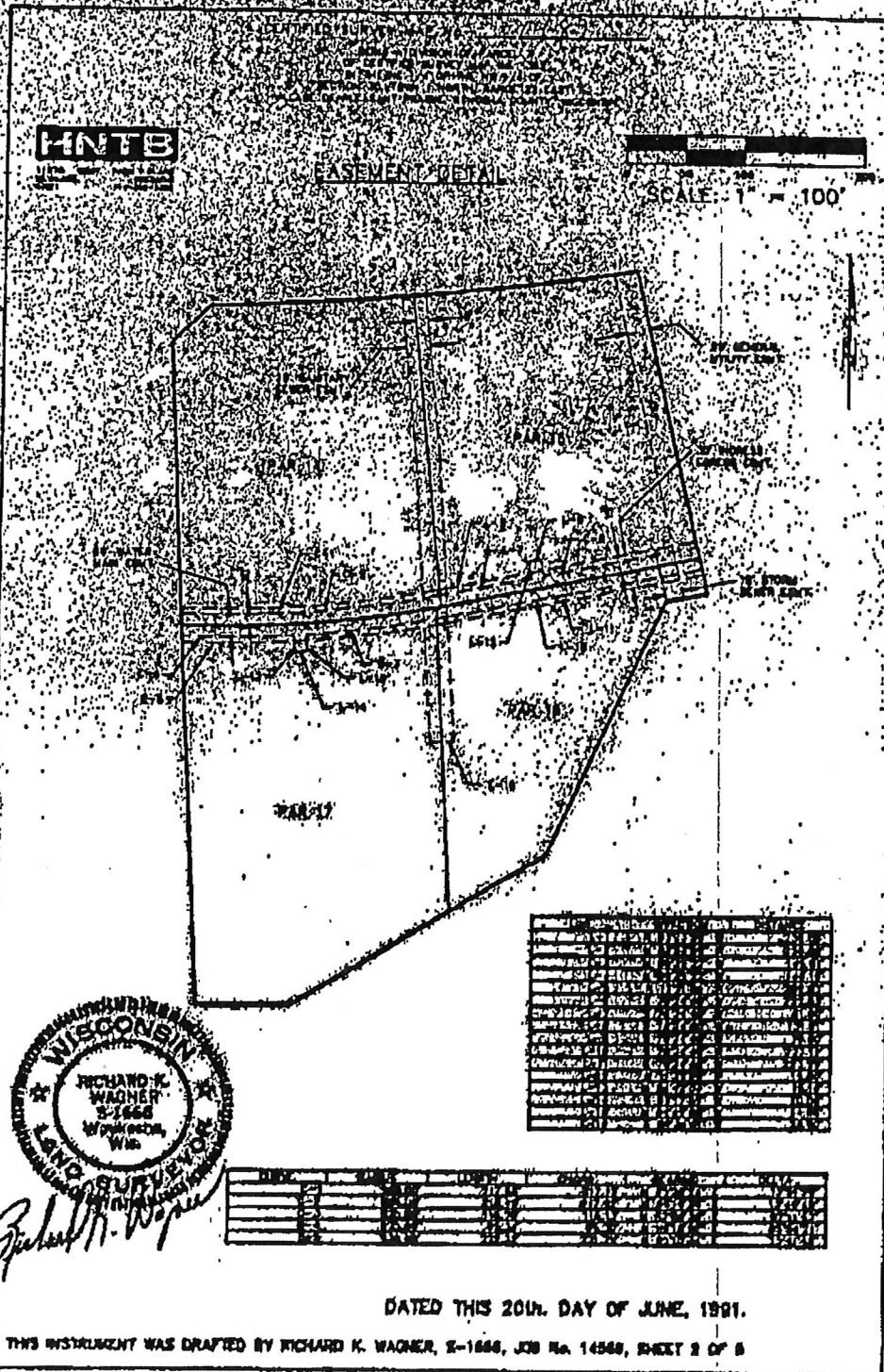
ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE NORTH LINE OF THE NW 1/4 OF SECTION 30-1-22 WAS USED AS N 87°44'44" E.



DATED THIS 20th DAY OF JUNE, 1991.

THIS INSTRUMENT WAS DRAFTED BY RICHARD K. WACHNER, S-1888, JOB No. 14566, SHEET 1 OF 6

1-157



NER

157111

1436 155

CERTIFIED SURVEY MAP NO. 1162

Kenosha County, Wisconsin  
Village of Pleasant Prairie, Kenosha County, Wisconsin

SURVEYOR'S CERTIFICATE

State of Wisconsin

County of Washesh

I, RICHARD K. WAGNER, Registered Land Surveyor, do hereby certify

That I have surveyed, divided and mapped all of Parcel 7 of Certified Survey Map No. 1162, recorded on June 13, 1990, in Volume 1398 of Records, or Pages 497 thru 500, as Document No. 844372, in the Northeast 1/4 of the Northwest 1/4 of Section 30, Town 3 North, Range 22 East, of the Village of Pleasant Prairie, Kenosha County, Wisconsin, bounded and described as follows:

Commencing at the Northwest corner of said Section 30, thence N89° 41' 44" East along the North line of said Northwest 1/4 Section, 1160.05 feet; thence South 02° 43' 08" East, 121.42 feet to the place of beginning of the following description:

Thence North 44° 33' 10" East, 45.24 feet to a point in the South line of S.T.H. 163 and a point in a curve, thence North 61° 41' along the South line of said highway and the arc of said curve, whose center lies to the North, whose radius is 2939.79 feet and whose chord bears North 84° 16' 05" East, 363.12 feet to the West line of 114th Avenue; thence South 12° 21' 54" East, 290.69 feet; thence South 80° 03' 20" West, 35.00 feet; thence South 23° 32' 21" West, 250.00 feet; thence South 51° 40' 27" West, 250.00 feet; thence South 10° 44' 44" West, 80.00 feet to the East line of 120th Avenue (Pleasant Road); thence North 02° 43' 08" West and along the East line of said 120th Avenue, 382.78 feet to the place of beginning.

Containing in all 5.077 acres of land, more or less.

That I have made such survey, map, divided and map by the direction of WISPAK, Corporation, owner of said land.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 230 of the Wisconsin Statutes and the Village of Pleasant Prairie Subdivision Control Ordinance in surveying, dividing and mapping the same.

Dated this 20th day of June 1991.

Richard K. Wagner, R.L.S.  
Registered Land Surveyor, Wisconsin



THIS INSTRUMENT WAS DRAFTED BY RICHARD K. WAGNER, S-1664  
JOB NO. 14364

SHEET 1 OF 1

WAGNER&SUN

PL 1456 JUNE 15 1997

CERTIFIED SURVEY MAP NO. 1456

PLANNED DEVELOPMENT OF  
C&G TRACT, BEING A DIVISION OF PART 7 OF C&G No. 1362 IN THE NE 1/4 OF  
THE NW 1/4 OF SECTION 30, TOWN 2 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT FRIDGE,  
KANSAS COUNTY, MISSOURI

VILLAGE PLAN COMMISSION APPROVAL

This certified survey map is hereby approved by the Plan Commission of the Village of Pleasant Fridge on  
this 20th day of June 1997.

*Wayne E. K...*  
Chairman of Village Plan Commission

VILLAGE BOARD APPROVAL

Resolved that this certified survey map being a division of Part 7 of C&G No. 1362 in the NE 1/4 of  
the NW 1/4 of Section 30, Town 2 North, Range 22 East, in the Village of Pleasant Fridge, Kansas County,  
Missouri, having been approved by the Plan Commission being the same is hereby approved by the Village Board  
of Trustees of the Village of Pleasant Fridge on this 20th day of June 1997.

*John A. ...*  
Village President

ATTEST

*Donna L. ...*  
Village Clerk

DATED THIS 20TH DAY OF JUNE 1997



*Richard K. Wagner*

THIS INSTRUMENT WAS DRAFTED BY RICHARD K. WAGNER, S-1456  
JOB NO. 14566

SHEET 2 OF 2

WWW.KENOSHA.COM



EXHIBIT B

EXHIBIT



10614 STREET

11414 AVENUE

12014 AVENUE  
(FRONTAGE ROAD)

PARCEL 15

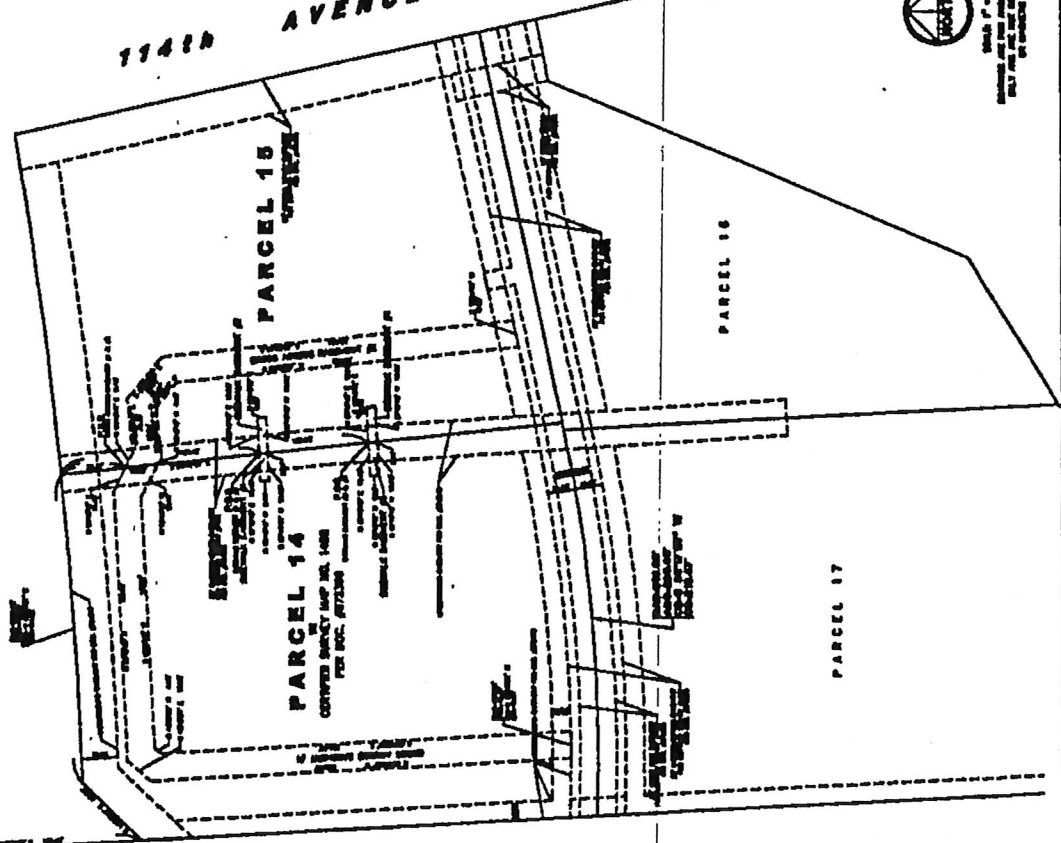
PARCEL 14

PARCEL 16

PARCEL 17



Scale 1" = 20'  
NORTH ARROW IS NOT TO SCALE  
DATE: 10/15/14



# W-T LAND SURVEYING, INC.

LAND AND CONSTRUCTION SURVEYORS  
39 E. SCULLY DRIVE SCHAUMBURG, ILLINOIS 60193  
(847) 895-3840  
FAX (847) 895-1854

## CROSS ACCESS EASEMENT #1

THAT PART OF PARCEL 14 IN CERTIFIED SURVEY MAP NUMBER 1489 PER DOCUMENT NO 872385 BEING A DIVISION OF PARCEL 7 OF CERTIFIED SURVEY MAP NO. 1362 IN THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 30; THENCE NORTH 89 DEGREES 44 MINUTES 44 SECONDS EAST ALONG THE NORTH LINE OF SAID SECTION 30, 1169.14 FEET; THENCE SOUTH 02 DEGREES 43 MINUTES 08 SECONDS EAST, 128.42 FEET; THENCE NORTH 44 DEGREES 33 MINUTES 09 SECONDS EAST, 45.74 FEET TO A POINT IN ON THE SOUTH RIGHT OF WAY LINE OF 104<sup>th</sup> STREET ALSO BEING A POINT ON A CURVE; THENCE NORTHEASTERLY ALONG SAID SOUTH RIGHT OF WAY LINE ALSO BEING A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 2939.79 FEET AND AN ARC DISTANCE OF 172.00 FEET TO THE NORTHEAST CORNER OF SAID PARCEL 14; THENCE SOUTH 05 DEGREES 35 MINUTES 22 SECONDS EAST ALONG THE EAST LINE OF SAID PARCEL 14, 35.37 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 05 DEGREES 35 MINUTES 22 SECONDS EAST ALONG SAID LINE, 17.86 FEET; THENCE NORTH 62 DEGREES 43 MINUTES 12 SECONDS WEST, 20.16 FEET; THENCE SOUTH 87 DEGREES 16 MINUTES 48 SECONDS WEST, 139.91 FEET; THENCE SOUTH 42 DEGREES 16 MINUTES 52 SECONDS WEST, 4.52 FEET; THENCE SOUTH 02 DEGREES 43 MINUTES 08 SECONDS EAST, 224.04 FEET TO A POINT ON A CURVE; THENCE SOUTHWESTERLY ALONG A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 900.00 FEET AND AN ARC DISTANCE OF 15.01 FEET; THENCE NORTH 02 DEGREES 43 MINUTES 08 SECONDS WEST, 229.62 FEET; THENCE NORTH 42 DEGREES 16 MINUTES 52 SECONDS EAST, 16.95 FEET; THENCE NORTH 87 DEGREES 16 MINUTES 48 SECONDS EAST, 150.15 FEET; THENCE SOUTH 62 DEGREES 43 MINUTES 12 SECONDS EAST, 14.48 FEET TO THE POINT OF BEGINNING, CONTAINING 5998.97 SQUARE FEET.

# W-T LAND SURVEYING, INC.

LAND AND CONSTRUCTION SURVEYORS  
39 E. SCULLY DRIVE SCHAUMBURG, ILLINOIS 60193  
(847) 895-3840  
FAX (847) 895-1854

## CROSS ACCESS EASEMENT #2

THAT PART OF PARCEL 15 IN CERTIFIED SURVEY MAP NUMBER 1489 PER DOCUMENT NO 872365 BEING A DIVISION OF PARCEL 7 OF CERTIFIED SURVEY MAP NO. 1362 IN THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 30; THENCE NORTH 89 DEGREES 44 MINUTES 44 SECONDS EAST ALONG THE NORTH LINE OF SAID SECTION 30, 1169.14 FEET; THENCE SOUTH 02 DEGREES 43 MINUTES 08 SECONDS EAST, 128.42 FEET; THENCE NORTH 44 DEGREES 33 MINUTES 09 SECONDS EAST, 45.74 FEET TO A POINT IN ON THE SOUTH RIGHT OF WAY LINE OF 104<sup>th</sup> STREET ALSO BEING A POINT ON A CURVE; THENCE NORTHEASTERLY ALONG SAID SOUTH RIGHT OF WAY LINE ALSO BEING A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 2939.79 FEET AND AN ARC DISTANCE OF 172.00 FEET TO THE NORTHWEST CORNER OF SAID PARCEL 15; THENCE SOUTH 05 DEGREES 35 MINUTES 22 SECONDS EAST ALONG THE WEST LINE OF SAID PARCEL 15, 35.37 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 62 DEGREES 43 MINUTES 38 SECONDS EAST, 30.33 FEET; THENCE SOUTH 50 DEGREES 35 MINUTES 22 SECONDS EAST, 30.00 FEET; THENCE SOUTH 05 DEGREES 35 MINUTES 22 SECONDS EAST, 192.23 FEET; THENCE SOUTH 78 DEGREES 24 MINUTES 40 SECONDS WEST, 15.08 FEET; THENCE NORTH 05 DEGREES 35 MINUTES 22 SECONDS WEST, 187.66 FEET; THENCE NORTH 50 DEGREES 35 MINUTES 22 SECONDS WEST, 17.57 FEET; THENCE SOUTH 84 DEGREES 24 MINUTES 38 SECONDS WEST, 28.54 FEET; THENCE NORTH 62 DEGREES 43 MINUTES 12 SECONDS WEST, 4.13 FEET TO A POINT ON THE WEST LINE OF SAID PARCEL 15; THENCE NORTH 05 DEGREES 35 MINUTES 22 SECONDS WEST ALONG SAID WEST LINE, 17.88 FEET TO THE POINT OF BEGINNING, CONTAINING 3748.45 SQUARE FEET.

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## SIDEWALK EASEMENT #1

THAT PART OF PARCEL 14 IN CERTIFIED SURVEY MAP NUMBER 1489 PER DOCUMENT NO 872385 BEING A DIVISION OF PARCEL 7 OF CERTIFIED SURVEY MAP NO. 1362 IN THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 30; THENCE NORTH 89 DEGREES 44 MINUTES 44 SECONDS EAST ALONG THE NORTH LINE OF SAID SECTION 30, 1169.14 FEET; THENCE SOUTH 02 DEGREES 43 MINUTES 08 SECONDS EAST, 128.42 FEET; THENCE NORTH 44 DEGREES 33 MINUTES 09 SECONDS EAST, 45.74 FEET TO A POINT IN ON THE SOUTH RIGHT OF WAY LINE OF 104<sup>th</sup> STREET ALSO BEING A POINT ON A CURVE; THENCE NORTHEASTERLY ALONG SAID SOUTH RIGHT OF WAY LINE ALSO BEING A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 2939.79 FEET AND AN ARC DISTANCE OF 172.00 FEET TO THE NORTHEAST CORNER OF SAID PARCEL 14; THENCE SOUTH 05 DEGREES 35 MINUTES 22 SECONDS EAST ALONG THE EAST LINE OF SAID PARCEL 14, 108.40 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 05 DEGREES 35 MINUTES 22 SECONDS EAST ALONG SAID LINE, 5.01 FEET; THENCE SOUTH 87 DEGREES 16 MINUTES 48 SECONDS WEST, 15.68 FEET; THENCE NORTH 02 DEGREES 43 MINUTES 12 SECONDS WEST, 5.00 FEET; THENCE NORTH 87 DEGREES 16 MINUTES 48 SECONDS EAST, 15.43 FEET TO THE POINT OF BEGINNING, CONTAINING 77.79 SQUARE FEET.

# W-T LAND SURVEYING, INC.

LAND AND CONSTRUCTION SURVEYORS  
39 E. SCULLY DRIVE SCHAUMBURG, ILLINOIS 60193  
(847) 895-3640  
FAX (847) 895-1854

## SIDEWALK EASEMENT #2

THAT PART OF PARCEL 15 IN CERTIFIED SURVEY MAP NUMBER 1489 PER DOCUMENT NO 872365 BEING A DIVISION OF PARCEL 7 OF CERTIFIED SURVEY MAP NO. 1362 IN THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 30; THENCE NORTH 89 DEGREES 44 MINUTES 44 SECONDS EAST ALONG THE NORTH LINE OF SAID SECTION 30, 1169.14 FEET; THENCE SOUTH 02 DEGREES 43 MINUTES 08 SECONDS EAST, 128.42 FEET; THENCE NORTH 44 DEGREES 33 MINUTES 09 SECONDS EAST, 45.74 FEET TO A POINT IN ON THE SOUTH RIGHT OF WAY LINE OF 104<sup>th</sup> STREET ALSO BEING A POINT ON A CURVE; THENCE NORTHEASTERLY ALONG SAID SOUTH RIGHT OF WAY LINE ALSO BEING A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 2939.79 FEET AND AN ARC DISTANCE OF 172.00 FEET TO THE NORTHWEST CORNER OF SAID PARCEL 15; THENCE SOUTH 05 DEGREES 35 MINUTES 22 SECONDS EAST ALONG THE WEST LINE OF SAID PARCEL 15, 108.40 FEET TO THE POINT OF BEGINNING; THENCE NORTH 87 DEGREES 16 MINUTES 48 SECONDS EAST, 19.96 FEET; THENCE SOUTH 02 DEGREES 43 MINUTES 12 SECONDS EAST, 5.00 FEET; THENCE SOUTH 87 DEGREES 16 MINUTES 48 SECONDS WEST, 19.96 FEET TO A POINT ON THE WEST LINE OF SAID PARCEL 15; THENCE NORTH 05 DEGREES 35 MINUTES 22 SECONDS WEST ALONG SAID LINE, 5.01 FEET TO THE POINT OF BEGINNING, CONTAINING 99.82 SQUARE FEET.

# W-T LAND SURVEYING, INC.

LAND AND CONSTRUCTION SURVEYORS  
39 E. SCULLY DRIVE SCHAUMBURG, ILLINOIS 60193  
(847) 895-3840  
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## SIDEWALK EASEMENT #3

THAT PART OF PARCEL 14 IN CERTIFIED SURVEY MAP NUMBER 1489 PER DOCUMENT NO 872365 BEING A DIVISION OF PARCEL 7 OF CERTIFIED SURVEY MAP NO. 1362 IN THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 30; THENCE NORTH 89 DEGREES 44 MINUTES 44 SECONDS EAST ALONG THE NORTH LINE OF SAID SECTION 30, 1169.14 FEET; THENCE SOUTH 02 DEGREES 43 MINUTES 08 SECONDS EAST, 128.42 FEET; THENCE NORTH 44 DEGREES 33 MINUTES 09 SECONDS EAST, 45.74 FEET TO A POINT IN ON THE SOUTH RIGHT OF WAY LINE OF 104<sup>th</sup> STREET ALSO BEING A POINT ON A CURVE; THENCE NORTHEASTERLY ALONG SAID SOUTH RIGHT OF WAY LINE ALSO BEING A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 2939.79 FEET AND AN ARC DISTANCE OF 172.00 FEET TO THE NORTHEAST CORNER OF SAID PARCEL 14; THENCE SOUTH 05 DEGREES 35 MINUTES 22 SECONDS EAST ALONG THE EAST LINE OF SAID PARCEL 14, 168.65 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 05 DEGREES 35 MINUTES 22 SECONDS EAST ALONG SAID LINE, 5.01 FEET; THENCE SOUTH 87 DEGREES 16 MINUTES 48 SECONDS WEST, 18.70 FEET; THENCE NORTH 02 DEGREES 43 MINUTES 12 SECONDS WEST, 5.00 FEET; THENCE NORTH 87 DEGREES 16 MINUTES 48 SECONDS EAST, 18.45 FEET TO THE POINT OF BEGINNING, CONTAINING 92.87 SQUARE FEET.

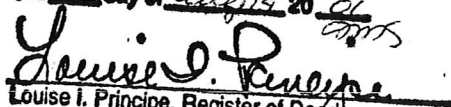
# W-T LAND SURVEYING, INC.

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## SIDEWALK EASEMENT #4

THAT PART OF PARCEL 15 IN CERTIFIED SURVEY MAP NUMBER 1489 PER DOCUMENT NO 872365 BEING A DIVISION OF PARCEL 7 OF CERTIFIED SURVEY MAP NO. 1362 IN THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 30; THENCE NORTH 89 DEGREES 44 MINUTES 44 SECONDS EAST ALONG THE NORTH LINE OF SAID SECTION 30, 1169.14 FEET; THENCE SOUTH 02 DEGREES 43 MINUTES 08 SECONDS EAST, 128.42 FEET; THENCE NORTH 44 DEGREES 33 MINUTES 09 SECONDS EAST, 45.74 FEET TO A POINT IN ON THE SOUTH RIGHT OF WAY LINE OF 104<sup>th</sup> STREET ALSO BEING A POINT ON A CURVE; THENCE NORTHEASTERLY ALONG SAID SOUTH RIGHT OF WAY LINE ALSO BEING A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 2939.79 FEET AND AN ARC DISTANCE OF 172.00 FEET TO THE NORTHWEST CORNER OF SAID PARCEL 15; THENCE SOUTH 05 DEGREES 35 MINUTES 22 SECONDS EAST ALONG THE WEST LINE OF SAID PARCEL 15, 168.65 FEET TO THE POINT OF BEGINNING; THENCE NORTH 87 DEGREES 16 MINUTES 48 SECONDS EAST, 19.96 FEET; THENCE SOUTH 02 DEGREES 43 MINUTES 12 SECONDS EAST, 5.00 FEET; THENCE SOUTH 87 DEGREES 16 MINUTES 48 SECONDS WEST, 19.96 FEET TO A POINT ON THE WEST LINE OF SAID PARCEL 15; THENCE NORTH 05 DEGREES 35 MINUTES 22 SECONDS WEST ALONG SAID LINE, 5.01 FEET TO THE POINT OF BEGINNING, CONTAINING 99.82 SQUARE FEET.

I hereby certify that the adjacent  
photograph has been compared  
with the record on file in this office  
and is a true copy thereof. I have  
hereunto affixed my official seal  
this 30 day of August, 2001

  
Louise I. Principe, Register of Deeds  
Kenosha County, Wisconsin



COPY



DOCUMENT NUMBER

1356127

RECORDED  
At Kenosha County, Kenosha, WI 53140  
Louise I. Principe, Register of Deeds  
on 10/07/2003 at 7:07AM  
30064787 \$19.00

REC'D

HAPP

**VILLAGE OF PLEASANT PRAIRIE  
CONDITIONAL USE GRANT NO. 03-13**

Before the Village of Pleasant Prairie Plan Commission,  
Kenosha County, Wisconsin, in regard to the property  
located at 10477 120<sup>th</sup> Avenue.

Return to:  
Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

Tax Parcel Number:  
92-4-122-302-0130-0

19

**Legal Description:**

Lot "14" of Certified Survey Map No. 1489, f/k/a a part of Certified Survey Map No. 1362, located in a part of the Northeast One-Quarter of the Northwest One-Quarter of Section 30, Township 1 North, Range 22 East of the Fourth Principal Meridian, located in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

**WHEREAS**, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

**WHEREAS**, such petition having been made on behalf of the property owner, Amoco Oil Company, for a 203 square foot restroom addition to the existing bp connect gasoline station/convenience store located at 10477 120<sup>th</sup> Avenue in the LakeView Corporate Park, and public hearing held thereon, and the Village Plan Commission having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance. Specifically, based upon the information presented at the public hearing the project meets the following standards for granting a Conditional Use Permit including Site and Operational Plan for the specified project in that the project:

- does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services;
- does not impair an adequate supply of light and air to the adjacent properties;
- does not increase danger of fire, in so far as the danger of fire does not exceed the capabilities of the Village Fire and Rescue Department as shown in the Fire and Rescue Department comments dated July 25, 2003;
- does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare;
- has no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use;





- the proposed and applied for use on this particular parcel is not inherently inconsistent with either the B-4 (PUD), Freeway Service Business District in which it is located or the surrounding business, industrial and institutional zoned districts and surrounding neighborhood; and
- the proposed and applied for use will comply with all applicable Village ordinance requirements and all other applicable Federal, State or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection.

**NOW THEREFORE**, a Conditional Use Permit and including Site and Operational Plan approval is granted, subject to compliance with the terms and conditions hereinafter stated for a 203 square foot restroom addition to the existing bp connect gasoline station/convenience store located at 10477 120<sup>th</sup> Avenue in the LakeView Corporate Park, subject to:

1. Continued compliance with the following (as on file with the Village):
  - Zoning Text Amendment (Ordinance #01-32), creating the BP-AMOCO PUD (Planned Unit Development).
  - Year 2001 Site & Operational Plans for the redevelopment/reconstruction and operation of a 24-hour gasoline station and convenience store as the current bp connect (f/k/a Amoco).
2. Compliance with the Village Fire & Rescue Chief's comments dated July 25, 2003, as on file with the Village.
3. All exterior building colors and building materials of the addition shall match the exterior building colors and building materials of the existing structure. Some of the notes/details on Plan Sheets SB02 A.2.1 and SB02 A.2.2 are incorrect, or need to be adjusted:

Specifically, the following changes shall be made to these Plan Sheets:

- The note under the Exterior Finish table AL-1 stating "FINISH TO MATCH BRICK AS CLOSE AS POSSIBLE" shall instead read "FINISH SHALL MATCH THE BRICK ON THE EXISTING PORTION OF THE BP CONNECT STRUCTURE". Given the recent construction of the convenience store structure, it should not be difficult to find the exact same brick for the building addition.
  - The Split Face C.M.U. at the base of the restroom addition (Exterior Finish CMU-1) shall be the identical material and color as the existing Split Face C.M.U. at the base of the existing convenience store. The Split Face C.M.U. on the addition shall **not** have "Field Applied Color to Match" as noted in the Exterior Paints note C-09. The Split Face C.M.U. at the base of the restroom shall be of its natural color and shall not be painted.
  - The prefabricated continuous nailable roof ridge (#7 key) that currently exists on top of the northern brick wall (above the Wild Bean Café wall sign) shall indicate that the color is C-09, rather than the color C-06.
4. Other modifications to the plans shall be made as follows.
    - There is an unscreened rooftop vent/mechanical unit on the north side of the roof that is not depicted on the plan sets. All rooftop vents/mechanical units shall be sufficiently screened. This issue needs to be discussed and addressed.
    - Pursuant to Conditional Use Grant No. 01-11, there is to be no outside storage on this site. There is an ice machine located on the south side of the building, which needs to be permanently removed from the site. Ice can be sold from inside the convenience store.

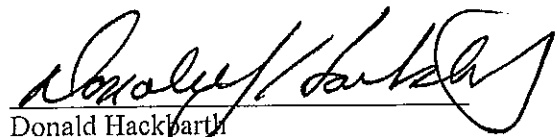
- All galvanized downspouts, including the new galvanized downspout on the addition, shall be metal encased to be identical to the existing downspouts.
  - The existing damaged downspout metal encasement on the downspout located at the southeast corner of the building is dented/damaged and shall be repaired.
  - Concrete sidewalk shall be extended southwards, along the west side of the restroom addition and through the landscaped peninsula, to the parking lot.
  - The grass in the landscaped peninsula adjacent to the restroom addition shall be repaired.
5. All required exit and emergency lighting, toilet room facilities, and exit doors will be required to be operational at the time of occupancy.
  6. The selection, location, installation and maintenance, of fire extinguishers, fire suppression and/or detection devices, and/or fire alarms require Fire and Rescue approval. Contact the Pleasant Prairie Fire & Rescue Department at 262-694-8027.
  7. Comm 52.24 requires a separate room or designated space, within or adjacent to the building, for the separation, temporary storage and collection of recyclables.
  8. International symbols for barrier-free environments will be required at the front door and toilet room doors.
  9. The Pleasant Prairie Fire & Rescue Department requires that exit and emergency lighting be on easily identifiable local lighting circuit(s), separate circuit(s) or other pre-approved circuit(s), so that when tested will not cause disruption or inconvenience.
  10. Comm 52.21 requires that all passageways to and from the exits shall be kept in good repair and unobstructed at all times.
  11. **Building and Electrical and Plumbing permits must be issued prior to beginning work.**
  12. **This project can be reviewed by the Village through a Certified Municipal Review.**
  13. A final inspection shall be conducted by the Village Building Inspector and Fire & Rescue Department prior to occupancy of the building.
  14. Any required electrical work will require a permit to be issued by the Village to a Village licensed electrical contractor.
  15. No changes to the exterior site shall be made without the Village's approval. In addition, any addition, alteration, extension, expansion or other proposed change in the approved operation shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
  16. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
  17. **Prior to commencing work and prior to occupancy, a Commercial Building/Occupancy Permit shall be applied for, the proper permit fees paid, and approved by the Village. Permits and a Certificate of Compliance shall be issued by the Village prior to operation of this facility to ensure compliance with permit requirements.**
  18. All plans shall conform to applicable Village ordinance requirements, and to all other applicable local, state and federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.

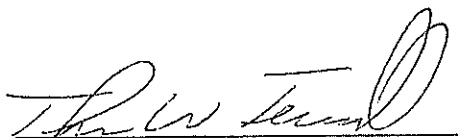
19. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 12.12 of the Village Zoning Ordinance.
20. The number of parking spaces provided for in the Zoning Ordinance are minimum requirements, and the developer/owner shall ensure that adequate on-site parking and loading areas are or can be provided for the proposed use(s) on the site operated at full capacity.
21. As information, nearly all signage requires a sign permit any new signs or changes to existing signs shall be in compliance with all Village Sign regulations.
22. All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well-cared-for and attractive condition.
23. The Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application and related materials and information presented at the public hearing that the project as planned, will not violate the intent and purpose of all Village Ordinances and meets the minimum standards for granting of a Conditional Use Permit. Furthermore, the Plan Commission shall not approve any site and operational plan application without finding in the decision that the application, coupled with satisfaction of any conditions of approval, will comply with all applicable Village ordinance requirements and all other applicable Federal, State or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection.
24. No changes to the exterior site or building conditions shall be made without the Village's approval. In addition, any addition, alteration, extension, expansion, repair or other proposed change in the approved operation shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
25. Prior to issuance of building permits, the property owner shall sign this Conditional Use Grant Document and this document shall be recorded at the Kenosha County Register of Deeds office prior to issuance of any permits.
26. This Conditional Use Grant shall become effective upon the execution and recording of this document and shall constitute an effective covenant running with the land. This Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
27. For purposes of obtaining a Conditional Use Permit, erosion control permit and/or a building permit, a Site and Operational Plan approval shall be effective for a period of 180 days from the date of written notification of the decision to the applicant. If permits are not issued within said 180 days the Site and Operational Plan approval shall be void.
28. No Conditional Use Permit, erosion control permit or building permit shall be issued by the Community Development Department until Site and Operational Plan approval has been granted, and until all conditions precedent set forth in the approval have been satisfied, and until the final plans have been fully signed as required. (Note that the Chief of the Village Fire & Rescue Department has review and approval authority with respect to matters relating to fire protection, independent of the Community Development Department, pursuant to Chapter 5 of the Village Municipal Code. In a situation where review of a signage plan and/or landscaping plan has been deferred pursuant to Subsection 12.11-05(g) of the Village Zoning Ordinance no permit relating to signage and/or landscaping, respectively, shall be issued until approval of the deferred plan has been granted, and until all conditions precedent set forth in such approval have been

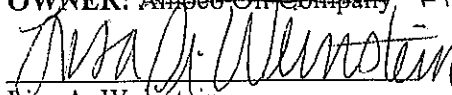
satisfied, and until the final plan has been fully signed as required by Subsection 12.11-05(h), of the Village Zoning Ordinance.

Granted by the action of the Village of Pleasant Prairie Plan Commission the 28<sup>th</sup> day of July 2003.

ATTEST:

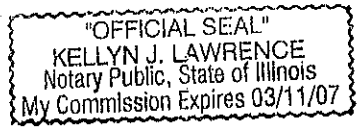
  
Donald Hackbarth  
Secretary

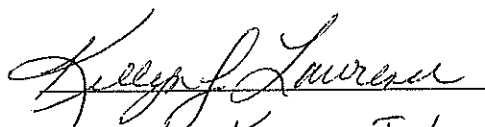
  
Thomas W. Terwall  
Plan Commission Chairman

OWNER: ~~Amoco Oil Company~~ BP PRODUCTS NORTH AMERICA INC.  
  
Lisa A. Weinstein  
Real Estate Project Manger

ACKNOWLEDGMENT  
STATE OF WISCONSIN)  
SS  
KENOSHA COUNTY)

Personally came before me this 25<sup>th</sup> day of August, 2003, the above named to me known to be the person (**Lisa A. Weinstein**) who executed the foregoing instrument and acknowledge the same.



  
Print Name: KELLYN J. LAWRENCE  
Notary Public, DuPage County, IL  
My Commission expires: 3/11/07

**THIS INSTRUMENT WAS DRAFTED BY:**  
Jean M. Werbie, Community Development Director  
Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, Wisconsin 53158

13 BP Connect (Restroom Add)



Filed _____	20	Published _____	20
Public Hearing _____	20	_____	20
Fee Paid _____	20	Approved _____	20
Notices Mailed _____	20	Denied _____	20

**VILLAGE OF PLEASANT PRAIRIE, WISCONSIN  
ZONING MAP AND TEXT AMENDMENT APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be rezoned from the present B-2, PUD Community Business District(s) to B-2, Revised PUD Community Business District(s). The property petitioned to be rezoned is located at: 10477 – 120<sup>th</sup> Avenue, Pleasant Prairie, WI and is legally described

(address)

as follows: **Part of the Northeast ¼ of Northwest ¼ of Section 30, Township 1 North, Range 22 East, Lot 14 of Certified Survey Map Number 1489 in Volume 1456, Page 153.**

Tax Parcel Number(s): **92-4-122-302-0130**

The proposed use for this property is: gasoline and convenience store.

Petitioner's interest in the requested rezoning: Owner of the real estate and business.

Compatibility with adjacent land uses: McDonald's to the South and Culvers to the East.

I (We) are also requesting a Zoning Text Amendment to amend Section \_\_\_\_\_ of the Village Zoning Ordinance.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request to determine additional information that may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

**PROPERTY OWNER:**

Print Name: Dixit Patel, VIDHYA Corp, VIII, Inc.

Signature: Dixit Patel

Address: 1491 W. Roosevelt Road

West Chicago                      Illinois                      60185  
(City)                                      (State)                                      (Zip)

Phone: 630.479.1529

Fax: 630-562-3349

Email: ddwcl@sbcglobal.net

Date 9-20-2012

**OWNER'S AGENT:**

Print Name: Attorney J. Michael McTernan

Signature: J. Michael McTernan

Address: 6633 Green Bay Road

Kenosha                                      Wisconsin                                      53142  
(City)    (State)    (Zip)

Phone: 262.654.8700

Fax: 262.654.8600

Email: jmm@addmlaw.com

Date: 9-17-2012



**VILLAGE OF PLEASANT PRAIRIE  
SITE AND OPERATIONAL PLAN  
AND CONDITIONAL USE PERMIT ZONING APPLICATION**

**USE THIS FORM FOR:**

Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.

To construct a new or addition to principal or accessory structure.

Use requires a Conditional Use Permit.

**FOR OFFICE USE ONLY**

Application Filed on	20
Preliminary Determination of Completeness on:	20
Revised Plans Submitted:	20
Public Hearing Required: Hearing Date:	, 20
Published on: and	, 20 Notices sent on: , 20
Approved by Plan Commission on	20
Zoning Administrator on	20
Denied by Plan Commission on	20
Zoning Administrator on	20

**SECTION 1: GENERAL INFORMATION**

**NAME OF BUSINESS:** BP Gas Station

**SITE ADDRESS:** 10477 – 120<sup>th</sup> Avenue, Pleasant Prairie, WI 53158

**BRIEF PROJECT DESCRIPTION:** Gasoline and convenience store.

**PROPOSED NUMBER OF FULL TIME EMPLOYEES:** FOUR

**PROPOSED NUMBER OF PART-TIME EMPLOYEES:** Three

**SITE SIZE:** 59,241 sq. ft. 1.36 acres

**PROPOSED BUILDING SIZE:** \_\_\_\_\_ sq.ft. **HEIGHT:** \_\_\_\_\_ ft.

**PROPOSED ADDITION SIZE:** 10 feet x 15 feet (150 sq.ft.) **HEIGHT:** 12 ft. (same as building)

**LEGAL DESCRIPTION:** Part of the Northeast ¼ of Northwest ¼ of Section 30, Township 1 North, Range 22 East, Lot 14 of Certified Survey Map Number 1489 in Volume 1456, Page 153.

**TAX PARCEL NUMBER(S):** 92-4-122-302-0130

**CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY:** Commercial

1. Is a zoning map amendment proposed with this project?  Yes  No
  - If yes, proposed Zoning Classification(s): PUD
2. Is a zoning text amendment proposed with this project?  Yes  No
  - If yes, provide a copy of the proposed text amendment with this application
3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:
  - Factory Group F-1 (Moderate-hazard) \_\_\_\_\_ sq ft
  - Factory Group F-2 (Low-hazard) \_\_\_\_\_ sq ft

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- Storage Group S-1 (Moderate-hazard) \_\_\_\_\_ sq ft
- Storage Group S-2 (Low-hazard) \_\_\_\_\_ sq ft
- Business Group B \_\_\_\_\_ sq ft
- High-Hazard Group H\* \_\_\_\_\_ sq ft
- Other \_\_\_\_\_ sq ft
- Other \_\_\_\_\_ sq ft

*\*If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

**PUBLIC SERVICES:**

1. Is the property serviced by Public Sanitary Sewer?  YES  NO
  - If no, the closest public sewer is located at \_\_\_\_\_
2. Is the property serviced by Public Water?  YES  NO
  - If no, the closest public water is located at \_\_\_\_\_
3. Maximum number of gallons/minute of water expected to be used per day is: unchanged from current use of bathroom facilities.

**THIS APPLICATION IS FOR A: (check one)**

Preliminary Site and Operational Plan: An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown

New Site and Operational Plan

Amendment to an existing Site and Operational Plan

- Date of initial site and operational plan approval: June 25, 2001 - P.C.
- Date of each approved amendment: July 2, 2001 - VILLAGE BOARD

**SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE**

Are there any existing buildings on the site?  YES  NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
- If no, what is the current use of the property? \_\_\_\_\_

### SECTION 3: PHOTOGRAPHS

**Standard-sized photographs** (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

### SECTION 4: CONDITIONAL USE

1. **Does the proposed project require a Conditional Use Permit?**  YES  NO
  - If no then skip to Section 5.
  - If yes, then continue with this Section.
2. **Are you amending an existing Conditional Use Permit?**  YES  NO
  - If yes, provide a copy of the Conditional Use Grant Document you are proposing to amend.
  - If no, continue with this Section.
3. If you answered YES to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

### SECTION 5: NON-CONFORMING USE

1. **Is any use on the site a nonconforming use?**  YES  NO
  - If no, then skip to Section 7.
  - If yes, then continue with this section.
2. If you answered YES to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).



## SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

## SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

**SECTION 8: SIGNATURES**

I,(We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

**PROPERTY OWNER:**

Name: VIDHYA Corp VIII, Inc.  
Mr. Dixit Patel  
Signature: *Dixit Patel*  
Address: 1491 W. Roosevelt Road  
West Chicago, Illinois 60185  
(City) (State) (Zip)  
Phone: 630.479.1529  
Fax: 630-562-3349  
E-mail: DDWC1@SBCGLOBAL.NET  
Date: September 17, 2012

**APPLICANT:**

Name: J. Michael McTernan, Attorney  
Signature: *J. Michael McTernan*  
Address: 6633 Green Bay Road  
Kenosha, Wisconsin 53142  
(City) (State) (Zip)  
Phone: 262.654.8700  
Fax: 262.654.8600  
E-mail: jmm@addmlaw.com  
Date: September 17, 2012

Is the applicant the owner of the property?  YES  NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

**DEVELOPER (if Applicable)**

Name: \_\_\_\_\_  
(Please Print)  
Signature: \_\_\_\_\_  
Address: \_\_\_\_\_  
(City) (State) (Zip)  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_  
Date: \_\_\_\_\_

**USER OR OCCUPANT OF SITE:**

Name: SAME  
(Please Print)  
Signature: \_\_\_\_\_  
Address: \_\_\_\_\_  
(City) (State) (Zip)  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_  
Date: \_\_\_\_\_

## SITE AND OPERATIONAL PLAN

BP Amoco Gas Station and Convenience Store located at 10477 – 120<sup>th</sup> Avenue is a self-service gasoline and diesel station, selling petroleum products to consumers of passenger vehicles and light trucks. It does not service or sell petroleum products to over-the-road trucks, cabs or other specialized commercial or construction vehicles. In addition, BP operates a convenience store under the brand name AM PM that provides various grocery store and automobile supplies and accessories, along with a quick service restaurant, bakery, self-service coffee bar and soda fountain, and an e-commerce area for computerized assistance with weather and traffic information. The quick service restaurant provides seating for approximately 12 people and quick food selections of bakery items, sandwiches, soups and salads. The facility also provides separate men's and women's washrooms, and various other related convenience service amenities, including but not limited to, vacuum cleaners and compressed air for automobile maintenance, automated teller machine, along with the sale of alcohol and tobacco products as authorized by its license.

Due to several reported hazardous substance releases at the BP gas station dating back to 1993, the owner's consultants are developing and installing a carbon treatment system that will treat contaminated ground water. This system needs to be installed in an enclosed and heated facility. As a result, the southeast corner of the building is being expanded in order to house the filters and pumps that are necessary to operate the carbon treatment system. This system is detailed in a Settlement Agreement being entered into between the property owner and the Village, and the property owner will obtain all applicable permits before installing said system.

The expansion of the building will measure approximately <sup>450</sup> square feet (<sup>30</sup> feet by <sup>15</sup> feet) and will simply "square" the building foot print. The same exterior building materials (brick and trim) will be used in order to match the expansion to the existing building.

The carbon treatment system will not create any disturbance to the surrounding property owners as it will be housed in an enclosed and insulated expansion of the building. It is anticipated that the system will operate off and on for several years, dependent on the rise of ground water due to changes in the weather.

This system will not require any additional staff to manage and operate, as it will be automated and will only occasionally require the replacement of carbon filters that will be disposed of using sealed drums provided and retrieved by qualified environmental disposal companies.

Moreover, the system will not alter existing operations of the gasoline station and convenience store, as those operations will continue as normal.

As currently exists, BP is currently open for business between the hours of 6am through 11pm, seven days a week, but maintains expanded hours (up to 24 hours a day) during the various peak holiday seasons. During those expanded times, additional staff is maintained in order to service the increase in

customers. Deliveries and shipments occur during those times that BP is open to the public. Currently, there are seven full time and three part time employees, but additional seasonal help is retained during those peak holiday seasons. Currently, there are only two shifts of employees, but a third shift is added when the hours are expanded. There are currently 23 parking spaces on the site, but with the expansion of the building, two parking spaces are being removed, leaving a total of 21 parking spaces (one handicapped access parking space, and twenty conventional parking spaces).

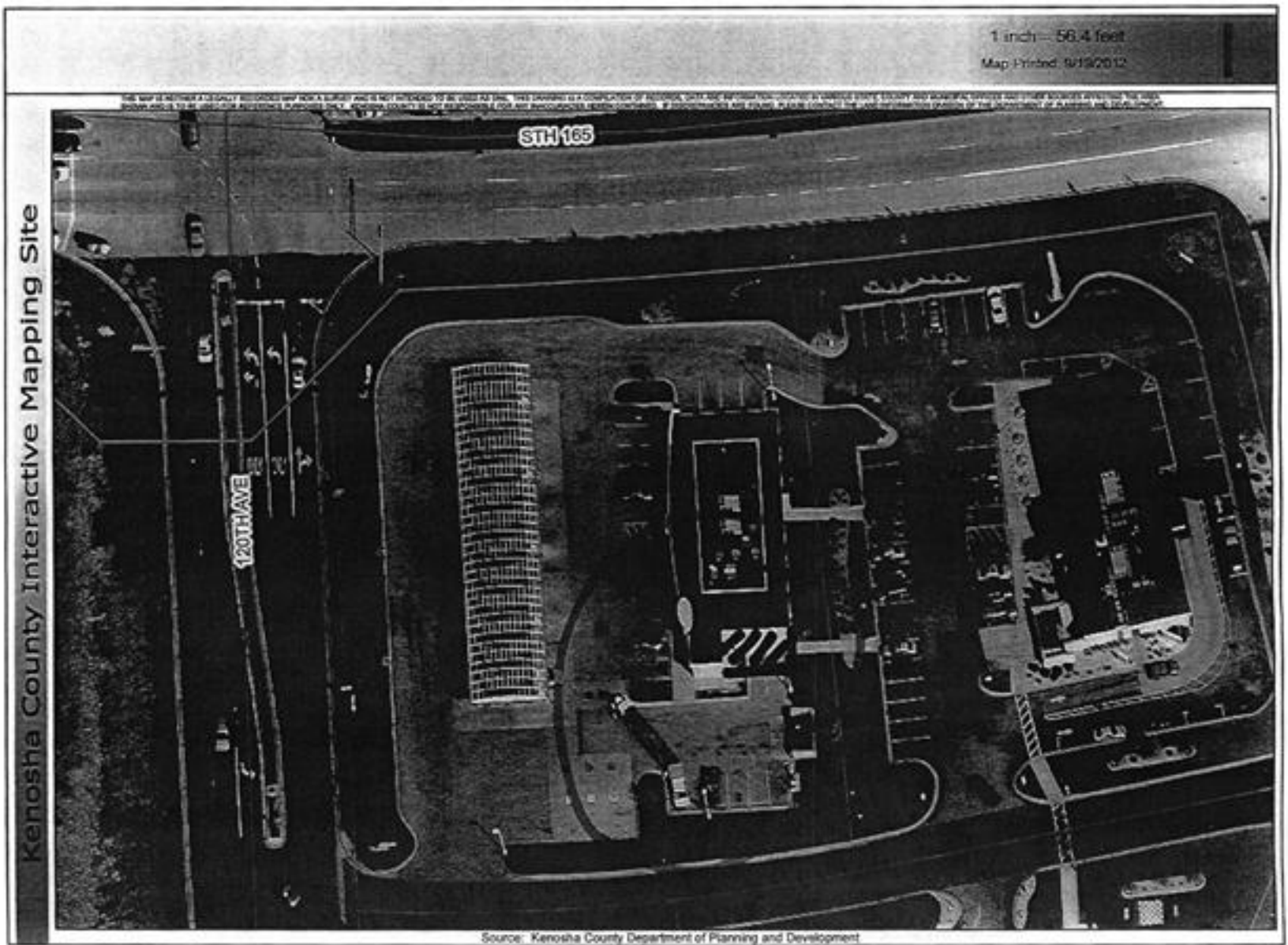
It is anticipated that traffic volumes of 500 to 1,000 daily trips will continue, and no truck trips other than deliveries of goods to the BP. The main products being sold at the BP include, but are not limited to: gasoline and diesel fuels, related automobile supplies and parts, along with food and beverages, all of which are currently being sold at the BP, which will continue after the expansion. Aside from the installation of the carbon treatment system, all of the existing equipment will continue to be utilized in the operation of the BP (petroleum delivery systems, coolers, ovens, and related food preparation equipment).

Aside from the disposal of the carbon filters, the BP only has normal household cleaners used in the maintenance of the business in order to clean the food preparation and service areas, floors and bathrooms. The only waste that is disposed of at the BP is spoiled food and drink products, grey water waste and sanitary waste from the bathrooms.

The owners have installed and maintained a fully functioning and operational security camera system. Technicians will make those modifications to the system in order to comply with the current Village ordinances.

Moreover, the owners retain landscapers to regularly maintain, replace and upgrade the landscaping that surrounds the property, including the removal of all snow and ice from the parking lots, driveways and sidewalks. In addition, employees walk the property on a regular basis to pick up debris, empty garbage cans, restock self-service washer fluids and paper towels, and to monitor the entire property in order to maintain it in a first class condition.

The owner maintains all permits and licenses required to operate its business. Those permits and licenses allow for the sale of petroleum, alcohol, tobacco, food, and related items sold in its business, issued from the various government agencies.



Document 1, Image 11 of 17

Return to: Bruce Rabe  
Kenosha Water Utility  
4401 Green Bay Road  
Kenosha, WI 53144  
Email: brabe@kenosha.org

Date Sent: \_\_\_\_\_

Date Due: \_\_\_\_\_

**VILLAGE OF PLEASANT PRAIRIE  
INDUSTRIAL WASTE SURVEY**

To be submitted to the

**Kenosha Water Utility**

**General Information**

1. Facility Name: BP Amoco Gas Station
2. Mailing Address: 1491 W. Roosevelt Road
3. City, State, Zip Code: West Chicago, Illinois 60185
4. Site Address: 10477 – 120<sup>th</sup> Avenue, Pleasant Prairie, WI 53158
5. Standard Industrial Classification Code (SIC): 5541 (Gasoline Service Station)
6. Name, Title and Telephone Number of the Authorized Representative and the Company Contact Person Responsible for Environmental Compliance.

*Authorized Representative*

Name: J. Michael McTernan  
Title: Attorney  
Phone #: 262.654.8700

*Company Contact*

Name: Dixit Patel  
Title: President  
Phone #: 630.479.1529

The authorized representative must be a president, secretary, treasurer, or vice-president of the corporation in charge of a principle business function, or general partner or proprietor, or an individual designated by the aforementioned corporate official. The designated individual must meet the following criteria: (1) the person must be responsible for the overall operation of the facilities from which discharges originate, (2) the person is authorized in writing, and (3) the written authorization is submitted to the POTW.

7. List All Environmental Control Permits Held by or for the Facility.  
None.

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**Operational Characteristics**

1. Existing Number of Employees: Full Time: Seven Part Time: Three
2. Operational Schedule: Days/Wk: 7 days a week Hours/Day: 6am – 11pm # Shifts: Two
3. Describe the nature of the business conducted at this facility ( if more than one type ,of business or manufacturing takes place, list all activities): Gasoline and convenience store operating under the licensed trade name BP Amoco.
4. List principal raw materials used: Regular, mid-grade and premium levels of gasoline, along with diesel fuel.
5. List products produced and the average rate of production: None.
6. List types of wastes created during production and any by-products produced: None.
7. Estimate the quantity of water to be used by the facility during a six month period. Record the gallons of water anticipated by this facility. 180,000 gallons.  
Indicate the source of the facility's water: Kenosha \_\_\_\_\_ Pleasant Prairie:   
Meter number or address assigned to water meter(s). Register Number: 68682280
8. Type of discharges: Continuous:  Batch \_\_\_\_\_  
If batch was indicated, give the average frequency and approximate volume of any batch discharges: \_\_\_\_\_  
\_\_\_\_\_
9. Describe the uses of water at this facility: Public bathrooms, coffee making and general cleaning of the inside of the convenience store.

**Wastewater Information**

1. A process wastewater IS any wastewater discharged other than for sanitary, non-contact cooling or boiler blow-down purposes. List activities which generate a process wastewater and the time and duration of each discharge.

Wastewater Producing Process

Time and Duration of Discharges

The owner is installing an activated carbon system to treat petroleum impacted groundwater, and will be discharged solely through the storm water system.

2. For each process wastewater stream list all the materials and pollutants which to believe may be present in the discharge.  
None.
3. Contact cooling water is cooling water that during the process comes into contact with process material, thereby becoming contaminated. Non-contact cooling water does not come into contact with process materials. Does this facility utilize cooling water?
4. Water volume used and discharged to sanitary sewer. A review of previous water usage bills may be helpful in assigning values to the following flows. If sanitary flow is not metered, provide an estimate based on 20 gallons per day fir each employee (i.e. water balance).

	Gallons per Day		Type of Wastewater Discharge (Continuous, Batch, None)
	Consumed	Discharges	
Sanitary Usage	1,500	1,500	Continuous – Toilets, sinks, etc.
Process Wastewater Usage	_____	_____	_____
Cooling Water Usage	_____	_____	_____
Other Usage	_____	_____	_____
Total Volume	1,500	1,500	_____

5. Describe all locations where wastewaters enter the collection system: None.
6. Is there a sampling manhole on site? No X Yes \_\_\_\_\_  
If yes, describe the locations: \_\_\_\_\_  
\_\_\_\_\_
7. Are sanitary and process wastewaters separated? No X Yes \_\_\_\_\_
8. Is boiler blowdown water discharged to the sanitary sewer? No X Yes \_\_\_\_\_
9. Does your facility haul any process wastewater? No X Yes \_\_\_\_\_

**Compliance Information**

1. Is there any usage of toxic compounds at the facility? No \_\_\_\_\_ Yes X  
If yes, list and use check list on last page. **Gasoline and Diesel.**
2. Are there any floor drains in the manufacturing or chemical storage area? No X Yes \_\_\_\_\_
3. Is there a Spill Prevention Control and Countermeasure Plan in effect for this facility?  
No \_\_\_\_\_ Yes X If yes, describe procedure: There are underground containment systems in place for subsurface spills, and if there are above ground gasoline spills, the owner has Operating and Maintenance Plan to clean any small spills with "oil dry" and store in on-site containers, but for any significant spill, notification to the fire department, Wisconsin Departments of Natural Resources and Commerce.
5. Is any form of waste water pretreatment practiced at this facility? No X Yes \_\_\_\_\_  
If yes, describe: None.
6. List any specific pretreatment standards that apply to this facility: None.

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7. If pretreatment standards are not being met on a consistent basis, describe what additional and maintenance or pretreatment must be performed to achieve compliance. N/A
  
8. State the estimated timetable (compliance schedule) for the implementation of additional operations and maintenance or for the commencement and completion of major events leading to the construction and operation of the pretreatment facilities required to achieve compliance.

N/A

**Submissions**

Include a schematic (print) of the facility that shows the water intake points(s), existing sanitary sewer, discharge points (connection(s) to sanitary collection system), and direction of wastewater flows at the facility. Provide a diagram of water flow through any processes that use water for any purpose.

**Signatory Requirement**

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate this information submitted. Based on my inquiry of the person or persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

Dixit Patel

*Dixit Patel*  
 \_\_\_\_\_  
 Print Name: Authorized Representative  
 President *PRESIDENT*  
 \_\_\_\_\_

\_\_\_\_\_  
 Signature: Authorized Representative  
 September 17, 2012  
 \_\_\_\_\_

Title

Date

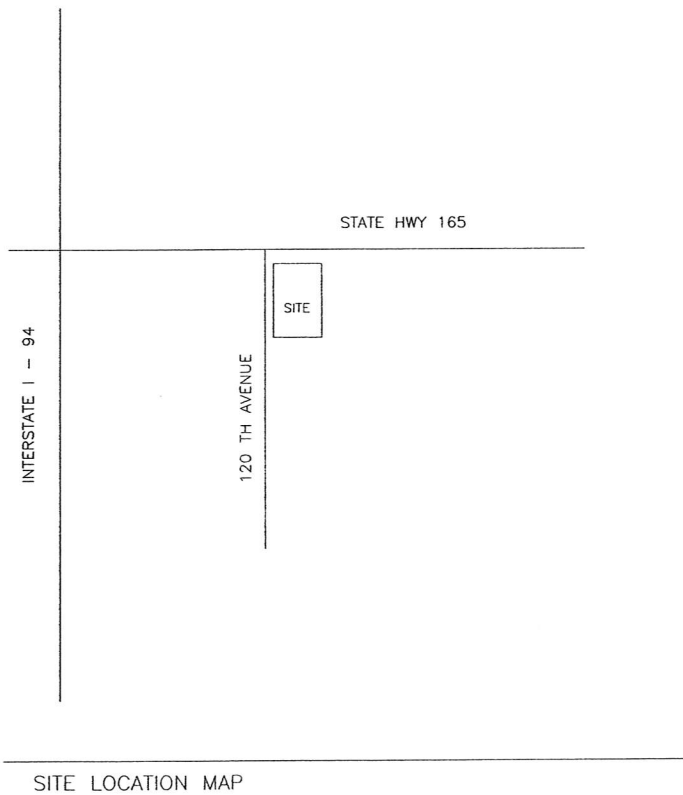
Appendix  
Toxic Pollutants Listed in 40CFR 307(a)

Known Absent	Suspected Present	Known Present	Pollutant
			1 Acenaphthene
			2 Acrolein
			3 Acrylonitrile
			4 Aldrin/Dieldrin
			5 Antimony and compounds
			6 Arsenic and compounds
			7 Asbestos
			8 Benzene
			9 Benzidine
			10 Beryllium and compounds
			11 Cadmium and compounds
			12 Carbon tetrachloride
			13 Chlordane
			14 Chlorinated benzenes
			15 Chlorinated ethanes
			16 Chlorinated alkyl ethers
			17 Chlorinated naphthalene
			18 Chlorinated phenols
			19 Chloroform
			20 2-chlorophenol
			21 Chromium and compounds
			22 Copper and compounds
			23 Cyanides
			24 DDT and metabolites
			25 Dichlorobenzenes
			26 Dichlorobenzidine
			27 Dichloroethylenes
			28 2,4-dichlorophenol
			29 Dichloropropane & Dichloropropene
			30 2,4-dimethylphenol
			31 Dinitrotoluene
			32 Diphenylhydrazine
			33 Endosulfan and metabolites

Known Absent	Suspected Present	Known Present	Pollutant
			34 Endrin and metabolites
			35 Ethylbenzene
			36 Fluoranthene
			37 Haloethers
			38 Halomethanes
			39 Heptachlor and metabolites
			40 Hexachlorobutadiene
			41 Hexachlorocyclopentadiene
			42 Hexachlorocyclohexane
			43 Isophrone
			44 Lead and compounds
			45 Mercury and compounds
			46 Naphthalene
			47 Nickel and compounds
			48 Nitrobenzene
			49 Nitrophenols
			50 Nitrosamines
			51 Pentachlorophenol
			52 Phenol
			53 Phthalate esters
			54 Polychlorinated biphenyls (PCBs)
			55 Polynuclear aromatic hydrocarbon
			56 Selenium and compounds
			57 Silver and compounds
			58 2,3,7,8-Tetrachlorodibenzo-p-dioxin (TCDD)
			59 Tetrachloroethylene
			60 Thallium and compounds
			61 Toluene
			62 Toxaphene
			63 Trichloroethylene
			64 Vinyl chloride
			65 Zinc and compounds

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# PROPOSED BUILDING ADDITION FOR VIDHYA CORP VIII 10477 120TH AVENUE PLEASANT PRAIRIE WI. 53158



INDEX OF DRAWINGS	
A1	TITLE SHEET, GENERAL NOTES, INDEX OF DRAWINGS, SITE LOCATION MAP
A2	SITE PLAN WITH PROPOSED ADDITION
A3	FOUNDATION PLAN FOR PROPOSED ADDITION & DETAILS
A4	BUILDING FLOOR PLAN SHOWING PROPOSED ADDITION
A5	BUILDING ELEVATIONS
A6	BUILDING PHOTOS

These drawings and Specifications: These Specifications and the accompanying drawings are complimentary and what is called for by one shall be binding as if called for by both the quality and quantity shall prevail.

Coordination of work: A general contract will be left for the work and successful contractor shall be responsible for all other sub-contractors and coordination of the Specifications and or dimensions of all work or where it comes in contact with others work. All details of material selections shall be reviewed and referred to the owner where questions occur. Errors due to failure to comply with this requirement shall be corrected at the expense of the contractor or contractors involved.

Codes Ordinances: All work shall comply with all local, state, and county codes and regulations as applicable.

Examination of the Site: Contractor shall visit the site and review all existing conditions. He shall familiarize himself as to the nature and location of the work and the general and local conditions that he is to perform. He shall have full knowledge as to the transportation, disposal, handling of materials, availability of water, electric power, and all other facilities in the area where work shall be performed or that having a bearing on the performance of his work. Dispose of all debris legally.

Contractor shall field verify all dimensions prior to starting work and coordinate same with all trades.

Construction is scheduled to occur while owners occupy the adjacent business. The contractor is responsible for providing safety and access at all times to the site for the owners clients as well as employees. The owner and Architect shall have no responsibility for means and methods of the work performed by contractors.

Weather conditions: Contractor shall protect all parts of their work from weather damage frost, rain, heat, ect. and shall be responsible for replacement and or repair of any damaged work to the satisfaction of the owner which in his opinion have become damaged due the above.

Responsibility of the Contractor: Each contractor is responsible for and must guarantee first class workmanship and materials that have been provided and installed by him.

Each contractor shall furnish all necessary barricades, temporary construction dust screens and scaffolding as required for completing their work in a safe workman like manner.

Surveys, Permits, and Regulations: The owner shall furnish all required surveys, contractors shall obtain and pay for all local necessary permits.

Auto Insurance: Each contractor shall maintain auto insurance for their respective vehicles used during project or on owners property.

Fire and Extended Insurance: The owner shall maintain in effect fire insurance and builders risk insurance coverage as required upon all items and materials on the property that are a part of or are necessary and stored on site for the completion of the work.

Pilferage: Each contractor shall be responsible for his own equipment, tools and materials required for construction and or including those items relating to any work furnished by the owner and delivered to the job site.

Electrical: All work shall comply with National Electrical Code, current edition, and any electrical code requirements of the local jurisdiction.

Guarantee: All contractors shall provide a one year guarantee of their work from the date of acceptance by the owner and shall leave the site in perfect and working order upon completion.

Dumpsters: General contractor shall provide all necessary dumpsters during construction and shall coordinate for all trades including that work which may be performed by the owner.

Clean up: General contractor shall at the end of the project fully broom clean all surfaces of the building and remove all debris and leave site in a clean unconstructive condition.

- The Contractor and its Subcontractors shall verify all dimensions and/or discrepancies in plans and report any errors to the Architect prior to commencement of the work, or be responsible for same.
- Do not scale drawings. Verify all on site dimensions and conditions by each subcontractor.
- All carpentry, plumbing, mechanical and electrical work is to be coordinated between the trades as part of their installation layout. Verify locations of plumbing and HVAC lines with Builder before installation.
- On site verification of all dimensions and conditions shall be the responsibility of each subcontractor.
- Architect shall not have control or charge of, and not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, or for the acts or omissions of the subcontractors, or other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the intent of the contract documents.
- Verify sizes and installation requirements and specifications of all items supplied by others before proceeding with work related thereto.
- The commencement of each subcontractor's work shall constitute acceptance of all sub-surfaces.
- Should unsuitable soil conditions arise, promptly advise the Architect of same before proceeding with any further work.
- Stock pile material as directed by Owner or Builder. Protect all trees and wetland areas retained on site. Provide erosion control as required by the governing authority.
- Verify locations of all underground lines before proceeding with sub-soil work.
- Contact Diggers Hot line 48 hours before any underground work.
- Each Subcontractor shall obtain and provide necessary bonds, permits and necessary inspections as required by municipal, county, state, federal or other agencies having jurisdiction.
- Truss manufacturer to design and fabricate floor and roof trusses in accordance with all applicable codes.
- The minimum live load for floor shall be 100 p.s.f. and the minimum snow load for roofs shall be 35 p.s.f. The minimum dead load for floors and roofs shall be 10 p.s.f. The maximum deflection shall be L/480. All girder trusses shall be designed to accept all concentrated loads as required. Truss drawings shall be submitted to the Builder and shall be sealed by a State of Wisconsin Licensed structural engineer or by the truss manufacturer's engineer registered in Wisconsin. Truss Manufacturer shall confirm headers and lam beams for truss bearing on all span.
- All concrete and reinforcing work shall conform to ACI specifications and recommendations. All concrete footings shall bear on 2000 p.s.f. minimum soil capacity on virgin ground, minimum 3'-8" below grade. All concrete shall attain a 28-day compressive strength of 3000 P.S.I. for walls and basement slab, 3500 P.S.I. exterior slab use 6% air containment.
- All construction lumber shall be Southern Yellow Pine Fb 1900, E-1.1 #2 or better, unless otherwise noted. All wood in contact with concrete or grade shall be pressure treated. Shim all sill plates and provide all seals below plate and grot any gaps greater than 1/2".
- All engineered joists and beams, i.e., micro lams, TJs, etc. shall be installed in accordance with the manufacturers specifications.
- Provide double cripples under all headers greater than 4'-0".
- All concentrated loads from headers and beams shall be solid-blocked down to foundation, steel, or girder beams. No back filling of foundation shall occur until floor system is in place to brace top of concrete walls.
- All work shall be performed in a good workmanlike manner. Each subcontractor shall amend and make good at his own cost any defects and other faults in his workmanship and materials.
- Each contractor to clean up debris inside and outside the building site which has been caused by his work and place in dumpster provide by builder on a daily basis.
- All electrical work shall conform to the National Electric Code, NEC latest edition and local building code.

DATE  
10-7-12

REVISIONS

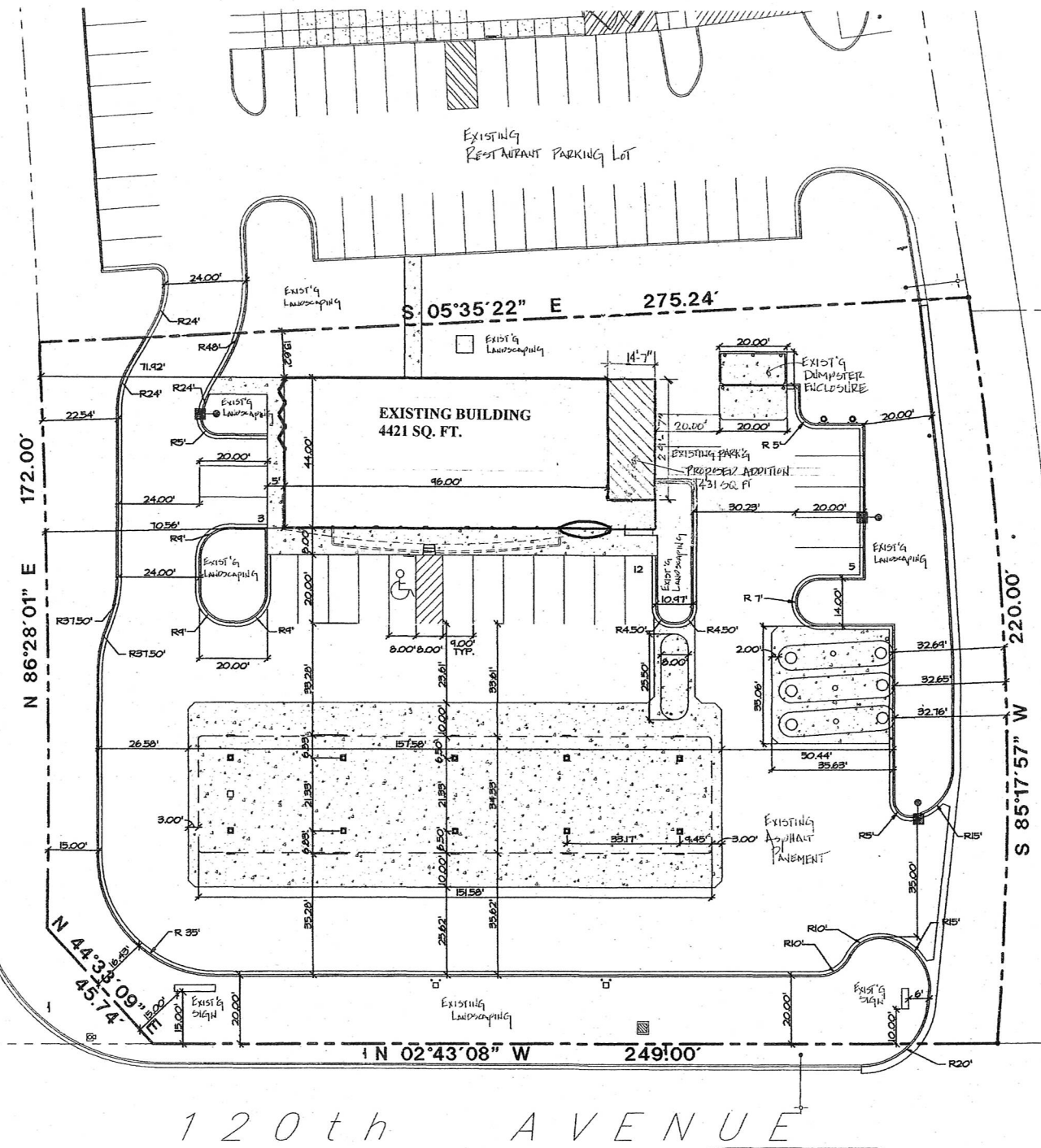
WILLIAM A. MORRIS ARCHITECT LLC  
5308 31ST AVENUE  
KENOSHWA WI. 53144

PROPOSED BUILDING ADDITION FOR  
VIDHYA CORP VIII  
10477 120TH AVENUE  
PLEASANT PRAIRIE WI. 53158

RECEIVED  
OCT 9 - 2012  
Village of Pleasant Prairie

A1

104th STREET



### SITE CRITERIA

TOTAL SITE AREA = 1.36 ACRE

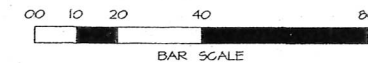
#### NOTE:

NO TEMPORARY OUTDOOR STORAGE UNITS SHALL BE PERMITTED ON THE SITE. ALL MERCHANDISE IS TO BE STORED INSIDE THE CONVENIENCE STORE BUILDING OR WITHIN THE DESIGNATED TRASH/RECYCLING ENCLOSURE.

THERE SHALL BE NO OUTSIDE STORAGE OF MERCHANDISE AT THIS SITE. THIS INCLUDES, BUT IS NOT LIMITED TO, SODA, WINDSHIELD WASHER FLUID AND OTHER VEHICLE ACCESSORIES, HOOD, BAGS OF WOOD CHIPS, CHARCOAL, ETC.

THE SITE SHALL NOT BE USED FOR ANY PARKING (NEITHER OVERNIGHT NOR DURING THE DAY) OF SEMI TRUCKS, SEMI TRAILERS AND JUNKED/INOPERABLE VEHICLES.

120th AVENUE



DATE  
9-27-12

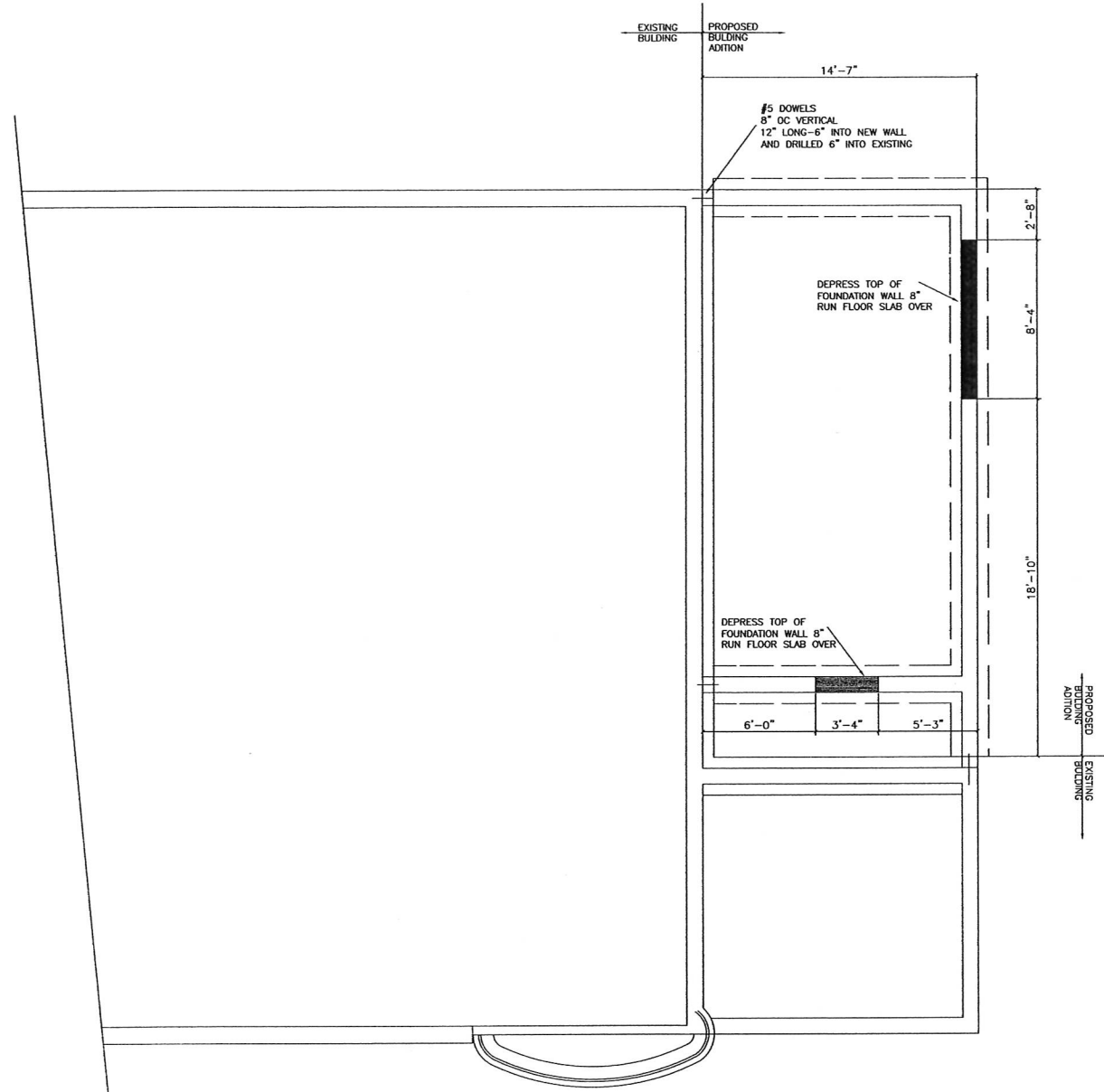
REVISIONS

WILLIAM A. MORRIS ARCHITECT LLC  
 5308 31ST AVENUE  
 KENOSHA WI. 53144

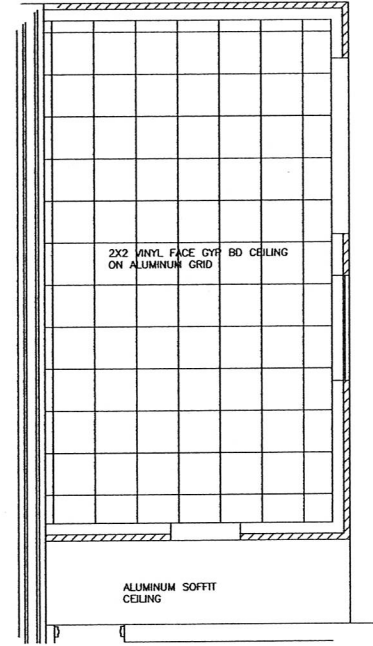
PROPOSED CONVENIENCE STORE ADDITION FOR  
 VIDHYA CORP VIII INC.  
 104 77 120 AVENUE  
 PLEASANT PRAIRIE WISCONSIN 53158

A2

CONSTRUCTION FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"



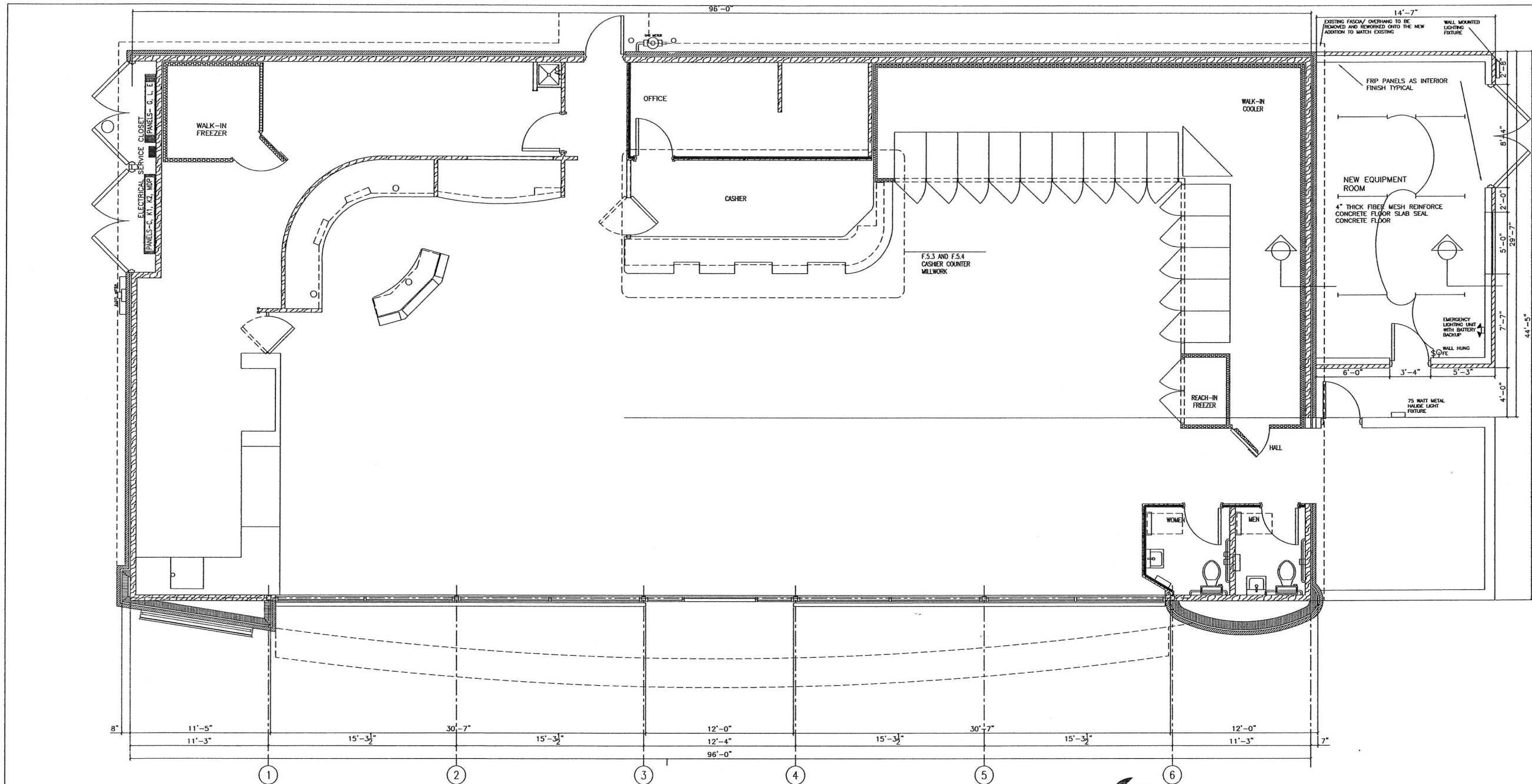
PROPOSED BUILDING ADDITION FOR  
VIDHYA CORP VIII  
10477 120TH AVENUE  
PLEASANT PRAIRIE WI. 53158

WILLIAM A. MORRIS ARCHITECT LLC  
5308 31ST AVENUE  
KENOSHA WI. 53144

REVISIONS

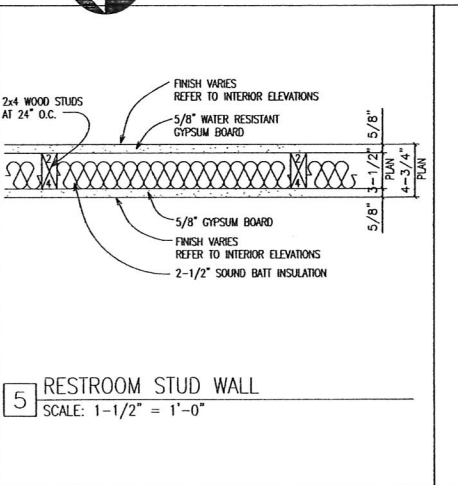
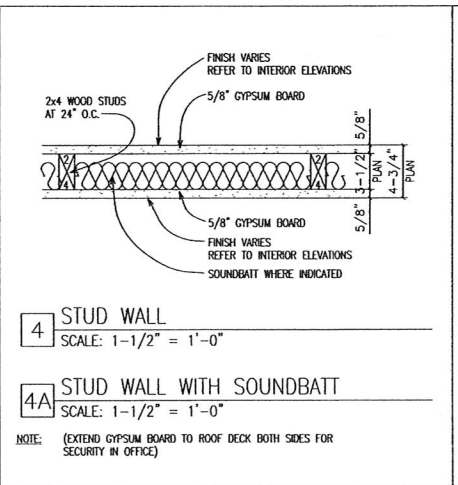
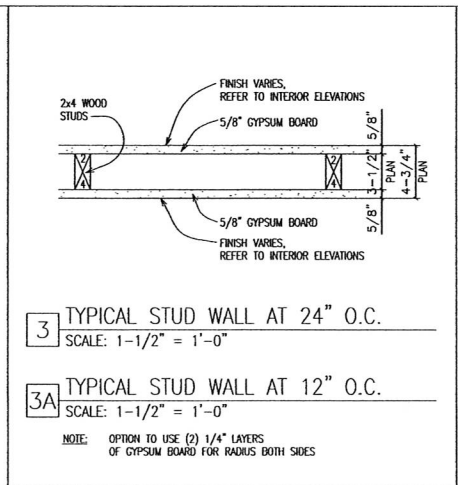
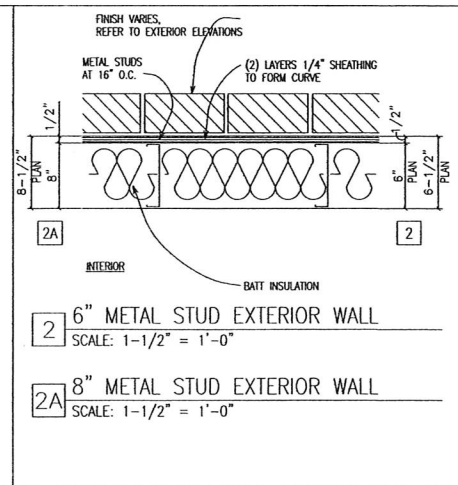
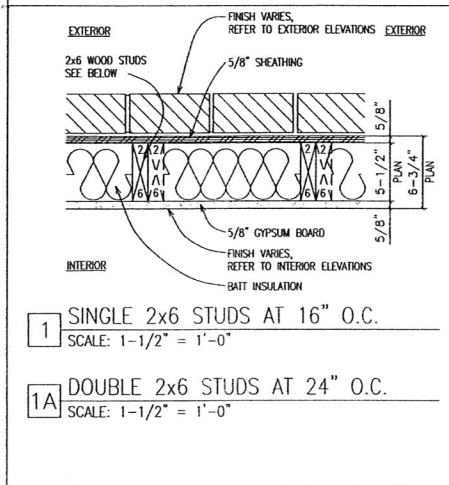
DATE  
10-7-12

A3



DATE: 10-7-12  
 REVISIONS:  
 WILLIAM A. MORRIS ARCHITECT LLC  
 5308 31ST AVENUE  
 KENOSHA WI. 53144

CONSTRUCTION FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

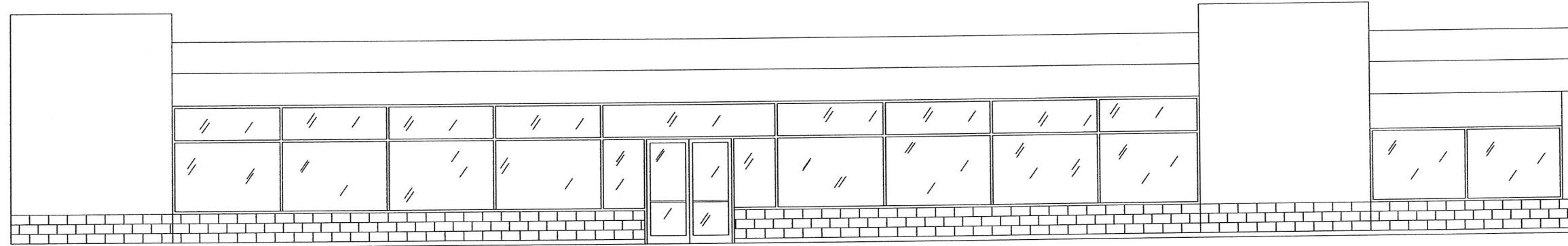


WALL LEGEND

	WOOD FRAMED WALL
	METAL STUD WALL
	MASONRY WALL
	PREFABRICATED COOLER UNIT
	LOW (1/2) WALL (WOOD FRAMED)

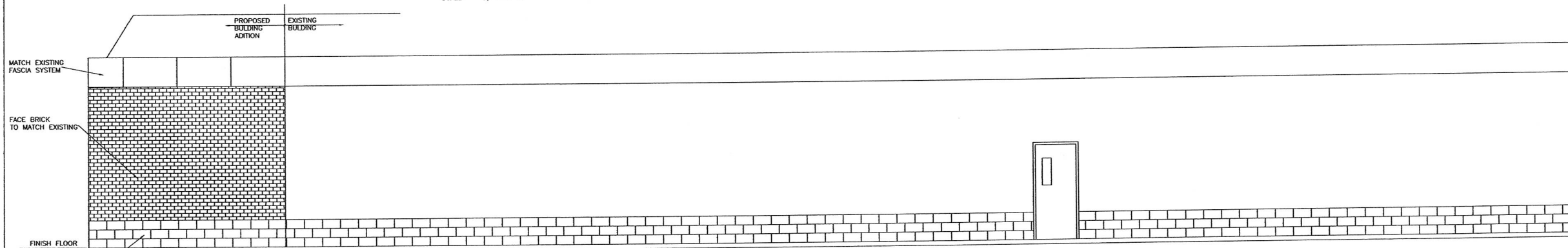
PROPOSED BUILDING ADDITION FOR  
 VIDHYA CORP VIII  
 10477 120TH AVENUE  
 PLEASANT PRAIRIE WI. 53158

A4



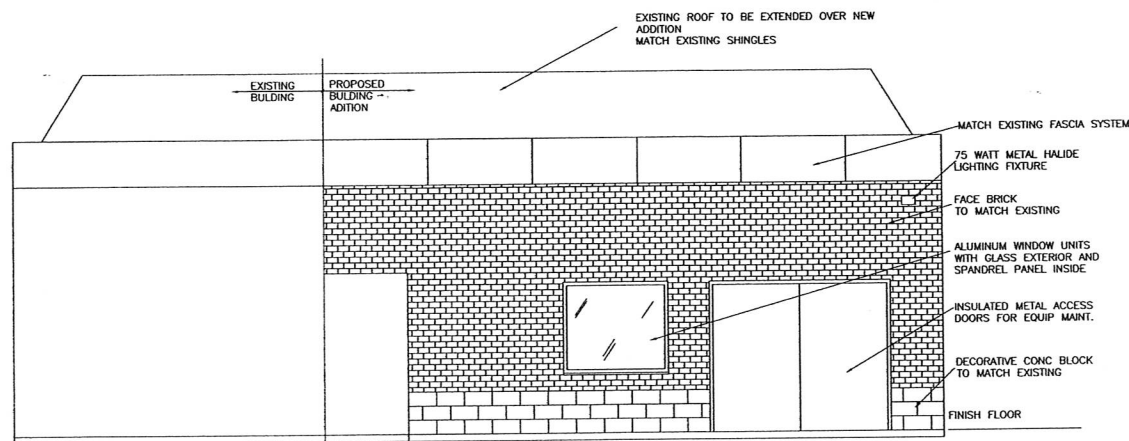
EXISTING WEST ELEVATION

SCALE 1/4" = 1'-0"



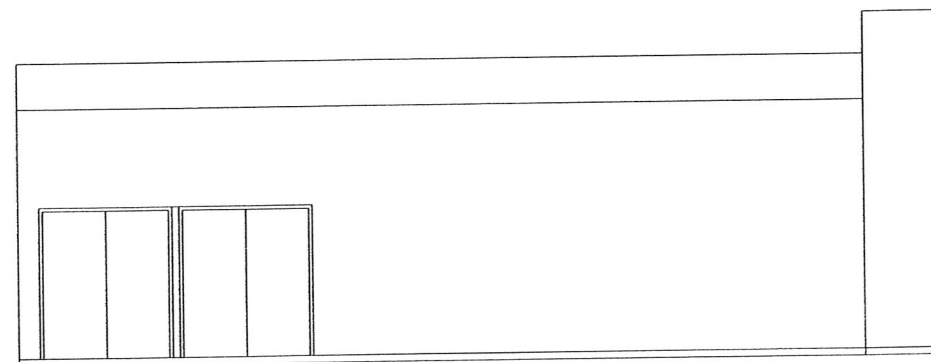
EXISTING EAST ELEVATION WITH ADDITION

SCALE 1/4" = 1'-0"



EXISTING SOUTH ELEVATION WITH ADDITION

SCALE 1/4" = 1'-0"



EXISTING NORTH ELEVATION

SCALE 1/4" = 1'-0"

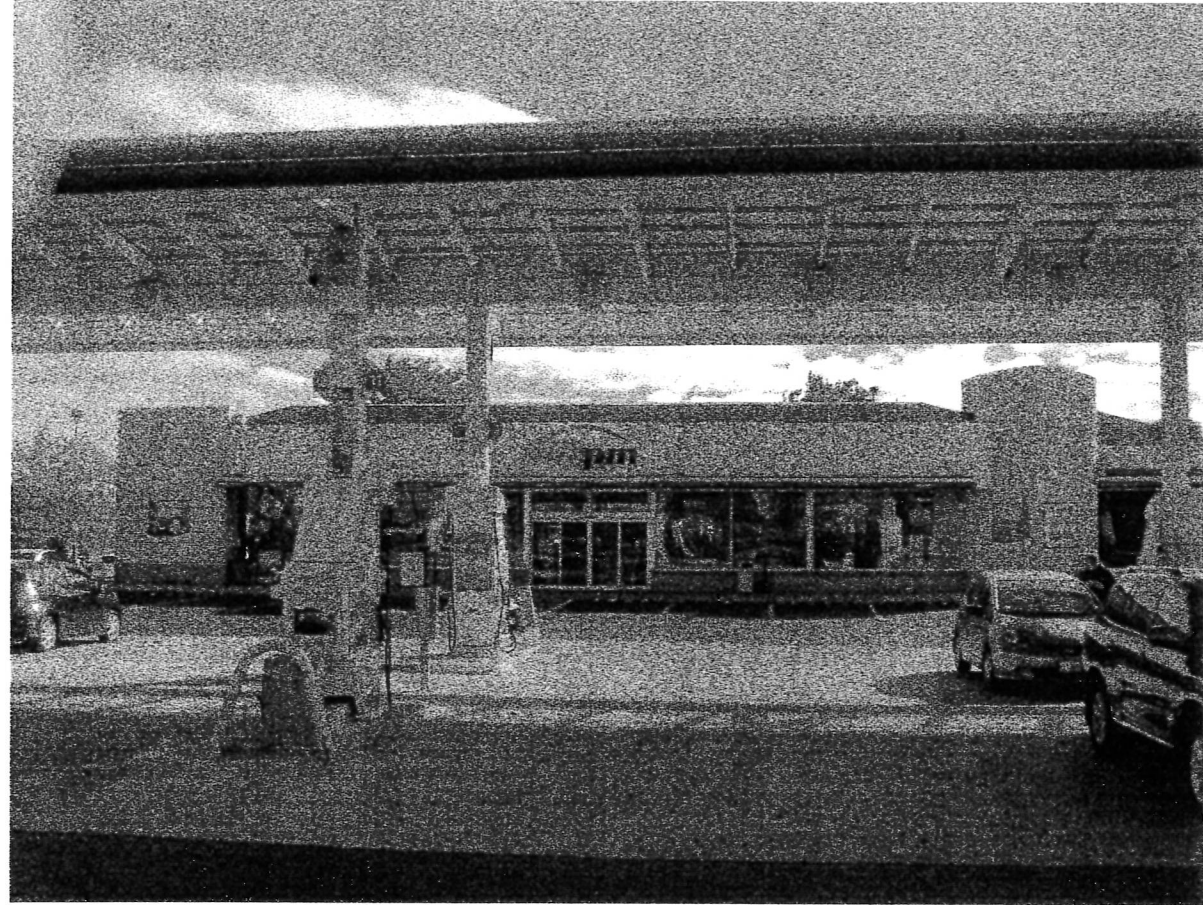
DATE  
10-7-12

REVISIONS

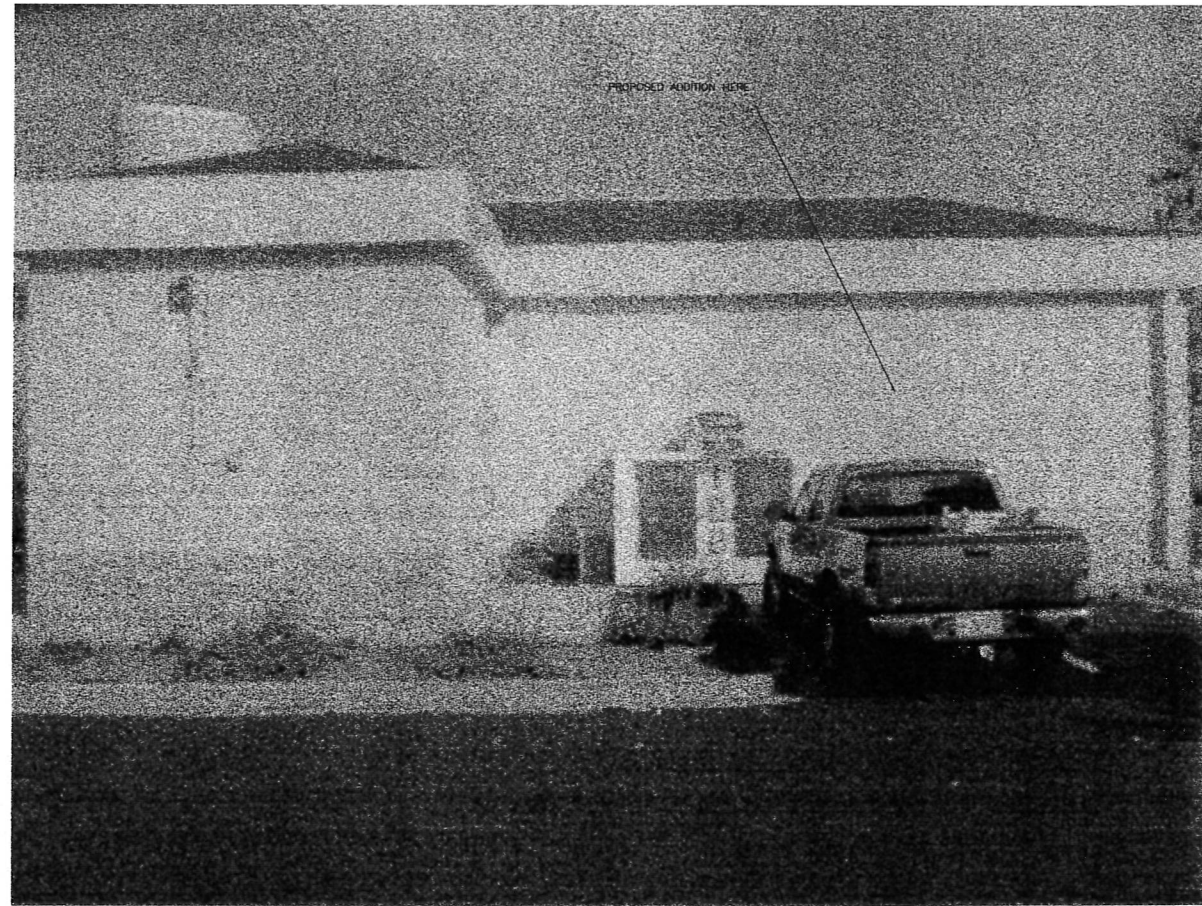
WILLIAM A. MORRIS ARCHITECT LLC  
5308 31ST AVENUE  
KENOSHWA WI. 53144

PROPOSED BUILDING ADDITION FOR  
VIDHYA CORP VIII  
10477 120TH AVENUE  
PLEASANT PRAIRIE WI. 53158

A5



EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION  
AT LOCATION OF PROPOSED ADDITION

A6

PROPOSED BUILDING ADDITION FOR  
VIDHYA CORP VIII  
10477 120TH AVENUE  
PLEASANT PRAIRIE WI. 53158

WILLIAM A. MORRIS ARCHITECT LLC  
5308 31ST AVENUE  
KENOSHWA WI. 53144

REVISIONS

DATE  
10-7-12





Alia DuMez  
Dunn & McTernan

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Tony M. Dunn  
J. Michael McTernan  
Michael R. Cholak  
Of Counsel

Debbie Gourdeaux  
Beverly Kozerski

RECEIVED  
NOV - 6 2012  
Village of Pleasant Prairie

November 6, 2012

Peggy Herrick  
Assistant Planner and Assistant Zoning Administrator  
Village of Pleasant Prairie  
9915 – 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

RE: Mr. Dixit Patel / VIDHYA Corp VIII, Inc.  
BP Station at 10477 – 120<sup>th</sup> Avenue

Dear Ms. Herrick:

On behalf of my client, VIDHYA Corp VIII, Inc., I provide for you the following:

1. Exhibit A to our proposed Settlement Agreement with the Village that provides a Chronology of Immediate and Interim Remedial Activities Conducted by my client since April 2011 to present.
2. Dated November 5, 2012, a letter from my client's consultant, Midwest Engineering Services, Inc., outlining the Preliminary Site Investigation Work Plan, which shows the remediation plan and a detailed site plan that sets forth all of the activities being proposed.
3. The Operation & Maintenance Manual and Bag Filter Operation materials from Carbonair.

If there is additional information that you need, please do not hesitate to contact me. I have enclosed 8 copies of the above materials along with a digital image of each in Adobe PDF format on the enclosed CD.

We are not proposing any testing or remediation plans for any "downstream properties" as it is not warranted as my client did not contaminate any adjoining property owners' land.

Very truly yours,

J. Michael McTernan

Enclosures

JMM/jm

cc: Mr. Dixit Patel, VIDHYA Corporation VIII, Inc. (via email w/ enclosures)  
Mr. Donald P Gallo, Reinhart Boerner Van Beuren, S.C. (via email w/ enclosures)  
Mr. Patrick J. Patterson, Midwest Engineering Services, Inc. (via email w/ enclosures)

## EXHIBIT A

### Chronology of Immediate and Interim Remedial Activities Conducted by VIDHYA Corp VIII, Inc. November 6, 2012

- 4/26/11 - Fire chief reports petroleum observed in storm sewer catch basin on north side of property. Frank Bennett, Retail Petroleum Inspector, requires tightness testing of dispenser sumps, repair of leaking union under diesel dispense and pumping of one inch layer of diesel product from diesel sump. Two booms to absorb petroleum were installed.
- 6/1/11 - Tanknology conducted tank testing identified gas and diesel releases but they were contained in annular space and did not escape double wall system and did not impact the environment.
- 6/9/11 - Moraine and Interstate Pump and Tank met on site to identify issues and solutions. Moraine sampled soil and surface water in north drainage ditch area and identified diesel constituents as being six (6) times more prevalent than those of gasoline.
- 7/8/11 - Moraine conducted further sampling and recommended inspecting the interior lining of the catch basins and storm sewers. They also recommended excavation of contaminated soils in the north drainage ditch area. Moraine concluded that the impacts are the result of on-going incidental spillage from daily fueling that run off into the two down gradient catch basins which then travels through the discharge pipe or surrounding backfill into the north drainage ditch.
- 11/17/11 - Quality Environmental Solutions (QES) and representatives from Anderson Pump and Graham Enterprise (fuel supplier) attended a meeting with the Village. QES disagrees with Moraine's conclusions that the source of the impacts in the north ditch are from surface runoff from fueling operations but rather from weathered petroleum products from overfills in the 1990's into the tank field via the piping utility trenches' granular fill. High precipitation resulting in higher groundwater table has mobilized the weathered petroleum via the utility trench backfill. QES recommended removal and disposal of all impacted materials in the drainage ditch area, installation of engineered controls to prevent migration to off-site properties and installation of new booms and an oil/water separator.
- 3/27/12 - Petroleum products were pumped from tank field backfill and containment pans near the pump islands.
- 5/12 - Unipump removed flexible piping and replaced it with fiberglass piping and continue to pump from tank field, backfill, containment pans and dispensers. A second set of booms were installed. QES conducted second soil sampling along the pipe lines. Excess soils from pipe replacement were disposed of at a landfill.
- 6/12 - Three (3) on-site inspections were conducted and no observations of a sheen in the north drainage ditch.

- 7/5-12/12 - Impacted soils (124 tons) were removed from north drainage ditch area and disposed. QES then collected soil samples indicating some residual contamination in the excavation area. QES concluded from soil sampling in piping area that the release is historic. Sod was placed over the excavation area.
- 8/7/12 - Midwest Engineering Services (MES) sampled ditch surface water.
- 8/13/12 - MES was retained to conduct remedial actions to prevent further migration of residual petroleum contamination offsite.
- 8/20/12 - MES provided a draft Remedial Activities and Schedule.
- 8/28/12 - Future Environmental cleaned the onsite stormwater system and removed accumulated sludge. DeBelak Plumbing used sewer camera scope to evaluate the integrity of the existing stormwater sewer system. The northwestern catch basin was the only defective section of the system.
- 9/14/12 - VIDYHA attended a meeting with Village, consultants, and legal representation.
- 9/17/12 - Northshore Environmental positioned a 21,000-gallon "frac" tank onsite.
- 9/20/12 – The proposed groundwater treatment system was ordered from Carbonair.
- 9/26/12 – Northshore Environmental pumped petroleum-impacted water from gas basin into “frac” tank.
- 10/1/12 – Northshore Environmental pumped petroleum-impacted water from diesel basin into “frac” tank. A total of 19,000 gallons of petroleum-impacted water has been pumped into “frac tank.
- 9/26/12 - MES submitted the WPDES General Permit application for discharge of contaminated groundwater from remedial action operations to WDNR.
- 10/9/12 – MES collected a water sample from gas basin and submitted to laboratory for analytical testing for VOCs and PAHs per WDNR request.
- 10/19/12 – MES collected water sample from diesel basin and submitted to laboratory for analytical testing for VOCs and PAHs.
- 11/2/12 - WDNR approved the WPDES Permit.
- 11/5/12 - MES prepared a Preliminary Site Investigation Workplan, a revised Remedial Activities plan, and a treatment system sampling analysis plan for submittal and approval from WDNR.



**midwest engineering services, inc.**

geotechnical • environmental • materials engineers

821 Corporate Court  
Suite 102  
Waukesha, WI 53189-5010  
262-521-2125  
FAX 262-521-2471  
www.midwesteng.com

November 5, 2012

Mr. Dixit Patel  
VIDHYA Corporation VIII, Inc.  
1491 W. Roosevelt Road  
West Chicago, IL 60185

**RE: PRELIMINARY SITE INVESTIGATION WORK PLAN**  
Existing BP Station/Former Amoco Station #3789  
10477 120<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158  
MES Project No. 7-121029  
WDNR BRRTS No: 02-30-557069

Dear Mr. Patel:

Introduction

Midwest Engineering, Services, Inc., (MES) is pleased to submit this preliminary work plan for an underground storage tank (UST) site investigation at the above-referenced location. The site is currently an existing gasoline service station. It was originally developed as an Amoco Station in 1991. The parcel was originally part of a larger agricultural property. It is located at 10477 120<sup>th</sup> Avenue, in the Village of Pleasant Prairie, Wisconsin. A general site location map is provided as the attached Figure 1.

The scope of services described herein has been developed based on information obtained from existing site conditions, past environmental activities performed by other consultants, and recently performed surface and subsurface water sampling events. The data used for the preparation of this preliminary workplan was collected from geoprobe borings, monitoring wells and soil excavation activities performed on the site in the late 1990s and early 2000s by Delta Environmental (Delta). In addition, data collected by Moraine Environmental (Moraine) and Quality Environmental Services (QES) from approximately May 2011 to July 2012 were reviewed for this workplan. Further, recent test results of surface and subsurface water samples collected by MES were used to prepare this workplan.

Responsible Party and Consultant

Site Name and Location: Existing BP Station/Former Amoco Station #3789  
10477 120<sup>th</sup> Avenue  
Village of Pleasant Prairie, WI 53158

Site Operations: The property is currently an existing BP gasoline station.

Responsible Party: Mr. Dixit Patel  
VIDHYA Corporation VIII, Inc.  
1491 W. Roosevelt Road  
West Chicago, IL 60185  
Phone: (630) 479-1529

Consultant: Midwest Engineering Services, Inc.  
821 Corporate Court, Suite 102  
Waukesha, WI 53189  
Phone: (262) 521-2125

Project Manager: Patrick J. Patterson P. E., P.G.  
Department Manager  
Environmental Services

#### Authorization

Authorization to prepare this Preliminary Site Investigation Work Plan and other ongoing consulting services was provided in the form of a signed acceptance copy of MES Proposal No. 7-12246, dated August 13, 2012, and authorized by Mr. Dixit Patel on August 14, 2012.

#### Site Features

The Patel parcel is located on the southeast corner of the intersection of 120<sup>th</sup> Avenue and STH 165 (104<sup>th</sup> Street), and encompasses approximately 1.4 acres. The site lies within the northeast ¼ of the northwest ¼ of Section 30, in Township 1 North and Range 22 East of Kenosha County. A site diagram is included herein as Figure 2. Currently the site is an existing gas station with a large canopy over the dispenser islands and an asphalt-covered parking area. The topography of the subject site is relatively flat, with a downward slope from south to north. The stormwater collection system consists of four (4) catch basins that collect surface stormwater and roof runoff and divert the water to the northeast corner of the property to a discharge point into the northern grass-lined ditch.

#### Background

The site was developed as a gas station in 1991 by Amoco. Prior to this development, it was part of a larger agricultural property. A petroleum release was initially detected by Amoco in 1999 and the site was placed on the LUST list (BRRTS No. 03-30-242791). Petroleum contaminants were detected within samples collected from around the tank system and within

the northern drainage ditch line. Their environmental consultant (Delta Environmental) completed a site investigation and remedial activities at the site. The Delta investigative activities included advancing six soil probes, the installation of nine groundwater monitoring wells, the collection of soil samples, and the collection of groundwater samples and surface water samples near the existing northern stormwater discharge point. All collected soil and water samples were analyzed for the presence of PVOCs, naphthalene, GRO and DRO.

It is understood that redevelopment of the site occurred in 2001. This redevelopment consisted of the razing of the former station building and canopy and the removal of the former dispenser islands and product lines. The Delta remedial activities were generally performed during the redevelopment of the site and included the pumping and disposal of gasoline-impacted water from within the existing gasoline tank basin and in the area of the former canopy footings, and the excavation of approximately 2,807 tons of gasoline-impacted soil from beneath the old piping runs, former canopy pillar, former building footings, and the diesel UST basin. It was not indicated if confirmation soil samples were collected in these areas following the removal of the gasoline-impacted soils. The information indicated that only the diesel UST was replaced and relocated to its current location, while the three (3) gasoline USTs were not removed and are currently in-use on the site.

Additional groundwater monitoring services were performed until 2004, when the site was closed by the Department of Commerce (DCOMM). At the time of site closure, MW-4, which was a former monitoring well near the existing stormwater discharge point, was significantly impacted with gasoline contamination. Further, the investigative activities performed by Delta also included soil borings and well installation on the eastern adjoining Culver's site. Test results indicated that petroleum contamination from the Amoco station had impacted the Culver's parcel and it was placed on the GIS Registry in 2006 as a property that has been impacted by an off site source. Tables of the soil and groundwater analytical test results are attached.

In April 2011, a Village of Pleasant Prairie Fire Department representative observed a petroleum-like sheen within a stormwater catch basin present in the northern portion of the site. In addition, distressed vegetation and a petroleum-like sheen were observed immediately down-gradient of the northern stormwater discharge point. The WDNR was notified of the observed conditions present on the site by the Village and the site was placed on the ERP database as an open case (BRRTS No. 02-30-557069).

In June and July 2011, Moraine Environmental (Moraine) collected a soil sample and a surface water sample from the northern ditch line in the area of the observed sheen. Moraine also advanced eight soil probes and installed one temporary groundwater monitoring well in the probe advanced near the stormwater discharge point and former monitoring well DELTA's MW-4. They analyzed collected soil samples for the presence of PVOCs, naphthalene, GRO, DRO, total lead and polynuclear aromatic hydrocarbons (PAHs). A collected water sample was analyzed for the presence of GRO and PVOCs. The results of Moraine's investigation indicated that the only area of the site with detectable petroleum levels above WDNR standards were detected in soil and water samples collected from their temporary well and the northern ditch line. In addition, no PAHs were detected in the soil samples, with the exception of the soil sample collected from the probe placed in the area of MW-4. Moraine submitted a site investigation report to the WDNR in November 2011. Tables of the soil and groundwater

analytical test results are attached.

From May 2012 to July 2012, Unipump removed the failed flexible piping that was installed by Amoco in 2001 and replaced it with fiberglass piping. During these activities soil samples were collected by Quality Environmental Services (QES) from along the piping runs and submitted for the presence of petroleum contaminants. The test results indicated that contaminants were present in several of the sample locations above current NR 720 RCLs. On July 12, 2012, QES observed the excavation of gasoline-impacted soils from along the northern ditch line. QES collected five soil samples within the ditch line. Two were in the excavated area, while the remaining samples were collected further to the east. The test results of these samples indicated residual petroleum-impacted soils remain within the ditch line.

MES was retained by the responsible party in August 2012. On August 7, 2012, MES collected a surface water sample from the northern ditch line and it was tested for the presence of PVOCs plus naphthalene. A 21,000 gallon "frac" tank has been stationed on the site and groundwater present within the gasoline tank and diesel tank basins has been pumped into this "frac" tank in an attempt to lower the water level within the basins, which is believed to be hydraulically connected to the granular material present along the stormwater system lines and the northern discharge point. MES also collected samples of the water present within the tank basins and they were analyzed for the presence of VOCs and PAHs. The results of the analytical testing of the ditch line samples and tank basin samples are shown on the attached tables.

In conjunction with the ongoing site investigation activities, the responsible party is in the process of installing a groundwater treatment system to remove the known petroleum contaminants present within the gasoline tank and diesel tank basins and also within the granular material associated with the stormwater line immediately up-gradient of the northern stormwater discharge point.

#### Regional Geology \*

The regional soil type in the area of the subject site is the Elliott Silty Clay Loam. The series consists of level to slightly sloping, somewhat poorly-drained loamy soils that developed from a thin silt mantle overlying clay loam and silty clay loam glacial till. Typically, the soils consist of silty clay loam and silty clay. Permeability is moderately slow, and available water capacity is very high.

\* United States Department of Agriculture Soil Conservation Service "Soil Survey of Milwaukee and Waukesha Counties, Wisconsin"

#### Regional Hydrogeology

A review of the United States Geological Survey (USGS) Pleasant Prairie Quadrangle Map indicated that the subject site is relatively flat, with a gentle slope down from west to east. A surface elevation of approximately 700 feet above mean sea level (MSL) was indicated on the subject site. Generally, the topography in the surrounding vicinity slopes from the west towards the east, toward a large wetland area and the Des Plaines River located approximately 3,900 feet east

of the site.

## **PRELIMINARY WORK PLAN**

### Purpose

The initial purpose of the proposed preliminary site investigation will be to evaluate the presence of petroleum-impacted soils and groundwater quality at four (4) specific locations on the subject site. In addition, the proposed site investigation will evaluate the vertical and horizontal extent of petroleum-impacted soils potentially present within the northern ditch line and to evaluate the groundwater quality, if encountered. If this initial phase is not sufficient in determining the subsurface conditions or extent of the affected zones within the ditch line, it may be necessary to perform additional exploratory work, in order to fully evaluate site conditions. Based upon the subsurface conditions and review of the analytical data, it may be possible to formulate remedial alternatives, if site conditions warrant.

### Field Exploration Scope

The initial field exploration within the northern ditch line will include the advancement of 6 to 8 soil probe borings to a depth of approximately 6 feet below grade. The approximate locations of the proposed soil probes are shown on the attached Figure 3. It is also proposed to install four (4) groundwater monitoring wells, to a depth of about 20 feet below grade. One well will be located in an area generally located between the gasoline and diesel USTs. Another well will be located to the northeast of the dispensers, while another well will be located in the immediate vicinity of the stormwater discharge point, near the northeast property corner. The remaining well will be located near the southwest property corner. These proposed well locations are also shown on the attached Figure 4.

The soil borings will be advanced with a truck mounted drill rig, and samples will be secured continuously throughout the depth of the borings. The soil samples obtained will be subjected to testing in the field with an Hnu Photoionization Detector (PID) with a 11.7 electron volt (eV) lamp, to test for the presence of volatile organic vapor emissions. Selected discrete, companion samples from the most highly impacted zone, from the capillary fringe (smear zone), and/or from an underlying less impacted or non-impacted zone will be submitted for analytical testing. However, this will be adjusted as appropriate to best aid in evaluating the vertical extent of the affected zone.

### Monitoring Well Installation

The monitoring well construction will consist of a 10 to 15 foot section of 2-inch diameter, machine slotted PVC screen placed at or near the bottom of the borehole. This will be surrounded by a properly graded granular filter medium in the annular space, with unslotted riser pipe extending from the screened section to about 6 inches below the ground surface. The



remaining annular space above the granular filter medium will be filled to the ground surface with bentonite chips. Locking, compression caps will be used to close the PVC pipe, and flush mounted or stick-up protective covers will be used to protect the wells.

MES will develop the monitoring wells by alternately surging and purging with a bailer, or a low flow pump. The wells will be bailed/pumped until the wells are dry, or until they produce relatively sediment-free water. The development water will be placed into drums until after receipt of the testing results of the wells. Reusable well development tools will be cleaned with a detergent solution and potable water followed with multiple rinses of distilled water prior to development of each well. Water samples for laboratory analysis will be obtained from each well utilizing a single use disposable polyethylene bailer.

#### Laboratory Analytical Testing

Based upon past analytical test results, the soil samples will be submitted to an analytical laboratory to determine the levels of petroleum volatile organic compounds (PVOCs) and naphthalene. In addition, several of the soil samples will be tested for the presence of polynuclear aromatic hydrocarbons (PAHs).

Based upon past analytical test results, the groundwater samples obtained from each of the monitoring wells will be submitted for analytical testing for the presence of petroleum volatile organic compounds (PVOCs) and naphthalene. In addition, the initial groundwater samples will be tested for the presence of PAHs. Testing will also be performed on one trip blank for quality control purposes.

#### Groundwater Elevations

Groundwater elevations and the top of casing elevation at each monitoring well will be established using conventional surveying techniques. At this time it is anticipated that the elevations may be referenced to a temporary benchmark, which will be established on site, or will be surveyed to Mean Sea Level. Static groundwater levels within the wells will be measured to the nearest 0.01 feet, prior to obtaining the samples for analysis.

#### General

The installation of the monitoring wells, and the sample collection and analysis will be performed in general accordance with the guidelines and codes utilized by the WDNR for such site assessments. The samples for chemical analysis will be properly collected and preserved in containers provided by the laboratory. The samples will be placed on ice and standard chain-of-custody procedures will be utilized. A project engineer or geologist will be on site during the performance of the fieldwork. Following the completion of the field activities and receipt of the analytical results, a report will be prepared in general accordance with NR 716.15 requirements.

Preliminary Site Investigation Workplan  
Existing BP Station/Former Amoco Station #3789  
Village of Pleasant Prairie, Wisconsin  
MES Project No. 7-121029  
Page 7 of 7

If you have any questions or comments regarding this site investigation workplan, please contact us at (262) 521 2125.

Sincerely Yours,

**MIDWEST ENGINEERING SERVICES, INC.**



Patrick J. Patterson, P.E., P.G.  
Department Manager  
Environmental Services

Attachments: Figure 1: Site Location Map  
Figure 2: Existing Site Features Diagram  
Figure 3: Proposed Soil Probe Locations  
Figure 4: Proposed Monitoring Well Locations  
Summary of Soil Sample Analysis Results – DELTA/Moraine  
Summary of Groundwater Sample Results – DELTA  
Summary of Surface Water Sample Results – VOCs  
Summary of Surface Water Sample Results – PAHs

cc: WDNR – Southeast District



Source: USGS Pleasant Prairie Quadrangle Map, Dated 1958 and Photo-Revised 1971

Site: Northwest 1/4 of Section 30, Township 1 North and Range 22 East, Kenosha County



Existing BP Station/Former Amoco Station  
10477 120th Avenue  
Pleasant Prairie, Wisconsin

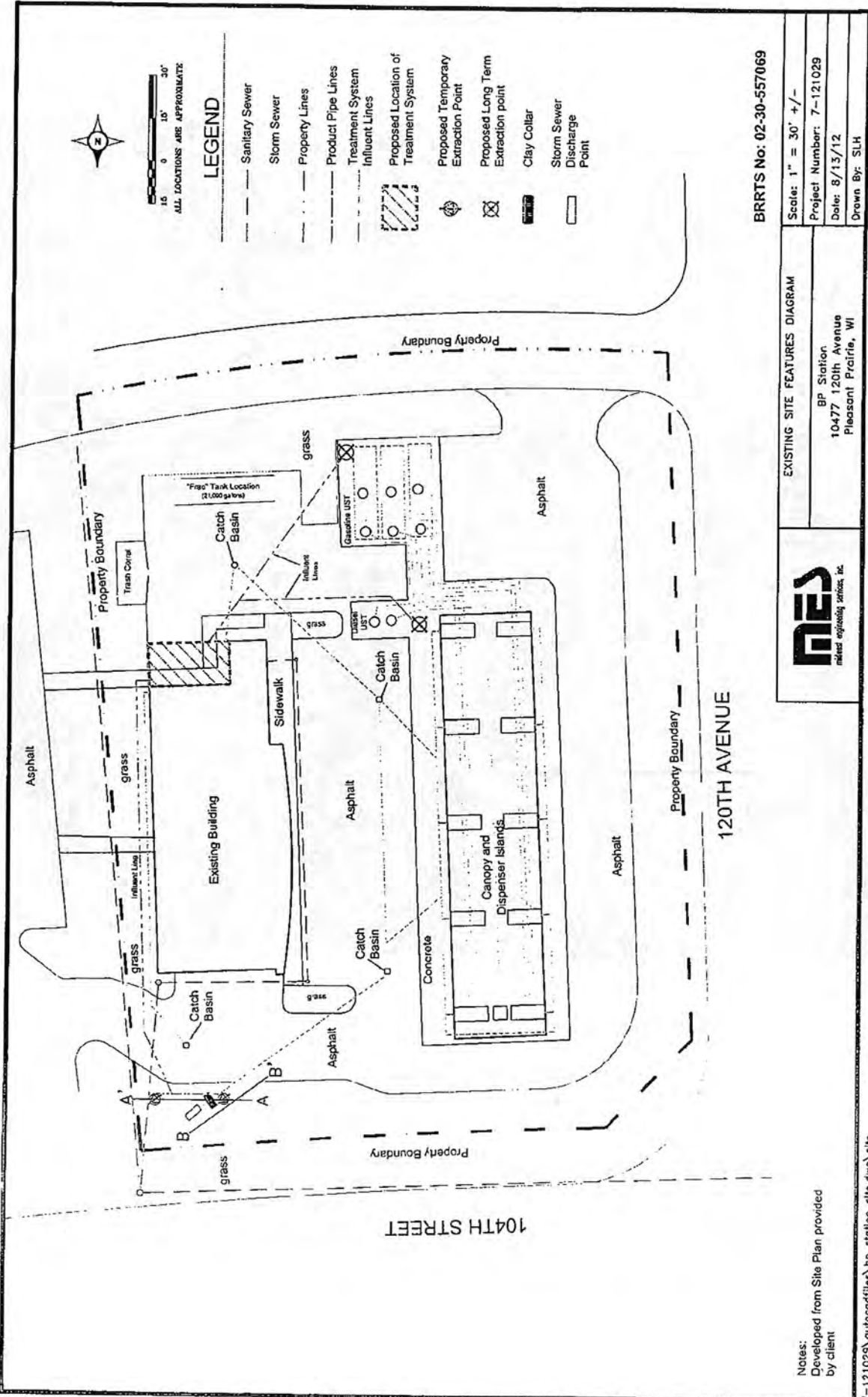
SITE LOCATION MAP

Scale: 1" = 2000' ±

Project No.: 7-121029

BRRTS:02-30-557069

Figure 1



BRRTS No: 02-30-557069

EXISTING SITE FEATURES DIAGRAM

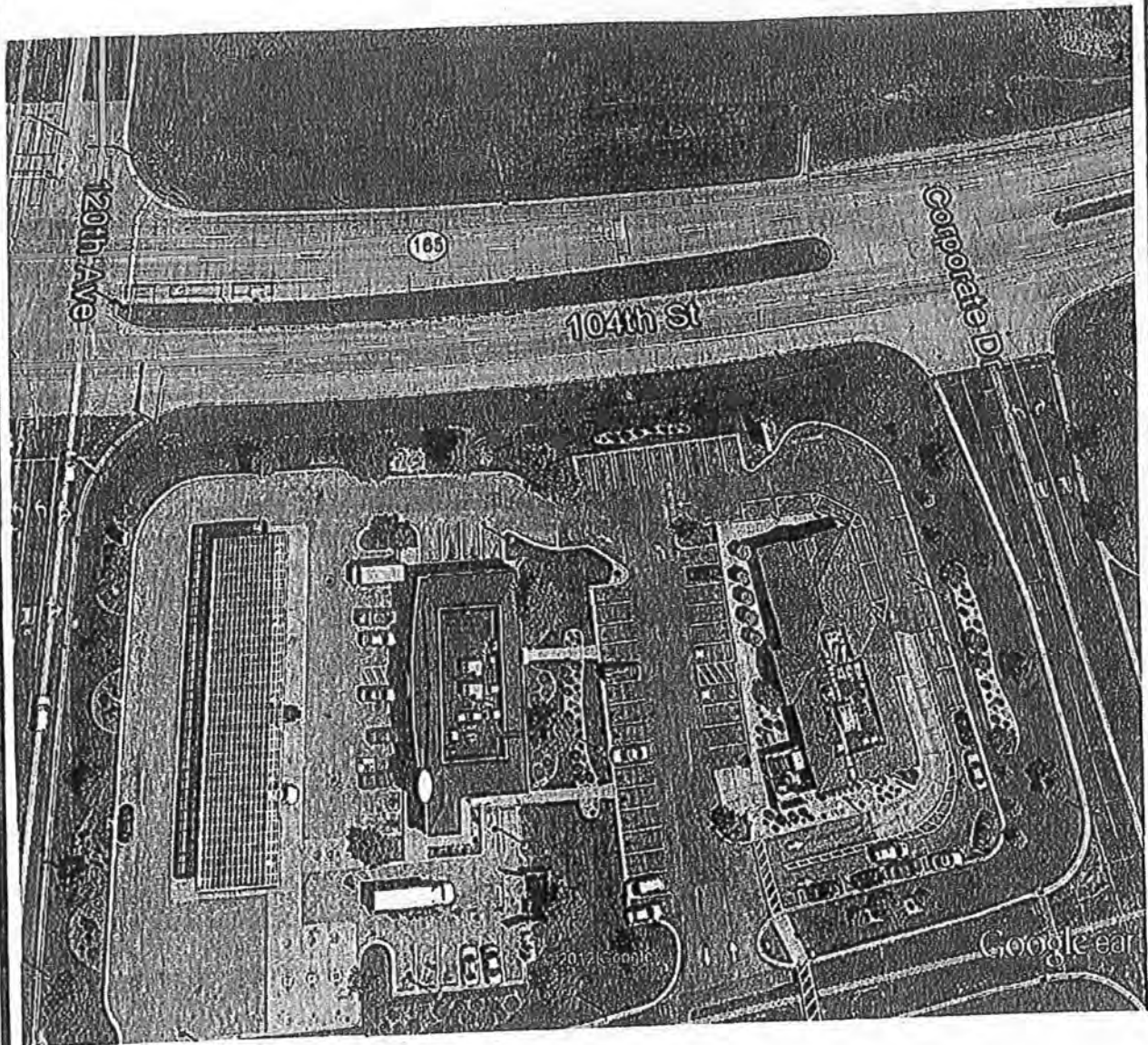
BP Station  
 10477 120th Avenue  
 Pleasant Prairie, WI



Notes:  
 Developed from Site Plan provided  
 by client

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Figure 2



**Legend:**

●: Approximate Location of Proposed Soil Probe

Intended for the purpose of establishing general site conditions.  
 May not be representative of current site conditions.



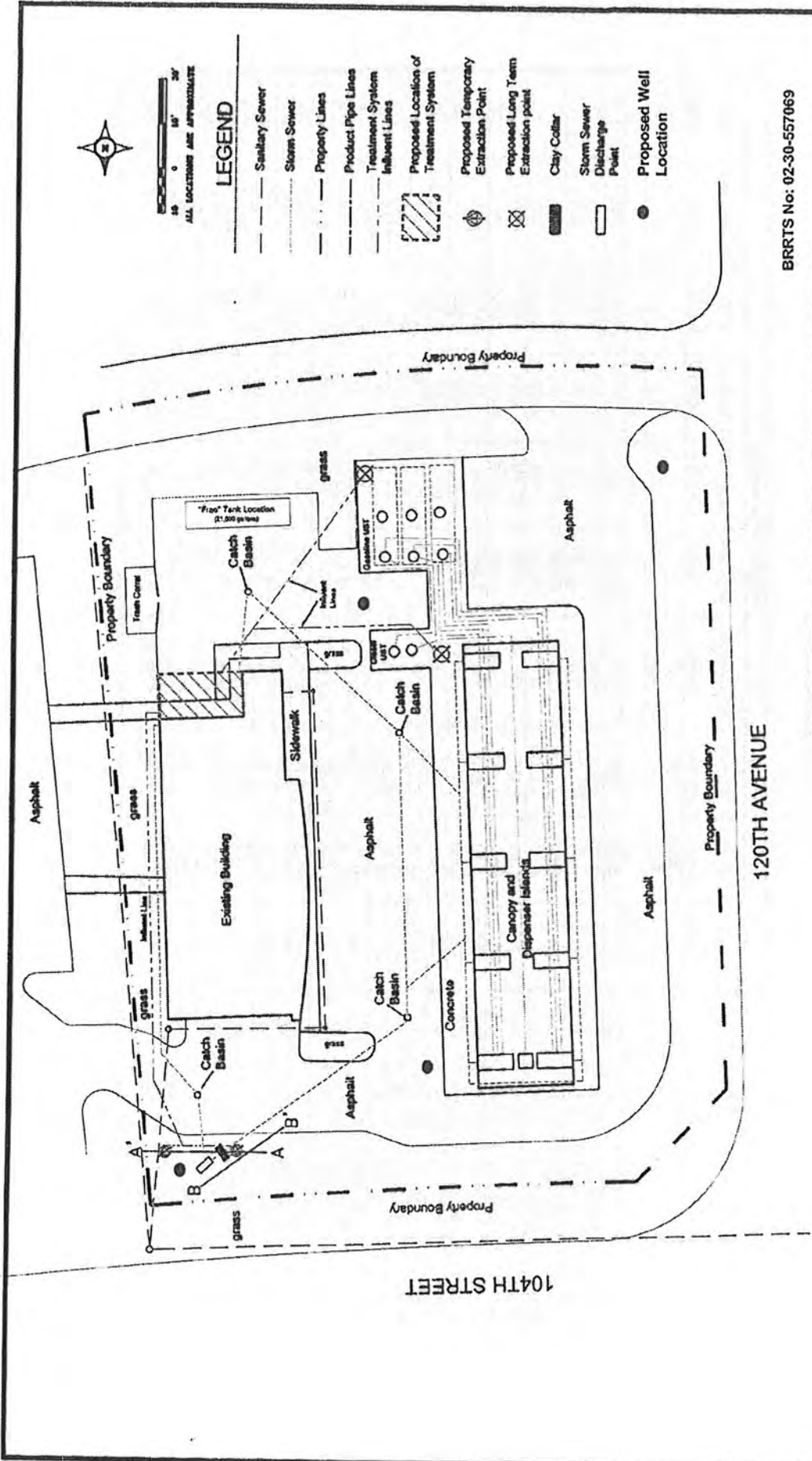
BP Station/Former Amoco Station #3789  
 10477 120th Avenue  
 Pleasant Prairie, Wisconsin

**PROPOSED SOIL PROBE LOCATIONS**

Project No. 7-121029

BRRTS:02-30-557069

Figure 3



BRRTS No: 02-30-557069

Scale: 1" = 30' +/-
Project Number: 7-121029
Date: 8/13/12
Drawn By: SLH

Proposed Monitoring Well Locations  
 GP Station  
 10477 120th Avenue  
 Pleasant Prairie, WI



Notes:  
 Developed from Site Plan provided  
 by client

7-121029\autocadfiles\lp station site.dwg\site

Figure 4

**Table 1**  
**Soil Sample Analytical Results**  
 BP Service Station No. 3789  
 10477 120th Avenue  
 Pleasant Prairie, Wisconsin  
 Delta Project No. G0-2CB

Boring	Sample Date	Sample Depth Feet	PID IUs	GRO mg/kg	Analytical Parameters									
					Benzene mg/kg	Toluene mg/kg	Ethylbenzene mg/kg	Xylenes mg/kg	1,2,4-TMB mg/kg	1,3,5-TMB mg/kg	MTBE mg/kg	Naphthalene mg/kg	Lead mg/kg	
				100	0.0055	1.5	2.9	4.1	83	11	--	--	50	
				--	8.5	38	4.6	42	--	--	--	--	--	
				--	1.1	--	--	--	--	--	--	--	--	
				175	6.12	19.1	1.63	6.52	7.68	1.93	<0.469	NA	NA	
Basin Backfill3	09/09/99	3	NM	9.1	<0.030	0.061	<0.030	<0.090	0.095	<0.030	<0.030	NA	11	
MW-1A	06/23/00	5 - 7	0	6.6	<0.031	0.050	<0.031	<0.094	0.053	<0.031	<0.031	NA	12	
MW-1B	06/23/00	7 - 9	0	8.1	0.050	0.380	0.062	0.245	0.196	0.032	<0.031	NA	13	
MW-2A	06/23/00	5 - 7	0	6.4	<0.031	0.052	<0.031	<0.093	0.057	<0.031	<0.031	NA	12	
MW-2B	06/23/00	7 - 9	0	<6.0	<0.030	0.077	<0.030	<0.091	<0.030	<0.030	<0.030	NA	16	
MW-3A	06/23/00	5 - 6	0	9.2	0.039	0.307	0.053	0.209	0.184	<0.031	<0.031	NA	12	
MW-3B	06/23/00	6 - 8	0	124	3.85	14.9	1.61	7.690	6.08	1.74	<0.031	NA	15	
MW-4A	06/23/00	3 - 5	240	7.0	0.064	0.326	0.054	0.145	0.110	<0.030	<0.030	NA	18	
MW-4B	06/23/00	7 - 9	100	155	2.5	11.8	1.79	8.57	8.33	2.62	<0.119	NA	NA	
GP-1	11/09/00	8 - 10	27	<6.0	<0.030	<0.030	<0.030	<0.090	<0.030	<0.030	<0.030	NA	NA	
GP-2	11/09/00	8 - 10	0	<6.1	<0.031	<0.031	<0.031	<0.092	<0.031	<0.031	<0.031	NA	NA	
GP-3	11/09/00	8 - 10	0	<5.7	<0.028	<0.028	<0.028	<0.085	<0.028	<0.028	<0.028	NA	NA	
GP-4	11/09/00	8 - 10	0	<6.0	<0.030	<0.030	<0.030	<0.090	<0.030	<0.030	<0.030	NA	NA	
GP-5	11/09/00	8 - 10	0	<6.4	<0.032	<0.032	<0.032	<0.096	<0.032	<0.032	<0.032	NA	NA	
GP-6	11/09/00	8 - 10	0	<5.7	0.792	<0.029	<0.029	<0.041	<0.029	<0.029	<0.029	<0.029	NA	
CF-3	10/11/01	3	0	<5.8	<0.029	<0.029	<0.029	<0.041	<0.029	<0.029	<0.029	<0.029	NA	
CF-5	10/11/01	3	25	18	0.037	0.087	<0.031	0.123	0.895	0.429	<0.031	0.135	NA	
CF-7	10/11/01	3	287	<5.9	<0.029	<0.029	<0.029	<0.041	0.089	0.036	<0.029	<0.029	NA	
CF-11	10/11/01	3	0	<6.2	<0.031	<0.031	<0.031	<0.043	<0.031	<0.031	<0.031	<0.031	NA	
CF-13	10/11/01	3	0	<5.8	<0.059	<0.059	<0.059	<0.18	<0.059	<0.059	<0.059	<0.30	NA	
MW-5	06/07/04	11 - 13	0.1	<6.0	<0.061	<0.061	<0.061	<0.18	<0.061	<0.061	<0.061	<0.31	NA	
MW-6	06/07/04	9 - 11	0.7	<6.1	<0.061	<0.061	<0.061	<0.18	<0.061	<0.061	<0.061	<0.30	NA	
MW-7	06/08/04	5 - 7	1.0	<5.9	<0.059	<0.059	<0.059	<0.18	<0.059	<0.059	<0.059	<0.30	NA	
MW-8	06/08/04	15 - 17	0.4	<6.1	<0.060	<0.060	<0.060	<0.18	<0.060	<0.060	<0.060	<0.30	NA	
MW-9	06/09/04	15 - 17	0.0										NA	

Table 1

**Soil Sample Analytical Results**

BP Service Station No. 3789  
 10477 120th Avenue  
 Pleasant Prairie, Wisconsin  
 Delta Project No. G0-2CB

**NOTES:**

- < ..... = Not detected at or above the laboratory method detection limit
- GRO ..... = Gasoline Range Organics
- IUS ..... = Instrument Units
- J ..... = Estimated concentration above the adjusted method detection limit and below the adjusted reporting limit
- mg/kg ..... = milligrams per kilogram (equivalent to parts per million)
- MTBE ..... = Methyl Tertiary Butyl Ether
- NA ..... = Not Analyzed for the indicated parameter
- NM ..... = Not Measured
- PID ..... = Volatile organic vapor level as measured with a photoionization detector
- TMB ..... = Trimethylbenzene
- NR 720 RCL ..... = Wisconsin Administrative Code Chapter NR 720 Non-Industrial Generic Residual Contaminant Level
- NR 746 SSL ..... = Wisconsin Administrative Code Chapter NR 746 Table 1 Soil Screening Level
- NR 746 Direct Contact Std ..... = Wisconsin Administrative Code Chapter NR 746 Table 2 Direct Contact Standard (0 - 4 ft)
- "BOLD TYPE"** ..... = The indicated concentration exceeds the NR 720 RCL
- "UNDERLINED TYPE" ..... = The indicated concentration exceeds the NR 746 Table 2 Direct Contact Standard (0 - 4 ft)



**BP Connect**  
**10477 120th Avenue**  
**Pleasant Prairie, WI**  
**Table 1 - Soil Results**

BRRIS #03-30-242791000000  
 Moraine Project #5138

Bore Hole Data				GRO DRO P <sub>b</sub> PVOC+Nap											
Bore Hole ID	Date	Sample Depth (feet bgs)	Analysis	DRO	GRO	Total Lead	Benzene	Ethyl-benzene	Methyl-Nit-butyl-ether	Naphthalene	Toluene	1,2,4-Trimethylbenzene	1,3,5-Trimethylbenzene	Total Xylenes	
Unit of Measure:				mg/kg	mg/kg	mg/kg	ug/kg	ug/kg	ug/kg	ug/kg	ug/kg	ug/kg	ug/kg	ug/kg	ug/kg
WDNR NR 720 RCLs/ Lowest PAH Objectives:				250*	250*	50	5.5	2,900	NSE	400	1,500	NSE	NSE	4,100	
WDNR NR 748 SSLs:				NSE	NSE	NSE	8,500	4,600	NSE	2,700	38,000	83,000	11,000	42,000	
North Stormwater Ditch	06/09/11	1-2	DRO GRO PVOC+Nap, PAH Pb	<u>29,700</u>	<u>5,050</u>	42.4	<u>28,400</u>	<u>19,100</u>	<2000	<u>192,000</u>	<u>100,000</u>	<u>581,000</u>	<u>163,000</u>	<u>222,100</u>	
B-1 (SE of Tanks)	07/08/11	11-12	DRO GRO PVOC PAH	<0.98	<3.1	---	<25.0	<25.0	<25.0	---	<25.0	<25.0	<25.0	<75.0	
		19-20	DRO GRO PVOC PAH	1.8J	<3.0	---	<25.0	<25.0	<25.0	---	<25.0	<25.0	<25.0	<75.0	
B-2 (E of Tanks)	07/08/11	13-15	DRO GRO PVOC PAH	1.8J	<3.0	---	<25.0	<25.0	<25.0	---	<25.0	<25.0	<25.0	<75.0	
		18-20	DRO GRO PVOC PAH	2.5	<3.0	---	<25.0	<25.0	<25.0	---	<25.0	<25.0	<25.0	<75.0	
B-3	07/08/11	13-15	DRO GRO PVOC PAH	3.1	<2.9	---	<25.0	<25.0	<25.0	---	<25.0	<25.0	<25.0	<75.0	
		16-20	DRO GRO PVOC PAH	2.2	<3.1	---	<25.0	<25.0	<25.0	---	<25.0	<25.0	<25.0	<75.0	
B-4	07/08/11	14-15	DRO GRO PVOC PAH	3.1	<3.0	---	<25.0	<25.0	<25.0	---	<25.0	<25.0	<25.0	<75.0	
		18-20	DRO GRO PVOC PAH	3.3	<3.1	---	<25.0	<25.0	<25.0	---	<25.0	<25.0	<25.0	<75.0	
B-5	07/08/11	7-9	DRO GRO PVOC PAH	<0.88	<3.1	---	<25.0	<25.0	<25.0	---	<25.0	<25.0	<25.0	<75.0	
		17-20	DRO GRO PVOC PAH	2.7	<3.0	---	<25.0	<25.0	<25.0	---	<25.0	<25.0	<25.0	<75.0	
B-6	07/08/11	10-11	DRO GRO PVOC PAH	8.8	178	---	<u>963</u>	<u>1,990</u>	108 J	---	183	12,900	4,070	<u>6,122</u>	
		17-20	DRO GRO PVOC PAH	2.9	<3.0	---	<25.0	<25.0	<25.0	---	<25.0	56.9J	<25.0	<75.0	
B-7 Behind Bldg. North	07/08/11	11-13	DRO GRO PVOC PAH	1.4J	<3.0	---	<25.0	<25.0	<25.0	---	<25.0	<25.0	<25.0	<75.0	
		21-25	DRO GRO PVOC PAH	2.2	3.8	---	<25.0	<25.0	<25.0	---	<25.0	35.2J	<25.0	<75.0	
B-8 Behind Bldg. South	07/08/11	12-13	DRO GRO PVOC PAH	<0.82	<3.0	---	<25.0	<25.0	<25.0	---	<25.0	<25.0	<25.0	<75.0	
		18-20	DRO GRO PVOC PAH	3.0	<3.0	---	<25.0	<25.0	<25.0	---	<25.0	<25.0	<25.0	<75.0	

Key:  
 mg/kg = milligrams/kilogram (equivalent to parts per million or ppm)  
 ug/kg = micrograms/kilogram (equivalent to parts per billion or ppb)  
 GRO = Gasoline Range Organics  
 DRO = Diesel Range Organics  
 Blank Spots or NA = Not Analyzed  
 RCL = Remedial Contaminant Level (NR 720.09)  
 250\* = RCL in Non-permeable soil (NR 720.09 (4))  
 SSL = Soil Screening Level (NR 748.08)  
 NSE = No Standard Established.  
 PAH Objectives: Soil Cleanup Levels for Polycyclic Aromatic Hydrocarbons (PAHs) Interim Guidelines, WDNR Publication #RRS19-97, April 1997.  
 Underlined results exceed NR 720 RCL/PAH Objectives  
 Bold and Underlined results exceed NR 748 SSLs  
 J - Compound detected below the Limit of Quantitation (LOQ) and quantity is estimated.  
 Estimated quantities (J) that exceed a regulatory limit are not enforceable.

**BP Connect**  
**10477 120th Avenue**  
**Pleasant Prairie, WI**  
**Table 1 - Soil Results**

BRTS #03-30-242791000000  
 Moraine Project #5138

Bore Hole Data				PAHs										
Bore Hole ID	Date	Sample Depth (feet bgs)	Analysis	1-Methyl naphthalene	2-Methyl naphthalene	Acenaphthene	Acenaphthylene	Anthracene	Benzo(a)anthracene	Benzo(a)pyrene	Benzo(b)fluoranthene	Benzo(ghi)perylene	Benzo(k)fluoranthene	Chrysene
Unit of Measure:				ug/kg	ug/kg	ug/kg	ug/kg	ug/kg	ug/kg	ug/kg	ug/kg	ug/kg	ug/kg	ug/kg
WDNR NR 720 RCLs/ Lowest PAH Objectives:				23,000	20,000	39,000	700	3,000,000	17,000	48,000	380,000	8,800,000	870,000	37,000
WDNR NR 746 SSLs:				NSE	NSE	NSE	NSE	NSE	NSE	NSE	NSE	NSE	NSE	NSE
North Stormwater Ditch	08/09/11	1-2	DRO GRO PVOC+ <u>NR</u> PAH Pb	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
B-1 (SE of Tanks)	07/08/11	11-12	DRO GRO PVOC PAH	<3.1	<3.1	<2.9	<3.3	<4.8	<2.9	<3.3	<3.5	<2.7	<3.8	<3.7
		19-20	DRO GRO PVOC PAH	<3.1	<3.1	<2.9	<3.2	<4.7	<2.9	<3.3	<3.5	<2.7	<3.8	<3.7
B-2 (E of Tanks)	07/08/11	13-15	DRO GRO PVOC PAH	4.1J	8.0J	<2.8	<3.2	<4.7	<2.9	<3.3	<3.5	<2.7	<3.8	<3.7
		18-20	DRO GRO PVOC PAH	<3.1	<3.1	<2.9	<3.2	<4.7	<2.9	<3.3	<3.5	<2.7	<3.8	<3.7
B-3	07/08/11	13-15	DRO GRO PVOC PAH	<3.0	<3.0	<2.8	<3.1	<4.8	<2.8	<3.2	<3.4	<2.6	<3.6	<3.8
		18-20	DRO GRO PVOC PAH	<3.1	<3.1	<2.9	<3.3	<4.8	<2.9	<3.4	<3.6	<2.7	<3.8	<3.7
B-4	07/08/11	14-15	DRO GRO PVOC PAH	18.5J	22.6	<2.8	<3.2	<4.7	<2.9	<3.3	<3.5	<2.7	<3.7	<3.7
		18-20	DRO GRO PVOC PAH	3.7J	5.2J	<2.9	<3.3	<4.8	<2.9	<3.3	<3.5	<2.7	<3.8	<3.7
B-5	07/08/11	7-9	DRO GRO PVOC PAH	<3.1	<3.1	<2.9	<3.3	<4.8	<2.9	<3.3	<3.5	<2.7	<3.8	<3.7
		17-20	DRO GRO PVOC PAH	<3.0	<3.0	<2.8	<3.2	<4.6	<2.8	<3.3	<3.4	<2.6	<3.7	<3.8
B-6	07/08/11	10-11	DRO GRO PVOC PAH	379	846	<2.8	<3.1	<10.9	<2.8	<3.2	<3.7	<11.2	<11.8	<9.0
		17-20	DRO GRO PVOC PAH	<3.1	<3.1	<2.8	<3.2	<4.7	<2.8	<3.3	<3.5	<2.6	<3.7	<3.8
B-7 Behind Bldg. North	07/08/11	11-13	DRO GRO PVOC PAH	5.9J	10.7J	<2.8	<3.2	<4.7	<2.9	<3.3	<3.5	<2.7	<3.8	<3.7
		21-25	DRO GRO PVOC PAH	<3.1	<3.1	<2.8	<3.2	<4.7	<2.9	<3.3	<3.5	<2.7	<3.8	<3.7
B-8 Behind Bldg. South	07/08/11	12-13	DRO GRO PVOC PAH	<3.1	<3.1	<2.8	<3.2	<4.7	<2.9	<3.3	<3.5	<2.7	<3.8	<3.7
		18-20	DRO GRO PVOC PAH	3.5J	4.0J	<2.8	<3.2	<4.7	<2.9	<3.3	<3.5	<2.7	<3.7	<3.7

**Key:**  
 mg/kg - milligrams/kilogram (equivalent to parts per million or ppm)  
 ug/kg = micrograms/kilogram (equivalent to parts per billion or ppb)  
 GRO = Gasoline Range Organics  
 DRO = Diesel Range Organics  
 Blank Space or NA = Not Analyzed  
 RCL = Residual Contaminant Level (NR 720.09)  
 250' = RCL in Non-permissible soil (NR 720.09 (4))  
 SSL = Soil Screening Level (NR 748.06)  
 NSE = No Standard Established.  
 PAH Objectives: Soil Cleanup Levels for Polycyclic Aromatic Hydrocarbons (PAHs) Interim Guidance, WDNR Publication #RR519-97, April 1997.  
 Underlined results exceed NR 720 RCLs/PAH Objectives  
 Bold and Underlined results exceed NR 748 SSLs  
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**BP Connect**  
**10477 120th Avenue**  
**Pleasant Prairie, WI**  
**Table 1 - Soil Results**

BRRTS #03-30-242791000000  
 Moraine Project #53138

Bore Hole Data				PAHs						
Bore Hole ID	Date	Sample Depth (feet bgs)	Analysis	Dibenz (ah)anthracene	Fluoranthene	Fluorene	Indeno (123cd) pyrene	Naphthalene	Phenanthrene	Pyrene
Unit of Measure:				ug/kg	ug/kg	ug/kg	ug/kg	ug/kg	ug/kg	ug/kg
WDNR NR 720 RCLs/ Lowest PAH Objectives:				38,000	500,000	100,000	880,000	400	1,800	8,700,000
WDNR NR 748 SSLs:				NSE	NSE	NSE	NSE	2,700	NSE	NSE
North Stormwater Ditch	06/09/11	1-2	DRD GRO PVOC+Nap, PAH Pb	NA	NA	NA	NA	NA	NA	NA
B-1 (SE of Tanks)	07/08/11	11-12	DRD GRO PVOC PAH	<5.8	<10.2	<5.1	<2.9	<3.8	<4.5	<3.7
		19-20	DRD GRO PVOC PAH	<5.5	<10.2	<5.1	<2.9	<3.8	<4.5	<3.7
B-2 (E of Tanks)	07/08/11	13-15	DRD GRO PVOC PAH	<5.5	<10.1	<5.0	<2.9	21.3	<4.5	<3.7
		18-20	DRD GRO PVOC PAH	<5.5	<10.1	<5.0	<2.9	<3.6	<4.5	<3.7
B-3	07/08/11	13-15	DRD GRO PVOC PAH	<5.3	<9.8	<4.9	<2.8	<3.4	<4.3	<3.6
		16-20	DRD GRO PVOC PAH	<5.8	<10.3	<5.1	<2.9	5.3J	<4.5	<3.8
B-4	07/08/11	14-15	DRD GRO PVOC PAH	<5.5	<10.1	<5.0	<2.9	<3.5	4.6J	<3.7
		18-20	DRD GRO PVOC PAH	<5.6	<10.2	<5.1	<2.9	18.5J	5.1J	<3.7
B-5	07/08/11	7-9	DRD GRO PVOC PAH	<5.8	<10.2	<5.1	<2.9	<3.6	<4.5	<3.7
		17-20	DRD GRO PVOC PAH	<5.4	<10	<5.0	<2.8	<3.5	<4.4	<3.6
B-6	07/08/11	10-11	DRD GRO PVOC PAH	<18.8	34.2	<17.0	<9.7	11.180	<15.1	<12.5
		17-20	DRD GRO PVOC PAH	<5.4	<10	<5.0	<2.8	<3.5	<4.4	<3.7
B-7 Behind Bldg. North	07/08/11	11-13	DRD GRO PVOC PAH	<5.5	<10.1	<5.0	<2.9	7.3J	<4.5	<3.7
		21-25	DRD GRO PVOC PAH	<5.5	<10.1	<5.0	<2.9	<3.5	<4.4	<3.7
B-8 Behind Bldg. South	07/08/11	12-13	DRD GRO PVOC PAH	<5.5	<10.1	<5.0	<2.9	<3.5	<4.5	<3.7
		18-20	DRD GRO PVOC PAH	<5.5	<10.1	<5.0	<2.9	<3.5	<4.4	<3.7

**Key:**  
 mg/kg = milligrams/kilogram (equivalent to parts per million or ppm)  
 ug/kg = micrograms/kilogram (equivalent to parts per billion or ppb)  
 GRO = Gasoline Range Organics  
 DRO = Diesel Range Organics  
 Blank Space or NA = Not Analyzed  
 RCL = Residual Contaminant Level (NR 720.09)  
 250' = RCL in Non-permeable soil (NR 720.09 (4))  
 SSL = Soil Screening Level (NR 748.06)  
 NSE = No Standard Established  
 PAH Objectives: Soil Cleanup Levels for Polycyclic Aromatic Hydrocarbons (PAHs), Interim Guidance, WDNR Publication #RR519-97, April 1997.  
 Underlined results exceed NR 720 RCL/PAH Objectives  
 Bold and Underlined results exceed NR 748 SSLs  
 J - Compound detected below the Limit of Quantitation (LOQ) and quality is estimated.  
 Estimated quantities (J) that exceed a regulatory limit are not enforceable.

**Table 3**  
**Groundwater Analytical Results**  
 BP Service Station No. 3789  
 10477 120th Avenue  
 Pleasant Prairie, Wisconsin  
 Delta Project No. G02CB

MW-1											
Date Sampled	Analytical Parameters								Biodegradation Parameters		
	Benzene	Toluene	Ethylbenzene	Total Xylenes	Total TMBs	MTBE	Naphthalene	GRO	DO	REDOX	Dissolved Iron
	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	ppm	mV	ppm
NR 140 ES	5.0	1,000	700	10,000	480	60	40	No Standard			
6/30/2000	DRY WELL										
3/22/2001	<0.13	<0.20	<0.22	<0.23	<0.29	<0.16	<0.46	<50	0.9	013	NM
6/18/2001	<0.13	<0.20	<0.22	<0.23	<0.29	0.18	NA	<50	6.5	200	NM
9/4/2001	<0.13	<0.20	<0.22	<0.23	<0.29	<0.16	NA	<50	1.1	114	NM
7/12/2002	<0.13	<0.20	<0.22	<0.23	<0.29	<0.16	NA	NA	1.6	149	NM
7/22/2004	<1.0	<1.0	<1.0	<3.0	<1.0	<4.0	NA	NA	1.8	022	NM
10/15/2004	<5.0	<5.0	<5.0	<15.0	<5.0	<5.0	<5.0	NA	3.8	023	NM

MW-2											
Date Sampled	Analytical Parameters								Biodegradation Parameters		
	Benzene	Toluene	Ethylbenzene	Total Xylenes	Total TMBs	MTBE	Naphthalene	GRO	DO	REDOX	Dissolved Iron
	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	ppm	mV	ppm
NR 140 ES	5.0	1,000	700	10,000	480	60	40	No Standard			
6/30/2000	<0.10	<0.10	<0.25	<0.25	<0.10	<0.25	<0.25	<50	3.4	190	0.2
6/30/2000 D	<0.10	<0.10	<0.25	<0.25	<0.10	<0.25	<0.25	<50			
3/22/2001	<0.13	<0.20	<0.22	<0.23	<0.29	<0.16	<0.46	<50	1.7	066	NM
6/18/2001	<0.13	<0.20	<0.22	<0.23	<0.29	<0.16	NA	<50	1.4	113	NM
9/4/2001	<0.13	<0.20	<0.22	<0.23	<0.29	<0.16	NA	<50	1.0	120	NM
7/12/2002	<0.13	<0.20	<0.22	<0.23	<0.29	<0.16	NA	NA	2.6	156	NM
7/22/2004	<1.0	<1.0	<1.0	<3.0	<1.0	<4.0	NA	NA	1.7	005	NM
10/15/2004	<1.0	<1.0	<1.0	<3.0	<1.0	<1.0	<1.0	NA	3.4	-012	NM

MW-3											
Date Sampled	Analytical Parameters								Biodegradation Parameters		
	Benzene	Toluene	Ethylbenzene	Total Xylenes	Total TMBs	MTBE	Naphthalene	GRO	DO	REDOX	Dissolved Iron
	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	ppm	mV	ppm
NR 140 ES	5.0	1,000	700	10,000	480	60	40	No Standard			
6/30/2000	<0.10	<0.10	<0.25	<0.25	<0.10	10	<0.25	<50	7.8	135	0.4
3/22/2001	<0.13	<0.20	<0.22	<0.23	<0.29	4.6	<0.46	<50	1.5	80	NM
6/18/2001	1.2	<0.20	0.39	1.4	2.32	8.7	NA	<50	1.2	100	NM
9/4/2001	<0.13	<0.20	<0.22	<0.23	0.46	9.4	NA	<50	1.0	110	NM
MW-3 was removed during the station rebuild in September 2001											

**Table 3**  
**Groundwater Analytical Results**  
 BP Service Station No. 3789  
 10477 120th Avenue  
 Pleasant Prairie, Wisconsin  
 Delta Project No. G02CB

MW-4											
Date Sampled	Analytical Parameters								Biodegradation Parameters		
	Benzene	Toluene	Ethylbenzene	Total Xylenes	Total TMBs	MTBE	Naphthalene	GRO	DO	REDOX	Dissolved Iron
	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	ppm	mV	ppm
NR 140 ES-->	5.0	1,000	700	10,000	480	60	40	No Standard			
6/30/2000	15,000	37,000	1,300	6,800	3,040	<200	1,300	95,000	NM	NM	10+
3/22/2001	8,800	31,000	1,300	7,700	4,470	<32	1,600	80,000	NM	-035	NM
3/22/2001 D	8,800	30,000	1,200	7,300	3,700	<32	1,500	NA			
6/18/2001	6,700	20,000	1,200	6,500	3,450	<32	1,400	52,000	1.1	-047	NM
6/18/2001 D	5,800	19,000	1,200	6,300	3,320	<32	1,400	50,000			
9/4/2001	4,900	18,000	970	5,700	3,250	<64	1,500	54,000	0.8	092	NM
9/4/2001 D	4,800	15,000	900	5,200	3,010	<64	2,000	NA			
7/12/2002	4,100	10,000	1,200	6,100	4,490	<39	NA	NA	0.8	148	NM
7/12/2002 D	3,700	8,600	910	4,800	3,420	<16	NA	NA			
7/22/2004	3,900	8,000	1,100	5,900	4,400	<500	NA	NA	1.0	-100	NM
7/22/2004 D	3,300	6,000	930	5,000	3,900	<400	NA	NA			
10/15/2004	2,380	3,150	835	4,530	3,021	<100	1,080	NA	4.1	-083	NM
10/15/2004 D	2,800	6,100	1,110	6,180	4,287	<100	1,730	NA			

MW-5											
Date Sampled	Analytical Parameters								Biodegradation Parameters		
	Benzene	Toluene	Ethylbenzene	Total Xylenes	Total TMBs	MTBE	Naphthalene	GRO	DO	REDOX	Dissolved Iron
	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	ppm	mV	ppm
NR 140 ES-->	5.0	1,000	700	10,000	480	60	40	No Standard			
7/22/2004	<1.0	<1.0	<1.0	<3.0	<1.0	<4.0	NA	NA	5.4	082	NM
10/15/2004	<1.0	<1.0	<1.0	<3.0	<1.0	<1.0	<1.0	NA	2.7	094	NM

MW-6											
Date Sampled	Analytical Parameters								Biodegradation Parameters		
	Benzene	Toluene	Ethylbenzene	Total Xylenes	Total TMBs	MTBE	Naphthalene	GRO	DO	REDOX	Dissolved Iron
	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	ppm	mV	ppm
NR 140 ES-->	5.0	1,000	700	10,000	480	60	40	No Standard			
7/22/2004	<1.0	<1.0	<1.0	<3.0	<1.0	<4.0	NA	NA	5.4	092	NM
10/15/2004	<1.0	<1.0	<1.0	<3.0	<1.0	<1.0	<1.0	NA	3.1	094	NM

**Table 3**  
**Groundwater Analytical Results**  
 BP Service Station No. 3789  
 10477 120th Avenue  
 Pleasant Prairie, Wisconsin  
 Delta Project No. G02CB

MW-7											
Date Sampled	Analytical Parameters								Biodegradation Parameters		
	Benzene	Toluene	Ethylbenzene	Total Xylenes	Total TMBs	MTBE	Naphthalene	GRO	DO	REDOX	Dissolved Iron
	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	ppm	mV	ppm
NR (40 ES)	5.0	1,000	700	10,000	480	60	40	No Standard			
7/22/2004	<1.0	<1.0	<1.0	<3.0	<1.0	<4.0	NA	NA	3.8	083	NM
10/15/2004	<1.0	<1.0	<1.0	<3.0	<1.0	<1.0	<1.0	NA	2.5	087	NM

MW-8											
Date Sampled	Analytical Parameters								Biodegradation Parameters		
	Benzene	Toluene	Ethylbenzene	Total Xylenes	Total TMBs	MTBE	Naphthalene	GRO	DO	REDOX	Dissolved Iron
	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	ppm	mV	ppm
NR (40 ES)	5.0	1,000	700	10,000	480	60	40	No Standard			
7/22/2004	<1.0	<1.0	<1.0	<3.0	<1.0	<4.0	NA	NA	5.7	094	NM
10/15/2004	<1.0	<1.0	<1.0	<3.0	<1.0	<1.0	<1.0	NA	2.3	099	NM

MW-9											
Date Sampled	Analytical Parameters								Biodegradation Parameters		
	Benzene	Toluene	Ethylbenzene	Total Xylenes	Total TMBs	MTBE	Naphthalene	GRO	DO	REDOX	Dissolved Iron
	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	ppm	mV	ppm
NR (40 ES)	5.0	1,000	700	10,000	480	60	40	No Standard			
7/22/2004	<1.0	<1.0	<1.0	<3.0	<1.0	<4.0	NA	NA	5.2	091	NM
10/15/2004	<1.0	<1.0	<1.0	<3.0	<1.0	<1.0	<1.0	NA	3.0	088	NM

GP-1									
Date Sampled	Analytical Parameters								
	Benzene	Toluene	Ethylbenzene	Total Xylenes	Total TMBs	MTBE	Naphthalene	GRO	
	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	
NR (40 ES)	5.0	1,000	700	10,000	480	60	40	No Standard	
11/10/2000	6,100	5,800	1,000	5,000	2,360	<6.4	NA	46,000	

**Table 3**  
**Groundwater Analytical Results**  
 BP Service Station No. 3789  
 10477 120th Avenue  
 Pleasant Prairie, Wisconsin  
 Delta Project No. G02CB

GP-2								
Analytical Parameters								
Date Sampled	Benzene	Toluene	Ethylbenzene	Total Xylenes	Total TMBs	MTBE	Naphthalene	GRO
	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L
NR 140 ES	50	1,000	700	10,000	480	60	40	No Standard
11/10/2000	60	87	150	260	234	<0.16	NA	2,000

GP-3								
Analytical Parameters								
Date Sampled	Benzene	Toluene	Ethylbenzene	Total Xylenes	Total TMBs	MTBE	Naphthalene	GRO
	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L
NR 140 ES	50	1,000	700	10,000	480	60	40	No Standard
11/10/2000	0.36	<0.20	<0.22	0.40	0.46	0.21	NA	<50

GP-4								
Analytical Parameters								
Date Sampled	Benzene	Toluene	Ethylbenzene	Total Xylenes	Total TMBs	MTBE	Naphthalene	GRO
	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L
NR 140 ES	50	1,000	700	10,000	480	60	40	No Standard
11/10/2000	<0.13	<0.20	<0.22	<0.23	<0.29	<0.16	NA	<50

GP-5								
Analytical Parameters								
Date Sampled	Benzene	Toluene	Ethylbenzene	Total Xylenes	Total TMBs	MTBE	Naphthalene	GRO
	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L
NR 140 ES	50	1,000	700	10,000	480	60	40	No Standard
11/10/2000	<0.13	<0.20	<0.22	<0.23	<0.29	<0.16	NA	<50

GP-6								
Analytical Parameters								
Date Sampled	Benzene	Toluene	Ethylbenzene	Total Xylenes	Total TMBs	MTBE	Naphthalene	GRO
	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L	µg/L
NR 140 ES	50	1,000	700	10,000	480	60	40	No Standard
11/10/2000	<0.13	<0.20	<0.22	<0.23	<0.29	<0.16	NA	<50

**Table 3**  
**Groundwater Analytical Results**  
 BP Service Station No. 3789  
 10477 120th Avenue  
 Pleasant Prairie, Wisconsin  
 Delta Project No. G02CB

Drainage Ditch 9/9/1999		Analytical Parameters						
Sample ID	Benzene µg/L	Toluene µg/L	Ethylbenzene µg/L	Total Xylenes µg/L	Total TMBs µg/L	MTBE µg/L	Naphthalene µg/L	GRO µg/L
<b>NR 140 ES</b>	<b>510</b>	<b>1000</b>	<b>700</b>	<b>10,000</b>	<b>480</b>	<b>60</b>	<b>40</b>	<b>No Standard</b>
Catch Basin 3	312	1,840	64.2	697	428.4	59	NA	5,840
Drainage Ditch 1	507	591	19.8	234.9	267.8	412	NA	3,420
Drainage Ditch 2	216	12	15.2	14.56	9.37	<0.300	NA	357

**NOTES:**

< ..... = Not detected at or above the indicated laboratory method detection limit  
 µg/L ..... = micrograms per liter  
 D ..... = Duplicate sample  
 DO ..... = Dissolved Oxygen  
 GRO ..... = Gasoline Range Organics  
 MTBE ..... = Methyl Tertiary Butyl Ether  
 mV ..... = millivolts  
 NA ..... = Not Analyzed for indicated parameter  
 NM ..... = Not Measured  
 NR 140 ES ..... = Wisconsin Administrative Code Chapter NR 140 Enforcement Standard  
 NS ..... = Not Sampled  
 ppm ..... = parts per million  
 REDOX ..... = Reduction/Oxidation potential  
 TMBs ..... = Trimethylbenzenes  
 "BOLD TYPE" ..... = Indicated concentration exceeds the NR 140 ES



**TABLE**  
**BP Service Station No. 3789**  
**BRRTS # 03-30-242791 and # 02-30-557069**  
**MES Project Number 7-121029**  
**SUMMARY OF GRAB WATER SAMPLE ANALYSIS RESULTS (VOCs)**

Location	Date Collected	Volatile Organic Compounds (ug/L)									
		Benzene	Ethylbenzene	MTBE	Isopropylbenzene	p-Isopropyltoluene	Naphthalene	n-Propylbenzene	Trimethylbenzenes	Toluene	Total Xylenes
NSWD(a)	6/9/11	<b>2970</b>	414	<19	na	na	na	na	<b>5820</b>	<b>5400</b>	<b>3490</b>
TW-6(a)	7/8/11	<b>1250</b>	130	<7.6	na	na	na	na	<b>1697</b>	<b>1990</b>	<b>1685</b>
North Ditch	8/7/12	<b>74.4</b>	22.8	<0.76	na	na	<b>155</b>	na	364	52	688
Gas Basin	10/9/2012	<b>181</b>	62.2	<2.4	10.9	3.2	<b>108</b>	43.7	<b>630.7</b>	7.5	65.5
Diesel Basin	10/19/2012	<b>1700</b>	34.9	<6.1	<5.9	<6.7	<i>16.4J</i>	<8.1	<i>120.7</i>	93.8	207.5
<i>WDNR PAL (1/2012)</i>		<i>0.5</i>	<i>140</i>	<i>12</i>	--	--	<i>10</i>	--	<i>96</i>	<i>160</i>	<i>400</i>
<b>WDNR ES (1/2012)</b>		<b>5</b>	<b>700</b>	<b>60</b>	--	--	<b>100</b>	--	<b>480</b>	<b>800</b>	<b>2000</b>

**NOTES:**

WDNR PAL = NR140 Preventive Action Limit

WDNR ES = NR140 Enforcement Standard

NSWD = North Storm Water Ditch

ug/L = micrograms per liter = parts per billion (ppb)

*Italicized number indicates concentration exceeds the DNR PAL*

**Bold number indicates concentration exceeds the DNR ES**

na = Not Analyzed

(a) = Grab samples collected by Moraine Environmental

TABLE

BP Service Station No.3789

BRRTS # 03-30-242791 and # 02-30-557069

MES Project No. 7-121029

SUMMARY OF GRAB WATER SAMPLE ANALYSIS RESULTS (PAHs)

		Detectable Polynuclear Aromatic Hydrocarbons (ug/L)									
Location	Date	Acenaphthene	Anthracene	Fluoranthene	Fluorene	1-Methyl naphthalene	2-Methyl naphthalene	Naphthalene	Phenanthrene	Pyrene	
Gas Basin	10/9/12	1.1	<0.52	<0.64	1.0	64.8	8.0	61.1	<1.6	<0.82	
Diesel Basin	10/19/12	<0.15	0.14J	0.38J	<0.15	3.4	4.3	13.1	0.50J	0.34J	
WDNR PAL		--	600	80	80	--	--	10	--	50	
WDNR ES		--	<b>3000</b>	<b>400</b>	<b>400</b>	--	--	<b>100</b>	--	<b>250</b>	

NOTES:

WDNR PAL = NR140 Preventive Action Limit

WDNR ES = NR140 Enforcement Standard

-- = no standard established

*Italicized number indicates concentration exceeds the DNR PAL*

**Bold number indicates concentration exceeds the DNR ES**

ug/L = micrograms per liter = parts per billion (ppb)

J = Laboratory estimated concentration





# Operation & Maintenance Manual

## Carbonair Model MPC-7

### Pressurized Carbon Vessel

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#### 1.0 SAFETY PRECAUTIONS

***Failure to observe these precautions could result in serious bodily injury and/or property damage.***

Be sure to read and understand this O & M manual before beginning operation. If you have any questions, please call Carbonair Environmental Systems, Inc. at (800) 526-4999.

Always wear gloves, eye protection & protective clothing when working with the equipment.

Obtain an activated carbon Material Safety Data Sheet (MSDS) for more detailed safety & handling information (available upon request).

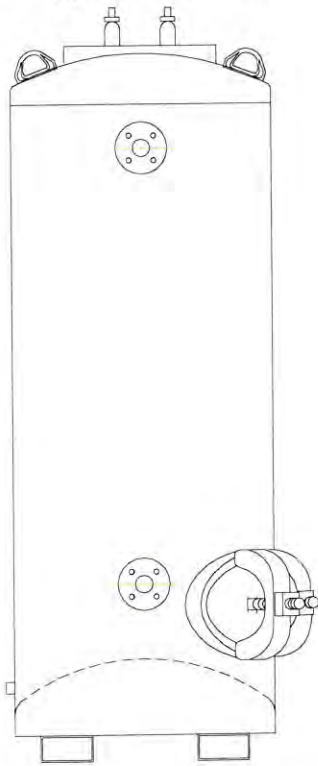
**WARNING:** *Never enter the MPC-7 vessel without adequate ventilation, proper atmospheric testing and safety equipment. The activated carbon depletes the air of oxygen. Entering the vessel without sufficient ventilation could be fatal. The vessel is considered a confined space and therefore OSHA confined space entry safety procedures must be followed. (29 CFR 1910.146).*

Take time to record your specific operating parameters on page 12.

#### 2.0 EQUIPMENT DESCRIPTION

The Carbonair model MPC-7 carbon adsorber is exceptionally durable and high performing. Its welded steel construction offers superior strength and reliability under all operating conditions. The under drain collection system consisting of a main hub and slotted laterals enables full use of the carbon bed. The interior is double coated with a corrosion resistant epoxy, tested and approved in accordance with AWWA, FDA, and EPA regulations, making the MPC-7 suitable for most industrial, municipal, and potable water applications.

**Figure No. 1 - Typical MPC-7 Unit**



**Table No. 1 - MPC-7 Structural Specifications**

<b>Design Parameter</b>	<b>Specification</b>
Dimensions	36" dia. X 7' 3" H
Bed Area	7 sq. ft.
Flow Range	4 - 50 gpm
Carbon Capacity	1,000 lbs
Max Operating Pressure	90 psi
Empty Weight	980 lbs
Loaded Weight	1,980 lbs
Operating Weight	3,670 lbs
Spent & Drained Wgt.	3,230 lbs

### 3.0 PROCESS DESCRIPTION

Carbonair's MPC-7 liquid phase carbon adsorber is designed to provide an efficient and economical means of removing organic contaminants from water. The MPC-7 is a pressurized vessel that holds an appropriately sized bed of granular activated carbon (GAC).

Water is pumped through the vessel containing the

GAC. The contaminants in the water are removed by adsorption as the water moves through the GAC bed. Several types of GAC are available for a variety of applications.

Granular activated carbon is highly porous and has a large surface area for adsorption. Adsorption is the process by which compounds adhere to the carbon surface. The portion of the carbon bed where adsorption occurs is referred to as the "mass transfer zone." The zone moves downward from the top of the bed as the carbon becomes saturated with organic compound. When the bed becomes completely saturated, some or all of the contaminants in the water will "breakthrough." Breakthrough occurs when the contaminant being treated is detected in the water flowing out of the vessel at levels approaching the discharge limit. The carbon should be replaced before this happens to prevent discharge permit violations.

Contaminated water is introduced into the vessel through the inlet connection is distributed evenly over the top of the carbon bed. The pressure created by the influent pump forces the contaminated water down through the carbon bed. Once the water reaches the base of the carbon bed the contaminants have generally been removed. The cleaned water is then collected through a series of slotted lateral pipes and exits the vessel through the outlet connection.

The MPC-7 is a pressurized vessel and is completely filled with water during operation (no air should be in the vessel).

### 4.0 INSTALLATION

*Be sure to carefully read all installation instruction before beginning the installation of the MPC-7 pressurized carbon vessel.*

#### 4.1 Inspection

1. Upon receiving the vessel, inspect the tank, fittings, and piping for structural or cosmetic damage.

2. Inspect the vessel interior and exterior for chipped and/or cracked paint. If chipped or cracked paint is identified, particularly on the interior surface, document the location and contact Carbonair immediately.
3. Before the vessel is set vertically in place, an inspection of the internals should be performed. This is necessary because it is possible that during transportation some of the internal piping and/or nuts and bolts may have loosened.

Open both the top and side manway and inspect the inside of the tank using care to not impact any of the internal fittings.

**WARNING:** *Never enter the MPC-7 vessel without adequate ventilation, proper atmospheric testing and safety equipment. The activated carbon depletes the air of oxygen. Entering the vessel without sufficient ventilation could be fatal. The vessel is considered a confined space and therefore OSHA confined space entry safety procedures must be followed (29 CFR 1910.146).*

4. Check all nuts and bolts to ensure that they are tight and also check each of the laterals.
5. Once this is completed, reinstall the manways. The manway gasket and the manway cover must be centered so it provides a sufficient seal. Tighten both hold-down lugs on the manway before lifting vessel to its designated location. **DO NOT** over tighten. Over tightening the manway cover may cause the gasket to extrude.

**NOTE:** *Do not operate any pressure vessel that has been structurally damaged. Operation of a damaged pressure vessel could result in personal injury or further damage to the carbon adsorber.*

#### **4.2 Loading & Unloading Vessel**

Be sure to follow proper safety procedures when loading & unloading the PC unit.

The MPC-7 adsorber should be unloaded and placed by an appropriately sized crane or forklift operated by an experienced operator. An empty vessel weighs approximately 980 pounds and a loaded one weighs approximately 1,980 lbs – excluding external piping. The carbon adsorber base should be bolted to the concrete pad prior to filling with carbon and operating.

The MPC-7 must be placed on a level concrete pad designed to handle the full operating load of the vessel (refer to Table 1). The carbon adsorber base should be bolted to the concrete pad prior to filling with carbon and operating.

#### **4.3 Connections**

Assemble and mount all of the external piping, valves, and instrumentation after the vessel is in place. Make sure that the piping is adequately supported so that excessive load or torque is not placed on the vessel fittings.

#### **5.0 START-UP**

If carbon must be added to the vessel, refer to Section 8.1 for specific carbon loading procedures. Fill the vessel with clean water prior to use. Open the bleed air valve to allow all of the air to escape during filling operations.

To ensure optimum performance of the carbon adsorber, the carbon should be thoroughly backwashed prior to its initial use. The backwash will remove most of the carbon fines to allow for better water distribution and reduce pressure drop through the carbon during normal operation. Refer to Section 8.3 for detailed backwashing procedures.

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The operating flow range for the vessel is 4-50 gallons per minute. At initial start-up, the pressure drop through the vessel should be approximately 1-5 psi, depending on the flow rate.

## 6.0 OPERATION

During operation, the pressure drop through the vessel may begin to increase. The differential pressure should be monitored on a regular basis, and should not be allowed to exceed 15-20 psi. If the differential pressure reached 15-20 psi, the vessel should be taken off line and a backwash should be initiated.

***Operating the vessel at differential pressures greater than 20 psi may cause damage to the vessel's interior components.***

For proper operation, and to prevent possible damage to the vessel, it is important that the vessel remain completely filled with water during operation and temporary shutdown. Bleed any air from the vessel by slowly opening the bleed valve at the top of the unit. The discharge piping configuration should be designed to maintain the level in the tank, and to ensure that a vacuum does not develop in the pressure vessel.

**Note:** *Be sure never to exceed the maximum design flow rate of 50 gpm or damage to the unit may result.*

## 7.0 TROUBLE SHOOTING

There are a few situations that may arise while operating the MPC-7 which can adversely effect the performance of the unit and/or result in abnormally high maintenance costs. If these situations cannot be resolved using the following trouble shooting guide contact Carbonair at (800) 526-4999.

### **Situation #1:**

Water cannot be pumped through the vessel at the design flow and pressure. (Pressure drop build up across the vessel).

### **Probable Cause:**

If this occurs, the water flow is being restricted somewhere between the inlet opening and the outlet opening of the vessel (assuming there are no restrictions on the downstream side of the outlet). The most common causes for this pressure drop build up are:

- Sediment/solids in the water stream have clogged the pores in the carbon bed restricting water flow
- Chemical or biological fouling has occurred forming an encrusted layer at the top of the carbon bed
- The slotted lateral pipes at the base of the vessel are clogged with some foreign material

### **Solution:**

- When pressure drop approaches the maximum recommended pressure drop listed in the manual, the system should be shut down and vessel drained to relieve the pressure. Also relieve the pressure on the influent line and check the inlet pressure gauge to ensure the pressure has been relieved. Open the top manway and visually inspect the top of the carbon bed. Be sure not to let the manway gasket fall into the vessel.
- If the top of the carbon bed appears encrusted or has a layer of foreign material on top of it, probe the top of the bed with a rod or chisel. If the bed is encrusted you will need to break up the encrusted layer into granular form prior to backwashing.
- While the vessel is open inspect the influent piping for obvious signs of wear and inspect the walls of the vessel for signs of corrosion or chips in the paint.

- 
- Replace the manway cover being sure to remove any carbon from the gasket material as this may cause channels in the seal around the manway and allow some water to leak out.
  - Proceed with the backwash procedure as outlined in Section 8.3 of this manual. This will normally remove the solids from the bed and allow you to resume normal operation.

**Note:** *If the pressure drop during backwash exceeds the maximum listed in Section 8.4 immediately stop the backwash and call Carbonair for input.*

**Situation #2:**

Breakthrough occurs much sooner than anticipated.

**Probable Cause:**

Premature breakthrough can be caused by several factors assuming you are operating at or near the design flow rate:

- Actual concentrations of contaminations may be higher than the design contaminant concentrations.
- Additional contaminants may be present in the water stream that was not taken into account in the design.
- Air in the vessel or flow restrictions may be causing the water to "channel" in the bed, effectively bypassing a portion of the GAC and thereby reducing the bed life.

**Solution:**

- Sample and analyze your influent water system to determine if the design contaminants are present at or near the design concentrations and that no additional contaminants are present.
- If the contaminants and/or concentrations are significantly different from the design criteria, contact Carbonair for input and a recommended solution.
- If the influent water chemistry is the same as or close to the design criteria, check to make sure that

there are no air pockets in the vessel during operation. Air pockets will cause the water to channel in the carbon bed and may cause premature breakthrough.

- Also, check for encrustation of the carbon. Chemical fouling may cause sections of the bed to become impermeable, which causes channeling. If you discover the carbon is becoming encrusted, be sure to perform frequent maintenance checks of the carbon during operation and break up the encrusted areas. You may also need some type of pretreatment to remove the hardness from the water before it enters the vessel. Call Carbonair if you have any questions.

**Situation #3:**

GAC in the effluent water.

**Probable Cause:**

If GAC is detected in the effluent water the under drain laterals have probably been damaged.

**Solution:**

- Stop the operation immediately. Drain the vessel and remove enough carbon to visually inspect the under drain system. This inspection can best be accomplished through the side manway.

**WARNING:** *Never enter a carbon vessel without adequate ventilation, proper atmospheric testing and safety equipment. The activated carbon depletes the air of oxygen. Entering the vessel without sufficient ventilation could be fatal. The vessel is considered a confined space and therefore OSHA confined space entry safety procedures must be followed. (29 CFR 1910.146).*

- Inspect the under drain system for cracks or other damage. Replace any damaged pipes and make sure replacement laterals are properly installed. Call Carbonair with any questions.

**Situation #4:**

Water dripping from the base of the vessel.



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**Probable Cause:**

Water leaks may occur at the inlet and outlet connections on the vessel. In addition, because the water being treated is often 55° F or lower temperatures, significant condensation may occur on the sides of the vessel in hot, humid environments.

**Solutions:**

- If you detect water draining from the base of the vessel check all connection points and fittings for leaks. Remember that carbon granules on the manway gaskets may cause leaks.
- Also, determine if significant condensation is occurring due to high humidity in the area around the vessel. If extensive condensation is a problem you can either adjust the humidity in the area around the vessel or make sure there is a drain under the vessel to receive the condensate water.

## 8.0 MAINTENANCE

There are several maintenance tasks that must be performed periodically to ensure continued, trouble free operation. These tasks are discussed in subsequent sections.

### 8.1 Fresh Carbon Loading - Dry Method

Dry carbon will typically be delivered in 1,000 pound supersacks. Each supersack will have four (4) lifting straps on the top and two drawstring openings on the bottom. The exterior drawstring opening will expose the interior shut with drawstring, which will allow carbon to exit the bag when opened. A quality dust mask and protective clothing should be worn when handling dry, granulated carbon.

Please follow recommended procedure for ease of loading the dry carbon:

1. Confirm that all of the valves on the vessel are closed. Remove the manway on the top of the unit.
2. Fill the vessel approximately 1/4 full of fresh water prior to loading the carbon. This will protect the vessel internals from the falling carbon, and also help limit the carbon dust created during the loading process.

**Note:** *Loading carbon without water in the vessel may cause damage to the vessel internals.*

<p>When loading carbon, workers must be protected from breathing the fine carbon dust particles - a particle mask is usually sufficient. In addition, eye goggles and protective coveralls are required.</p>
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3. Lift the supersacks using a crane or forklift, making sure that all of the lifting straps are used. Lift the supersack and position it approximately 6-12 inches above the top manway opening.
4. Untie the exterior drawstring on the bottom of the sack and pull out the carbon chute.
5. Loosen the interior drawstring from the carbon chute and allow the carbon to fall from the sack into the vessel.
6. Repeat until vessel is full.
7. Reinstall the manway and any other equipment.
8. Open air bleed valve and fill vessel with clean water, making sure that no air remains in the vessel..
9. Proceed to the "Backwash Procedure" section in manual.

**Note:** *If any foreign material begins to come out of the supersack during the carbon loading*

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*procedure, make sure that the foreign material does not enter the adsorber.*

## **8.2 Spent Carbon Removal – Vacuum Method**

Periodically, the spent carbon will have to be removed and replaced to optimize the contaminant removal performance of the unit. The spent carbon must be removed and replaced with new virgin or reactivated carbon.

**WARNING:** *Before attempting to remove the carbon from the vessel it must be understood that the material may be considered hazardous waste. Consequently, the use of respirators and protective clothing is strongly recommended.*

*The spent activated carbon can be sent to Carbonair for reactivation or a licensed reactivation facility for recycling. However, before the contaminated material can be shipped, a "Spent Media Profile" must be completed and sent to Carbonair. Other forms may also be required depending on the hazardous/non-hazardous classification of the contaminants adsorbed. Carbonair will not accept spent carbon until all the necessary forms have been completed.*

1. Shut off all water to the tank and open the air bleed valve to relieve any pressure in the tank.
2. Remove the top manway cover.
3. Using a vacuum blower, suck all of the media from the vessel and containerize in DOT approved containers.
4. Inspect the interior walls and piping for chips, crack, or leaks.

## **8.3 Backwash Procedure**

***Be sure to read this section completely and understand the procedure before conducting a backwash on the MPC-7 pressurized carbon vessel.***

Your pressure vessel will need to be backwashed to eliminate carbon fines prior to start-up, or to eliminate other sediment that may build up in the carbon during normal operation. Backwashing is accomplished by pumping **SEDIMENT-FREE** water from a **CLEAN SOURCE** into the effluent line and out through the influent line at the specified flow rate.

It is critical that sediment-free water be used to prevent clogging inside of the laterals. Clogging of the laterals could cause damage to the vessel internals. It is recommended that the water be filtered through a 100-micron or smaller filter prior to use.

Prior to backwashing you must open the top fitting of the vessel to inspect the top of the carbon bed. Once the top fitting is removed, it is recommended to probe the top of the carbon bed to determine if the top layer of the carbon has hardened or become encrusted due to biological fouling. If the top of the bed is encrusted or hardened, it should be broken up into granular form prior to conducting a backwash. This can be accomplished by piercing the top of the bed repeatedly with metal rod or chisel.

The following guidelines must be followed when conducting a backwash.

**Note:** *Failure to follow these instructions may result in severe damage to the carbon vessel.*

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***If the encrusted carbon cannot be broken up in a granular form, DO NOT CONDUCT A BACKWASH. Please call Carbonair immediately for direction (800) 529-4999***

1. Connect a water line from your filtered clean water source to the effluent line of the carbon adsorber. Also, you must configure the piping to the influent line so that it is possible to view the discharge of the backwash that will be discharged from the influent line.

Remember to use only clean, sediment-free water for backwash. The water should be virtually free from suspended solids and preferably should be filtered prior to introduction to the vessel. Filtration can be accomplished by using a bag filter (100 micron or smaller).

2. It is very important that the pressure differential (DP) between the effluent and influent line be closely monitored during backwash. This pressure differential can be monitored by reading the pressure gauges on the influent line and effluent lines.

The DP between the effluent and influent lines must not exceed 20 psi. DP greater than 20 psi may cause damage to the internal piping assembly in the carbon vessel.

**If you have any questions about monitoring the pressure differential, please call Carbonair for input prior to conducting a backwash. Carbonair can provide you with pressure gauges if your system is not currently equipped with gauges.**

If the pressure differential exceeds 20 psi at any time during the backwash, the pump should be

immediately shut down to avoid damage to the vessel internals.

3. The recommended backwash flow rate for your vessel is 8-12 gpm per square foot surface area, which is a flow rate of 55-85 gpm for a MPC-7. When initiating backwash, the flow rate to the vessel should be started very low and then gradually increased to the recommended flow rate as the pressure differential allows. The flow should be regulated by a manual valve prior to the effluent port of the vessel. The DP should be closely monitored during this increase in flow rate.

**Note: If there are any questions regarding any of these instructions, please call Carbonair before initiating backwash.**

***Carbonair will not be held liable for damage to the vessel, personal injury, or other damages to property or body caused by improper operation during backwash or normal operation***

#### **8.4 Vessel Inspections**

Inspect the internal pipes for cracks and other signs of wear. Also inspect the tank sidewalls for signs of corrosion or chips in the paint. If signs of wear or damage are present, contact Carbonair for recommended service procedures.

***WARNING: Never enter a carbon vessel without adequate ventilation, proper atmospheric testing and safety equipment. The activated carbon depletes the air of oxygen. Entering the vessel without sufficient ventilation could be fatal. The vessel is considered a confined space and therefore OSHA confined space entry safety procedures must be followed. (29 CFR 1910.146).***

Continued use of a damaged vessel may cause other problems. Carbonair will not be responsible

for any damage caused by operation of a damaged vessel.

### 8.5 Gasket Replacement

The manway gasket should last many years before needing to be replaced. If the gasket is damaged and a new gasket is required, call Carbonair for assistance.

### 8.6 Waste Disposal

Proper disposal of spent carbon is essential. Be sure to follow all local, state and federal regulations for handling, storing, transportation, disposal and reactivation of spent carbon.

### 9.0 SPARE PARTS

When ordering spare parts, refer to the drawings at the end of the manual. Be sure to provide the vessel model and the complete description of the part.

### 10.0 PRESSURE DROP CHART

The pressure drop chart (below) shows the pressure drop in inches of water at different liquid flow rates through the MPC-7 liquid-phase pressurized carbon vessel with 1,000 pounds of virgin CECA GAC 30 Carbon @ 55°F.

### 11.0 DRAWINGS

An assembly drawing has been included to simplify the parts identified and ordering process. A parts list is included.

**Figure No. 2 - MPC-7 Pressurized Carbon Vessel - Pressure Drop Chart**

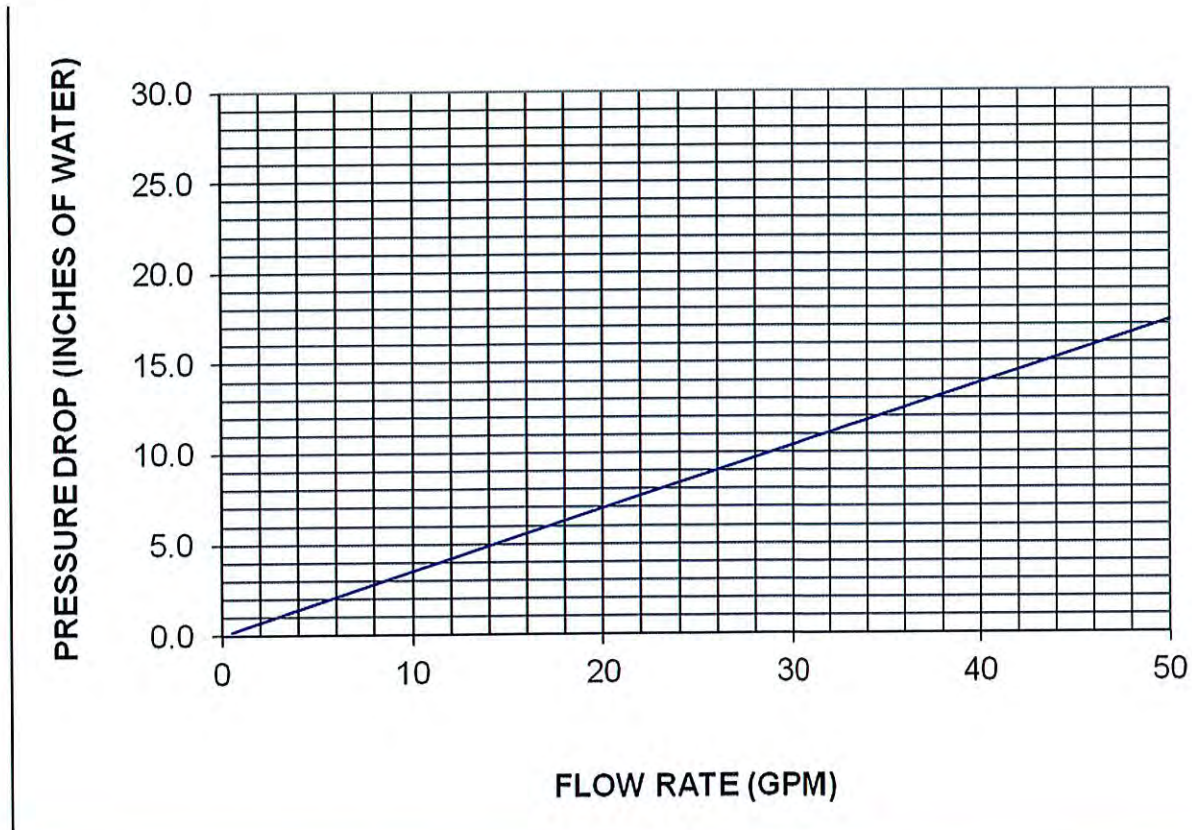
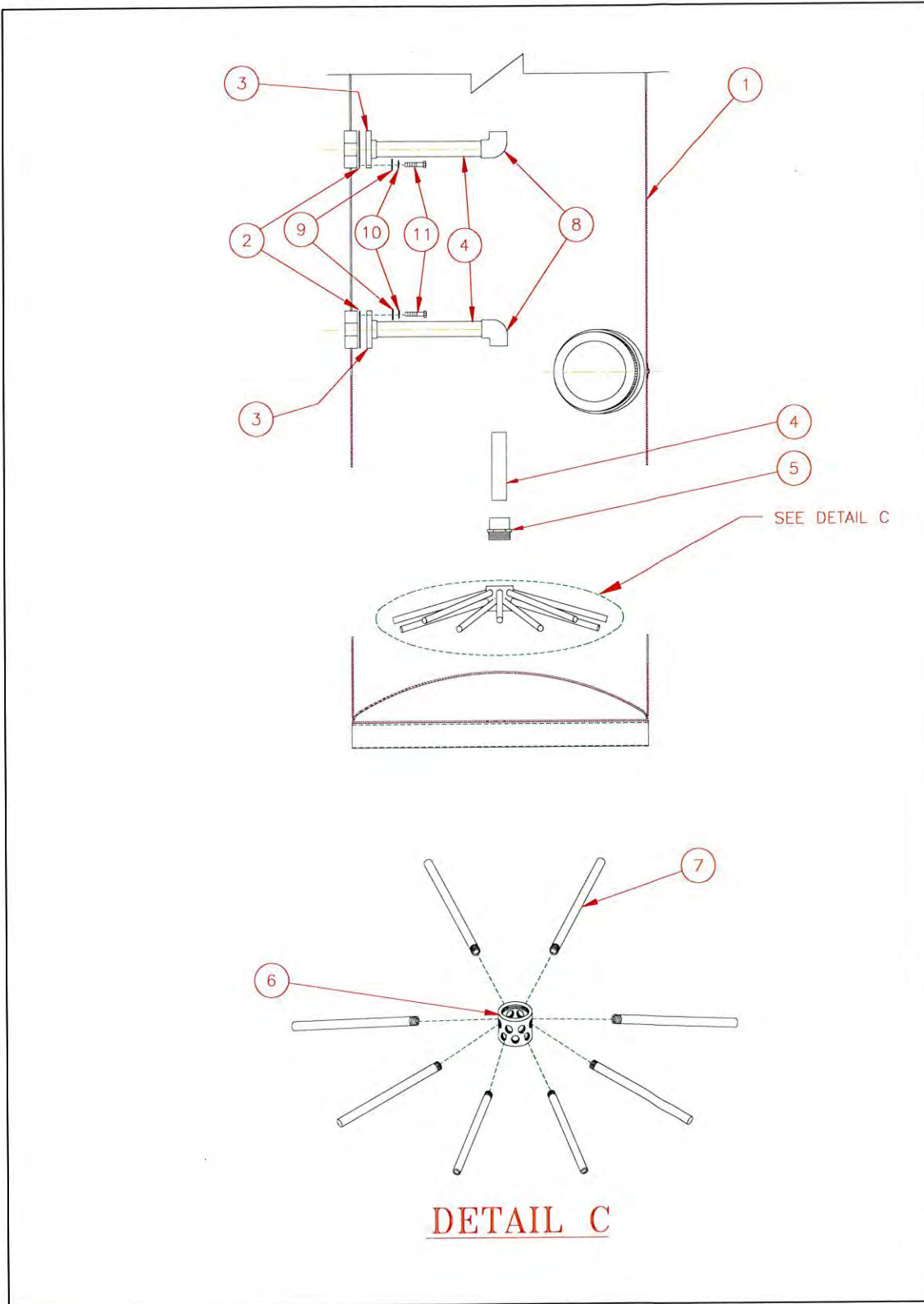


Figure No. 3 MPC-7 Assembly Drawing



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**Table No. 2 MPC-7 Assembly Drawing Parts List**

<b>#</b>	<b>Description</b>	<b>Part No.</b>	<b>#</b>	<b>Description</b>	<b>Part No.</b>
1	Pressure Vessel MPC-7	214115	7	Lateral 3/4" NPT x 15" PVC	127013
2	2" Flange Gasket	107552	8	2" PVC elbow	107422
3	2" PVC flange	107390	9	Flat Washer 5/8"	111167
4	2" PVC Pipe	107406	10	Lock Washer 5/8"	111150
5	2" Socket x MPT adapter	108146	11	Hex Head Bolt SST 5/8"	111175
6	Distribution Hub 2" 8 Out PVC	214263			

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## 12.0 SPECIFIC OPERATING PARAMETERS

Record Operating Parameters at start-up.

Water Flow Rate: \_\_\_\_\_

Inlet Water Pressure: \_\_\_\_\_

Outlet Water Pressure: \_\_\_\_\_

Water Temperature: \_\_\_\_\_



## Bag Filter Operation

### Warning – Safety Information

1. The housings can cause serious damage if improperly used.
2. Housing are rated for 150 psi, but hosing and piping may not be rated this high.
3. Do not open housing when the system is under pressure. Always relieve all pressure in the housing before opening the housing lid (this can be done by using the air bleed valve on top).
4. Stop all flow of liquid before opening lid.

### Start Up/Operation

1. Select and install the correct size micron filter bag. To install, open lid and slide filter bag inside the metal filter basket. Make sure the filter bag is “seated” to the top of the basket and tightly close the lid.  
Note: We normally recommend a 25 micron or less filter bag to protect carbon adsorbers.
2. Make sure all water connections are made and valves are open or closed as necessary.
3. Open vent plug on lid to allow air to escape from housing.
4. When housing body is full, liquid will escape from the vent. Close the vent.
5. Open the outlet connection and fully open the inlet connection. Housing is now operating properly.

### Removal of Spent Filter

1. When the differential pressure (this is the difference between the inlet and outlet pressure gauges) across the housing reaches approximately 20 psi, the filter bag(s), need to be changed.  
Note: It may take days or weeks for the differential pressure to reach 20 psi, but the differential pressure will rise very quickly when it approaches 20 psi. You may also need to change the filter bag before 20 psi because of reduced water flow rates.
2. Relieve pressure through the sample tap on lid and drain using valve near the bottom of housing.
3. Loosen eye nuts on housing, and swing the lid to gain full access to the inside of the housing.
4. Pull the filter out of the basket and discard the filter in accordance with all local and federal laws.
5. Remove filter baskets and clean thoroughly.
6. Debris and sludge should be removed from the housing, to prolong filter efficiency.
7. Install filter basket and new filter bag in housing and follow the start up procedure.

Replacement Bag Filters	Carbonair Part Number	Replacement Bag Filters	Carbonair Part Number	Replacement Parts	Carbonair Part Number
1 Micron	210118	50 Micron	210027	Oil Removing	166980
5 Micron	210019	75 Micron	210029	Lid O-ring	214737
10 Micron	210020	100 Micron	210030	Basket O-ring	214738
25 Micron	210025	250 Micron	211548		

**For Technical Support or to place an order call Carbonair Environmental Systems.**

Minnesota 800-526-4999

Virginia 800-204-0324 Texas 800-893-5937 Florida 800-241-7833





**VILLAGE OF PLEASANT PRAIRIE  
CONDITIONAL USE GRANT NO. 12-10**

Before the Village of Pleasant Prairie Plan Commission, Kenosha County, Wisconsin, in regard to the property located at 10477 120<sup>th</sup> Avenue.

**Return to:**

Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

**Tax Parcel Number:**

92-4-122-302-0130

**Legal Description:** Lot 14 of CSM 1489 (Document #872365) located in the Northwest One Quarter of U.S. Land Survey Section 30, Township 1 North, Range 22 East in the Fourth Principal Meridian, lying and being in the Village of Pleasant Prairie, Kenosha County Wisconsin.

**WHEREAS**, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

**WHEREAS**, such petition having been made to allow BP Amoco to operate a gasoline station and convenience store and to install of a carbon treatment system that will treat existing contaminated ground water from several reported hazard substance releases at the site and public hearing held thereon, and the Village Plan Commission having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, that the grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance. Specifically, based upon the information presented at the public hearing, and in particular the memorandum from the Village Fire & Rescue Department, the project meets the following standards for granting a Conditional Use Permit in that the project/use:

- The project does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services.
- The project does not impair an adequate supply of light and air to the adjacent properties.
- The project does not increase danger of fire --in so far as the danger of fire does not exceed the capabilities of the Village Fire & Rescue Department.
- The project does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare.

- There are no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use.
- The proposed and applied for use on this particular parcel is not inherently inconsistent with the B-4, Freeway Service Business District in which it is located or the adjoining zoning districts and land uses.

**NOW THEREFORE**, a Conditional Use Permit is granted, subject to compliance with the terms and conditions hereinafter stated to allow BP Amoco to operate a gasoline station and convenience store and to install of a carbon treatment system that will treat existing contaminated ground water from several reported hazard substance releases at the site.

1. Compliance with PUD Ordinance #12-40, including the Digital Security Imaging System Agreement on file with the Village.
2. Compliance with the terms and conditions of the Settlement Agreement approved by the Village Board on November 19, 2012 on file with the Village.
3. Compliance with the Site and Operational Plans as conditionally approved by the Village Plan Commission on November 19, 2012 on file with the Village.
4. Compliance with the Preliminary Site Investigation Work Plan dated November 16, 2012.
5. Compliance with the WI DNR WPDES Permit issued on November 2, 2012.
6. Compliance with the Wisconsin Department of Transportation Work in the Right-of-Way Permit dated [REDACTED], 2012.
7. All hard surfaced areas including the parking lot areas, drive lanes, paved areas adjacent to the pumps, sidewalks, etc. shall be clean, neat and free from pot holes or other cracks which present a safety risk to the pedestrians or traveling public. The hard surface areas of the site shall be maintained and free of any debris or potholes which may cause distractions or damages to vehicles. All pavement markings shall be cone in yellow or white reflective paint.
8. The gas station and convenience store shall operate in an organized, well-kept, clean, neat and professional manner. The inside of the store shall be maintained, painted, and clean for the public. Damaged or dirty walls, floors, coolers, bathrooms, racking, displays lighting, etc. shall be taken care of or repaired promptly. Mal-functioning gas pumps shall be repaired as soon as possible.
9. A Kenosha County Health Department permit and regular inspections will be conducted on the premises. Violations may result in the suspension or revocation of the Health Permit and the Conditional Use Permit.
10. The hours of operation (when the public is allowed to enter or remain on site for business purposes) shall be limited from 5:00 a.m. to 12:00 a.m. daily. A Temporary Use Permit may be issued for 24-hour operations during any holiday period. A Temporary Use Permit may be issued for 24-hour operations during any holiday period subject to approval of the Village Police Chief. In addition, a 24-hour holiday operation may require the owners to enter into an agreement and pay for the overtime services of the Police Department, a determined by the Police Chief. Pursuant to the zoning ordinance and liquor license requirements, the store is allowed to be open until midnight; however, Class A Beer is only allowed to be sold from 8:00 am to midnight and Class A Intoxicated Liquor is only allowed to be sold from 8:00 am to 9:00 p.m.

11. Currently, deliveries and shipments occur during the time that BP is open to the public.
12. The delivery hours or any other activities outside the principal building that might cause a disturbance to neighboring areas (e.g., outside loading or unloading, the arrival of deliveries, idling of delivery trucks, beeping of backing vehicles, and garbage pickup), except for snow removal, is allowed only from 6:00 a.m. to 10:00 p.m.
13. BP Amoco Gas Station and Convenience Store located at 10477 120<sup>th</sup> Avenue is a self-service gasoline and diesel station, selling petroleum products to consumers of passenger vehicles and light trucks. It does not service or sell petroleum products to over-the-road trucks, cabs or other specialized commercial or construction vehicles. In addition, BP operates a convenience store under the brand name AM/PM that provides various grocery store and automobile supplies and accessories, along with a quick service restaurant, bakery, self-service coffee bar and soda fountain, and an e-commerce area for computerized assistance with weather and traffic information. The quick service restaurant provides seating for approximately 12 people and quick food selections of bakery items, sandwiches, soups and salads. The facility also provides separate men's and women's washrooms, and various other related convenience service amenities, including but not limited to, vacuum cleaners and compressed air for automobile maintenance, automated teller machine, along with the sale of alcohol and tobacco products as authorized by its license.
14. Due to several reported hazardous substance releases at the BP gas station dating back to 1993, the owner's consultants are developing and installing a carbon treatment system that will treat contaminated ground water. This system needs to be installed in an enclosed and heated facility. As a result, the southeast corner of the building is being expanded in order to house the filters and pumps that are necessary to operate the carbon treatment system. This system is detailed in a Settlement Agreement being entered into between the property owner and the Village, and the property owner will obtain all applicable permits before installing said system.
15. The expansion of the building will measure approximately 450 square feet (30 feet by 15 feet) and will simply "square" the building foot print. The same exterior building materials (brick and trim) will be used in order to match the expansion to the existing building.
16. The carbon treatment system will not create any disturbance to the surrounding property owners as it will be housed in an enclosed and insulated expansion of the building. It is anticipated that the system will operate off and on for several years, dependent on the rise of ground water due to changes in the weather.
17. This system will not require any additional staff to manage and operate, as it will be automated and will only occasionally require the replacement of carbon filters that will be disposed of using sealed drums provided and retrieved by qualified environmental disposal companies.
18. Moreover, the system will not alter existing operations of the gasoline station and convenience store, as those operations will continue as normal.
19. Currently, there are seven (7) full time and three (3) part time employees, but additional seasonal help is retained during those peak holiday seasons. Currently, there are only two shifts of employees, but a third shift has been added when the hours are expanded during the Midnight Madness house Thanksgiving evening/Black Friday. There are currently 23 parking spaces on the site, but with the expansion of the building, two (2) parking spaces are being removed, leaving a total of 21 parking spaces (one handicapped access parking space, and 20 conventional parking spaces). The number of parking spaces excludes the cars that can be parked at the pumps.

20. Pursuant to the Village Zoning Ordinance the minimum parking requirements for a gasoline station with a convenience store is five (5) spaces per each 2,000 square feet of gross floor area plus 1 space for each employee on the largest shift plus the required handicapped accessible parking spaces pursuant to the state code. Therefore, a minimum of 13 spaces plus their required handicapped accessible parking spaces is required (5 spaces plus 3 spaces plus 5 spaces (assuming no more than five workers on site)).
21. It is anticipated that traffic volumes of 500 to 1,000 daily trips will continue, and there will be no truck trips other than deliveries of goods to the BP. The main products being sold at the BP include, but are not limited to: gasoline and diesel fuels, related automobile supplies and parts, along with food and beverages, all of which are currently being sold at the BP, which will continue after the expansion. Aside from the installation of the carbon treatment system, all of the existing equipment will continue to be utilized in the operation of the BP (petroleum delivery systems, coolers, ovens, and related food preparation equipment).
22. Aside from the disposal of the carbon filters, the BP only has normal household cleaners used in the maintenance of the business in order to clean the food preparation and service areas, floors and bathrooms. The only waste that is disposed of at the BP is spoiled food and drink products, grey water waste and sanitary waste from the bathrooms.
23. The security cameras shall be inaccessible to employees. Conspicuous signs shall be posted at the entrance stating that security cameras with an inaccessible recording device is in place on the premises. Said system shall be maintained in working order at all times and the Village of Pleasant Prairie Police Department shall be promptly provided any requested video. The recording shall be kept in an archive for a minimum of two weeks and the Pleasant Prairie Police Department shall have remote access to the system to monitor and download video. Specifically, internet access shall be provided which would allow the Police Department to have "live time" monitoring of the BP store and site.
24. The parking lot shall be illuminated to provide sufficient lighting for the public's safety and for the security cameras to operate effectively per the Village's satisfaction.
25. A clear and unobstructed view of the cash registers and transaction areas shall be maintained from the internal 30-foot wide on-site circulation access roadway.
26. The building shall be equipped with and shall use an inaccessible drop safe.
27. Between 10:00-12:00 p.m. and 5:00-7:00 a.m. at least two (2) employees shall be working on-site unless the business has taken measures to protect a lone clerk such as the installation of bullet resistant glass or other equipment as approved by the Police Department, making the lone employee inaccessible.
28. Installation and full operation of a hold-up alarm, which is monitored by a UL listed central station with functioning telephone service, shall be used at the BP station building.
29. The cash register shall not be left unattended for periods of time when the convenience store is open to the public.
30. A height strip shall be located at each doorway entering and exiting the convenience store.
31. The owners retain landscapers to regularly maintain, replace and upgrade the landscaping that surrounds the property, including the removal of all snow and ice from the parking lots, driveways and sidewalks. In addition, employees walk the property on a regular basis to pick up debris, empty garbage cans, restock self-service washer fluids and paper towels, and to monitor the entire property in order to maintain it in a first class condition.

32. The owner maintains all permits and licenses required to operate its business. Those permits and licenses allow for the sale of petroleum, alcohol, tobacco, food, and related items sold in its business, issued from the various government agencies.
33. All signs shall comply with Article X of Chapter 420 of the Village Municipal Code and with the BP Amoco PUD Ordinance on file with the Village. All signs shall be in good working order, properly maintained, repaired as needed, painted and well-kept.
34. The following types of signs are prohibited and shall not be installed. For a complete listing of prohibited signs refer to the Article X of Chapter 420 of the Village Municipal Code.:
  - a. Any sign with flashing or pulsating lights.
  - b. Any inflatable sign, including but not limited to tethered balloon signs or other gas-filled figures.
  - c. Any temporary, spring-action metal advertising sign used, for example, to advertise cigarette or gasoline prices.
  - d. Any spotlights used as visual attention-getters.
  - e. Strings of lights, tinsel, pennants, pinwheels or other similar devices hanging between two points or attached to light poles, cars, landscaping or structures on the property.
35. The Village has received numerous complaints relating to the operations of the station site including litter and garbage on the site; broken light standards and signs; inoperable pumps; pumps that don't issue receipts; dead landscaping; violation of security protocol; interior building damage to walls, floors, painting, counters; garbage overflowing; illegal outside storage of product; allowing products to be stored outside; allowing a pothole to remain in the drive area causing damage of cars etc. These ongoing complaints must be addressed on a daily basis by the owners as a responsible business owner in the Village. The Zoning staff will conduct inspections on a semi-annual basis to ensure compliance with these issues.
36. The use, operations, site, building and structures shall be designed, laid out, constructed and maintained in full compliance with the approved Site and Operational Plans, the Conditional Use Permit, Liquor and Tobacco Licenses and all other applicable provisions of the Village Municipal Code and all other applicable Village, County, State or federal regulations.
37. The use, operations, site, building and structures shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the Performance Standards set out in Section 420-38 of the Village Zoning Ordinance.
38. The site, building and garbage dumpster structure shall be maintained in a clean, neat, presentable, aesthetically pleasing, odor-free, structurally sound and nonhazardous condition inside and outside of the store at all times. All litter and debris outside of the structures shall be promptly removed on a daily basis. The garbage dumpster enclosure doors shall not be left open on garbage day and shall be promptly closed after the pick-up of garbage.
39. The handicapped parking space shall be appropriately signed, painted on the pavement and maintained pursuant to ADA requirements.
40. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view.

41. All required landscaping shall be installed per the plans and written verification and/or certification shall be provided to the Village by the landscape installer/designer that the landscaping has been installed in accordance with the Village approved landscape plan.
42. On site building alterations/modifications or changes in the operations or use of the site shall be in strict conformity to the Village approved plans and the Settlement Agreement approved in connection with the petition for this Conditional Use Permit. Violations of these conditions may result in the suspension or revocation of the conditional use permit and zoning violation prosecution, or both.
43. All uses shall conform to applicable Village Ordinance requirements, and to all other applicable local, County, State and Federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water discharges and storm water management, noise, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive as determined by the Village shall apply.
44. All required permits shall be obtained from the Village prior to commencing work.
45. Operation of the use granted herein shall be in strict conformity to both plans and documents filed and approved in connection with the petition for Site and Operational Plan approval. Any violation of these conditions may result in the revocation of the approval or zoning violation prosecution, or both.
46. No changes to the exterior site, building or structures shall be made without the Village's approval. No painting of the exterior of the BP station building or garbage dumpster enclosure shall be permitted, unless expressly permitted by the Village. Colors for building trim work shall be approved by the Village.
47. Any addition, alteration, extension, expansion or other proposed change in the approved operation shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
48. The Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land.
49. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village General Zoning and Floodplain/Shoreland Zoning Ordinance.

**Granted by the action of the Village of Pleasant Prairie Plan Commission the 19<sup>th</sup> day of November 2012.**

ATTEST:

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Thomas W. Terwall  
Plan Commission Chairman

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Donald Hackbarth  
Secretary

*[Owners Signatures on following page]*

**OWNER: VIDHYA Corp, VIII, Inc.**

\_\_\_\_\_  
Name:  
Title:

ACKNOWLEDGMENT  
STATE OF \_\_\_\_\_)  
SS  
\_\_\_\_\_ COUNTY)

This instrument was acknowledged before me in \_\_\_\_\_ (city)  
\_\_\_\_\_ (state), on this \_\_\_\_\_ day of \_\_\_\_\_, 2012 by  
\_\_\_\_\_ **(name and title) on behalf of VIDHYA Corp, VIII, Inc.**

\_\_\_\_\_  
Print Name: \_\_\_\_\_  
Notary Public, \_\_\_\_\_ County, \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

**THIS INSTRUMENT WAS DRAFTED BY:**  
Jean M. Werbie-Harris  
Community Development Director  
Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, Wisconsin 53158

Draft 11/14/12

**AGREEMENT REGARDING DIGITAL SECURITY IMAGING SYSTEM  
("DSIS")  
BETWEEN THE VILLAGE OF PLEASANT PRAIRIE  
AND VIDHYA CORP, VIII, INC.**

THIS AGREEMENT regarding the Digital Security Imaging System (DSIS) (hereinafter referred to as the "Agreement"), is entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2012, by and between the VILLAGE OF PLEASANT PRAIRIE, WISCONSIN, a Wisconsin municipal corporation with offices located at 9915 39<sup>th</sup> Avenue, Pleasant Prairie, Wisconsin 53158 (referred to as the "Village") and Vidhya Corp, VIII, Inc., a corporation with a business address for BP Amoco as 10477 120<sup>th</sup> Avenue, Pleasant Prairie, WI 53158 (referred to as "Vidhya"). In this Agreement Vidhya is referred to as the "Owner".

**WITNESSETH:**

**WHEREAS**, the Owner of the real estate commonly known as the BP Amoco gasoline station #3789 is legally described as being a part of the Northwest One-Quarter of U.S. Public Land Survey Section 30, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin and having Village Tax Parcel Number 92-4-122-302-0130 collectively known as the "Owner's Property" in this Agreement; (**Exhibit A**) and

**WHEREAS**, the Owner desires to proceed with the re-development of the BP Amoco gasoline station and AM/PM convenience store ("BP Amoco") on the Owner's Property to be located at 10477 120<sup>th</sup> Avenue in the Village, consisting of approximately a **4,200**-square foot gasoline station and convenience store on a 1.36-acre development site; and

**WHEREAS**, the BP Amoco gas station and convenience store is a self-service gasoline and diesel station, selling petroleum products to consumers of passenger vehicles and light trucks. It does not service or sell petroleum products to over-the-road trucks, cabs or other specialized commercial or construction vehicles. In addition, BP operates a convenience store under the brand name AM/PM that provides various grocery store and automobile supplies and accessories, along with a quick service restaurant, bakery, self-service coffee bar and soda fountain, and an e-commerce area for computerized assistance with weather and traffic information. The quick service restaurant provides seating for approximately 12 people and quick food selections of bakery items, sandwiches, soups and salads. The facility also provides separate men's and women's washrooms, and various other related convenience service amenities, including but not limited to, vacuum cleaners and compressed air for automobile maintenance, automated teller



machine, along with the sale of alcohol and tobacco products as authorized by its license; and

**WHEREAS**, The Owner's Property is presently zoned B-4, PUD, Freeway Service Business District with a Planned Unit Development Overlay and the gasoline station District with a Conditional Use Permit and Planned Unit Development Overlay District (PUD), which zoning classification allows the development of commercial automotive sales and service retail space subject to **Conditional Use Permit #12-10 (Exhibit B)** and in accordance with **Village Zoning PUD Ordinance #12-40 (Exhibit C)**. The PUD was adopted by the Village Board of Trustees (the "Village Board") on November 19, 2012; and

**WHEREAS**, the Village Plan Commission conditionally approved the **Conditional Use Permit** and **Final Site and Operational Plans** for the BP Amoco store on the Owner's Property on November 19, 2012 subject to a number of conditions, one of which was the execution of this Agreement and the installation and operation of a DSIS for the Property; and

**WHEREAS**, the Village has asserted and the Owner agrees that the BP Amoco site will require security provisions pursuant to Village regulations in order to maintain a safe and enjoyable experience for customers and for the protection of the gasoline station/convenience store; and

**WHEREAS**, the Owner further agrees to be in compliance with Village Municipal Code Chapter 410 entitled, "Security Ordinance" through the implementation and use of a DSIS which is described in **Exhibit D** attached hereto, that monitors the exterior public access areas and driveways of the Owner's Property located in the Village; and

**WHEREAS**, the DSIS will afford the opportunity for the public safety departments (e.g. the Village Police Department and Village Fire & Rescue Department) to visually examine the gasoline service station islands, convenience store and site will provide emergency response personnel with a live visual assessment of any emergency situation in advance of arrival without placing an undue burden on the Village taxpayers; and

**WHEREAS**, the implementation and usage of the DSIS will greatly aid law enforcement agencies in subsequent criminal investigations and prosecutions because of the advanced visual assessment of the Property as it may pertain to a person or persons (personal identification), a location (scene identification) and/or a situation (action identification) in emergency situations; and

**WHEREAS**, Section 410-7 of the referenced Security Ordinance Chapter of the General Code of the Village provides the authority to the Community Development Department to have the discretion, on a case by case basis, to determine the adequacy, ownership and easement requirements of the DSIS. Further, the Community Development Department has the right to waive certain requirements of Chapter 410

pertaining to the details of the security system, and the Department has agreed to do so, based upon this Agreement being executed between the parties; and

**WHEREAS,** the Owner and the Village Community Development Department have reached an agreement under Section 410-7 that the Owner shall install, inspect and maintain the DSIS per the Village's Security Ordinance requirements, except as modified by this Agreement. Further, the Owner shall grant an **Access Easement** to the Village allowing access and maintenance rights to the DSIS system and areas associated with the DSIS insofar as the Village has the right, but not the obligation, to maintain the DSIS system at the Owner's cost, if the Owner fails to do so; and

**WHEREAS,** the Owner recognizes that the Village may incur some inspection or maintenance costs with respect to the inspection or maintenance of the DSIS system on the Owner's Property and said costs shall be invoiced to the Owner and the Owner has agreed to reimburse the Village for certain referenced costs related to the DSIS program.

**NOW, THEREFORE,** in consideration of the promises and covenants contained herein, the sufficiency of which is hereby acknowledged, the Owner and the Village agree as follows:

1. Video Surveillance and Easement Requirements. As a pre-condition to the Village granting any verbal or written building occupancy permits or approvals required by the Owner for BP Amoco to be occupied, the Owner shall install, make operable and usable to the satisfaction of the Village, the on-site DSIS for security surveillance purposes. The DSIS shall be the system described in **Exhibit D** which was created pursuant to the proposal prepared by \_\_\_\_\_ with offices located at \_\_\_\_\_, for the Owner, with the plans and video surveillance hardware specifications dated \_\_\_\_\_, which is incorporated herein by reference. The Owner will hire a qualified contractor who shall install the DSIS. During the installation of the DSIS as provided herein, the Village shall have the right to inspect the DSIS at the Owner's expense. After the installation, Village inspection and system testing is complete, and if it meets with the approval of the Village, the Village shall notify the Owner of the Village's acceptance of the DSIS. The Owner agrees to sign and deliver to the Village copies of any and all documents (e.g. DSIS installation and warranty information, copies of paid invoices for the work performed, copies of contractor lien waivers and an as-built drawing of the DSIS) that are reasonably requested by the Village to confirm such installation and operation of the DSIS to the Village. The DSIS shall be installed with at least a one (1) year warranty from the manufacturer and installer. The Owner shall be solely responsible for the costs for the purchase and installation and the subsequent ongoing maintenance of the DSIS.

In the event that the Owner alters the building, adds on to the building or otherwise changes or increases the development on their Property, such Owner shall be responsible for installing, at the Owner's sole expense, such additional cameras and other exterior DSIS as the Village determines are necessary and appropriate to carry out the purposes of this Agreement. The initial DSIS system installed in accordance with **Exhibit D** and any future additions to such system as exterior building alterations or changes within the development or new or additional development takes place on the Owners' Property, shall all be referred to as the "DSIS" for purposes of this Agreement.

a. Digital Security Imaging, Storage Devices, Related Equipment and Easements Required.

(i) The DSIS shall provide for surveillance of the exterior building perimeters, rear and side areas, walkways, other common areas and parking lots entrances within the development. The DSIS as described in **Exhibit D** shall adequately cover the Owner's Property as the Village deems reasonably necessary. If any changes or expansions are made to any portion of the Owner's Property, the determination as to the number and type of cameras which are reasonably necessary for the Village's surveillance needs shall rest within the reasonable discretion of the Village. All parties acknowledge it is the intent of the parties that the DSIS camera equipment will be located on exterior light standards of the Owner's Property and attached via non-penetrating mounts, or upon parking lot light poles and light standards, as shown on **Exhibit D**. BP Amoco will utilize its best efforts to ensure that the DSIS is as aesthetically tasteful and architecturally harmonious as reasonably possible. Without limiting the discretion of the Village under this Paragraph, the parties agree that any cameras and systems which are consistent with those contained in **EXHIBIT D** are aesthetically tasteful, architecturally harmonious and satisfactory to all parties.

(ii) The DSIS will function as set forth in **Exhibit D** and as deemed necessary by the Village, which shall function continuously, whether the business is open or closed and shall provide visible surveillance to the above described areas during hours of daylight and darkness. As such, sufficient light, as determined by the Village, shall be provided during the evening or night-time hours to guarantee the function, operation and clear viewing by the camera system.

(iii) The Owner agrees to provide the DSIS in a secured location within the BP Amoco facility on the Owner's Property that will be accessible for inspection and electronically accessed via a vpn internet connection with the assistance of the Owner. The Owner shall provide access as provided herein upon reasonable verbal or written advance notice to Owner. Notice given twenty-four (24) or more hours in advance shall conclusively be deemed reasonable and notice given less than twenty-four

(24) hours in advance may also be reasonable depending upon the circumstances.

(iv) The Owner agrees to be responsible for all financial costs associated with the monthly billings for the utilities, electricity and high speed internet business connection for the DSIS equipment by making payments directly to the utility and communication companies. The Owner shall also be responsible for the heat, electricity and routine maintenance of the secured security area which houses the DSIS equipment.

(v) All digital video recorded by such system shall be archived in the secured area for a period of not less than two (2) weeks and shall be available to the Village for public safety purposes directly through Internet Protocol (IP) transmission via the Village's area-wide data network and shall also provide a "real time", "live look" surveillance capability via that same network. The Village Police Department shall have log-in capabilities to the DSIS "live-look" system on the Property independent of the Owner's personnel. Proper software security keys and logins will be provided to the Village Police and IT Departments to provide immediate access to both "real time" access as well as historical video as required.

(vi) The Owner shall grant a permanent Access Easement to the Village allowing access and maintenance rights, if the Owner fails to maintain the DSIS, to all such systems, equipment, devices and areas associated with the DSIS. The Village shall have the right, but not the obligation, to maintain the DSIS system at the financial cost of the Owner. All expenses incurred by the Village for the maintenance of the DSIS shall be paid to the Village by the Owner within ten (10) business days following written demand by the Village. At the time of the execution of this Agreement by the Owner, the Owner shall also execute the recordable Access Easement document attached hereto as **Exhibit E** and incorporated herein by reference.

b. Costs for the Video Surveillance System.

(i) The Owner shall have exclusive ownership and sole responsibility for the installation, operation, monitoring and maintenance of the DSIS. The Owner further covenants to operate and maintain the DSIS in good condition and repair. The Owner shall be responsible for the: (a) costs of installation, (b) internet connection for the DSIS with a static IP address assigned to the DSIS connection and (c) inspection, equipment maintenance, repairs, insurance, and replacement and upgrading of the DSIS as necessary with such upgrading as needed being only for a reasonably comparable replacement of any equipment then being used in the DSIS.

(ii) As referenced above, the Owner has agreed to provide utilities to serve both the DSIS equipment and the secured area housing the DSIS. The Owner, at its sole cost and expense, shall also provide a conduit running to the security cameras as described in **Exhibit D** for low voltage as well as a separate conduit running to the cameras for high voltage. The Owner shall provide a business broadband internet connection

to serve the DSIS. This broadband internet connection shall represent a clear, non-pixelated video image transmission to the Village Police Department and shall be reasonably acceptable to the Village IT Department.

c. Termination. The Owner may not terminate the DSIS at any time without prior written approval and notice from the Village. The Owner shall notify the Village Police Department Dispatch Center via the telephone and by U.S. mail to the persons as noted below whenever the DSIS is inoperable or the DSIS is unusable due to maintenance or testing. Further, if the DSIS is deemed by the Village as being inoperable or unusable for a time period in excess of 30 days without notification to the Village, the Owner shall be deemed to be in violation of Section 410 of the Village Code.

## 2. Miscellaneous.

a. Governing Law; Venue. This Agreement shall be governed by and construed in accordance with the laws of the State of Wisconsin. The parties agree that any dispute under this Agreement shall be venued only in the Circuit Court for Kenosha County.

b. Attorneys Fees and Interest. If either party defaults in the performance or observation of any of the terms, conditions, covenants or obligations contained in this Agreement and the complaining party places the enforcement of all or any part of this Agreement in the hands of an attorney, or if that party incurs any fees or out-of-pocket costs in any litigation, negotiation or transaction, the party that substantially prevails in any such dispute shall be reimbursed for its actual attorneys' fees and costs incurred thereby, whether or not litigation is actually commenced. Any sums not paid when due, including without limitation any maintenance fee, shall, in addition to all other amounts owed under this Agreement or applicable law, accrue interest from the due date until paid at eighteen percent (18%) per annum.

c. Entire Agreement. This Agreement contains the entire understanding among the parties and supersedes any prior understanding and agreements between them respecting the within subject matter. There are no representations, agreements, arrangements or understandings, oral or written, between or among the parties hereto relating to the subject matter of this Agreement which are not fully expressed herein.

d. Severability. This Agreement is intended to be performed in accordance with, and only to the extent permitted by, all applicable laws, ordinances, rules and regulations. If any provision of this Agreement, or the application thereof to any party or circumstance, shall, for any reason and to any extent, be invalid or unenforceable, the remainder of this Agreement and the application of such provision to the other party or circumstances shall not be affected thereby, but rather shall be enforced to the greatest extent permitted by law.

e. Binding Agreement. This Agreement shall be binding on the parties and their successors and assigns and shall continue as a covenant and servitude running in perpetuity with the Owner's Property. This Agreement may be recorded with the Kenosha County Register of Deed's Office against the Owner's Property.

f. Notices. Any notice which a party is required or may desire to give the other party shall be in writing and may be delivered (1) personally by United States registered or certified mail, postage prepaid, or (2) by Federal Express or other reputable courier service regularly providing evidence of delivery (with charges paid by the party sending the notice). Any such notice shall be addressed as follows (subject to the right of a party to designate a different address for itself by notice similarly given):

If to the Owner:

Dixit Patel  
VIDHYA Corp VIII, Inc.  
1491 W. Roosevelt Road  
West Chicago, IL 60185  
Telephone: 630-202-6724  
E-mail: ddwcl@sbcglobal.net

If to the Village:

Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158  
Attn: Michael R. Pollocoff, Village Administrator

And to the Village:

Village of Pleasant Prairie  
Community Development Department  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158  
Attn: Jean M. Werbie-Harris,  
Community Development Director

And to the Village:

Village of Pleasant Prairie  
Police Department  
8600 Green Bay Road  
Pleasant Prairie, WI 53158  
Attn: Village Police Chief

g. Amendment. This Agreement may not be amended, altered or modified except by an instrument in writing and signed by the parties hereto.

h. Ordinance. The DSIS program under this Agreement shall be deemed to be sufficient to meet the current requirements set forth in Chapter 410 of the Village Municipal Code.

i. Village's Contractors and Work. Any contractor that may come onto any Owner's Property on behalf of the Village shall carry a non-deductible (a) commercial general liability insurance policy, including (but not limited to) contractor's liability coverage, contractual liability coverage, completed operations coverage, broad form property damage endorsement and contractor's protective liability coverage, to afford protection, with respect to personal injury, death or property damage of not less than One Million Dollars (\$1,000,000) per occurrence combined single limit/One Million Dollars (\$1,000,000) general aggregate (but not less than \$500,000 per location aggregate); (b) comprehensive automobile liability insurance policy with a combined single limit for each occurrence of not less than Three Hundred Thousand Dollars (\$300,000) with respect to personal injury or death and property damage; and (c) worker's compensation insurance policy or similar insurance in form and amounts required by law. The Village shall carry similar amounts and types of insurance when it enters onto any Owner's Property, provided, such insurance may be provided through the municipal insurance plan of the Village.

j. Liens. Notwithstanding the provisions of this Agreement, the Owner shall pay promptly all persons furnishing labor or materials with respect to any work performed by the Owner or its contractors on or about any Owner's Property. If any mechanic's or other liens shall at any time be filed against any Owner's Property by reason of work, labor, services or materials performed or furnished, or alleged to have been performed or furnished, the Owner shall forthwith cause the same to be discharged of record or bonded.

k. Signing of Documents. Each party shall sign and deliver any documents which this Agreement requires such party to sign, no later than ten (10) days following written request by another party.

IN WITNESS WHEREOF, VIDHYA Corp VIII, Inc. has executed this DSIS Agreement on this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

*Signatures are on the next pages.*





**VILLAGE OF PLEASANT PRAIRIE, WISCONSIN:**

By: \_\_\_\_\_  
Name: John P. Steinbrink  
Title: Village President

**ATTEST:**

\_\_\_\_\_  
Name: Jane M. Romanowski  
Title: Village Clerk

STATE OF WISCONSIN    )  
                                  )SS:  
KENOSHA COUNTY )

This Agreement was acknowledged before me in Pleasant Prairie, WI on November \_\_\_\_, 2012 by JOHN P. STEINBRINK and JANE M. ROMANOWSKI as the duly authorized President and Clerk, respectfully, of the Village of Pleasant Prairie, a Wisconsin municipal corporation.

\_\_\_\_\_  
Signature of Notary Public

\_\_\_\_\_  
Typed or Printed Name of Notary Public

Notary Public, Kenosha County, State of Wisconsin  
My Commission expires: \_\_\_\_\_  
(is permanent)

**EXHIBIT A**

**TO AGREEMENT REGARDING DSIS SECURITY SYSTEM**

**LEGAL DESCRIPTION**  
**[Attached hereto]**

**EXHIBIT B**

**TO AGREEMENT REGARDING DSIS SECURITY SYSTEM**

**VILLAGE CONDITIONAL USE PERMIT #12-10  
(Attached hereto)**

**EXHIBIT C**

**TO AGREEMENT REGARDING DSIS SECURITY SYSTEM**

**VILLAGE PLANNED UNIT DEVELOPMENT (PUD) ORDINANCE #12-40  
(Attached hereto)**

**EXHIBIT D**

**TO AGREEMENT REGARDING DSIS SECURITY SYSTEM**

**DSIS PLAN, HARDWARE DETAILS AND NARRATIVE  
[Attached hereto]**

**EXHIBIT E**

**TO AGREEMENT REGARDING DSIS SECURITY SYSTEM**

**ACCESS EASEMENT  
[Attached hereto]**

**ACCESS EASEMENT**

DRAFT

This ACCESS EASEMENT is entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2012 by and between the Grantor, VIDHYA Corp., VIII, Inc., a corporation (the "Landowner") and the Grantee, the VILLAGE OF PLEASANT PRAIRIE (the "Easement Holder").

**RECITALS**

A. The Landowner is the owner of certain real estate in the Village of Pleasant Prairie, Kenosha County, Wisconsin, which is legally described in **Exhibit A** and incorporated herein by reference (collectively the "Landowner's Property").

B. The Easement Holder has entered into a Security Agreement with the Landowner for the right but not the obligation for the installation and maintenance of an exterior Digital Security Imaging System ("DSIS") upon Landowner's Property for security surveillance purposes (the "Agreement").

C. In connection with the above-referenced Agreement, the Landowner has agreed to convey to the Easement Holder access and maintenance rights to all such systems, devices and areas associated with the DSIS.

D. The Easement Holder acknowledges and agrees that the Landowner will utilize the Landowner's Property for a gasoline station and convenience store, commonly known as the BP Amoco Store # 3789 ("BP Amoco"), and the Easement Holder shall not unreasonably interfere with said use and operation of the Landowner's Property by the Landowner.

**GRANT OF ACCESS EASEMENT**

In consideration of the facts recited above, the Landowner and Easement Holder agree as follows:

**1. Grant of Easement.** The Landowner hereby grants and conveys to the Easement Holder, its contractors and agents, a perpetual, non-exclusive, rent-free, access and maintenance easement (the "Access Easement") over and through the

Recording Area

Name and Return Address  
Jean M. Werbie-Harris  
Community Development Dept.  
Village Municipal Building  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

Parcel Identification Number:  
92-4-122-302-0130

exterior of the improvements located on that portion of the Landowner's Property required for the installation, maintenance and use of said DSIS, related electrical work and internet access, and if applicable to a secured area generally located as described in the DSIS Security Agreement, which location may be relocated by mutual agreement of the parties (the "Easement Property"). All utility lines shall be underground to the extent possible. The Landowner shall supply electricity and internet connection services for the DSIS as provided in the Agreement.

**2. Use of Access Easement.** The purpose of the Access Easement is to provide for the installation, operation and maintenance of a DSIS in accordance with a Security Agreement between the parties and other property owners dated on or about \_\_\_\_\_, 2012 (the "Agreement"), the terms and conditions of which are hereby incorporated in this Access Easement. Nothing in this Access Easement is intended to prohibit use of the Access Easement area by the Landowner, provided such use does not materially interfere with the use of the Access Easement by the Easement Holder. The Easement Holder agrees that it will not materially interfere with the normal operation and use of the Landowner's Property by the Landowner and its occupants, and that its equipment shall not impair the visibility of the BP Amoco, its storefront or signage.

**3. Improvements.** The Easement Holder shall have the right, but not the obligation, to construct and install reasonable improvements upon the Easement Property in accordance with the terms in the Agreement, to make the Easement Property suitable for the installation of a DSIS with as little damage to the Landowner's Property as possible. Subject to the terms of the Agreement, if the Easement Holder undertakes the installation or maintenance of the DSIS, the Easement Holder agrees to use its best efforts to make the DSIS as aesthetically tasteful and architecturally harmonious as reasonably possible while still allowing the DSIS to cover as much of the BP Amoco Site as the Easement Holder deems reasonably necessary.

**4. Maintenance.** The Easement Holder shall have access at all times as it deems necessary for maintaining its DSIS and related equipment on the Easement Property to the extent necessary for the uses described in the Agreement. The Landowner shall pay the Easement Holder a maintenance fee and other fees as described in the Agreement if the Easement Holder undertakes inspections or takes over the responsibilities of the DSIS maintenance.

**5. Damage to Easement Property.** The Easement Holder shall be responsible for any damage that it may cause to the Easement Property. The Easement Holder shall promptly make all needed repairs, promptly after such damage, restoring the Easement Property to its condition prior to the damage. The Landowner shall promptly make any needed repairs to the Landowner's Property and the DSIS equipment that the Landowner may damage.

**6. Obstructions to Use of the Easement Property.** The Easement Holder may not utilize the Easement Property in a way that materially interferes with its use by any other person permitted to use it. The Easement Holder acknowledges and agrees that the Landowner's and its future owners or tenants' use of the Landowner's Property may include if permitted by the Village, outdoor kiosks and other events that



may occur on the Landowner's Property, which such uses may be allowed, and shall not be considered an obstruction or impediment to the Access Easement. Furthermore, the Easement Holder acknowledges and agrees that the Landowner has the right to modify and construct new improvements on the Landowner's Property, albeit with the necessary permits, and if said improvements interfere with use of the Access Easement by the Easement Holder, then the Landowner shall bear all costs and responsibility to relocate the DSIS equipment or modify its use of the Easement Property.

**7. Indemnity/Insurance/Liens.** All costs of installation, operation, and maintenance of the Easement Property and any improvements the Landowner installs thereon will be the responsibility of the Landowner as described in the Agreement.

Any contractor coming onto the Easement Property and/or the Landowner's Property on behalf of the Easement Holder shall carry a non-deductible (a) commercial general liability insurance policy, including (but not limited to) contractor's liability coverage, contractual liability coverage, completed operations coverage, broad form property damage endorsement and contractor's protective liability coverage, to afford protection, with respect to personal injury, death or property damage of not less than One Million Dollars (1,000,000) per occurrence combined single limit/ One Million Dollars (\$1,000,000) general aggregate (but not less than \$500,000 per location aggregate); (b) comprehensive automobile liability insurance policy with a combined single limit for each occurrence of not less than Three Hundred Thousand Dollars (\$300,000) with respect to personal injury or death and property damage; and (c) worker's compensation insurance policy or similar insurance in form and amounts required by law. The Easement Holder shall carry similar amounts and types of insurance when it enters onto the Easement Property and/or the Landowner's Property, provided, such insurance may be provided through the municipal insurance plan of Easement Holder. In connection with any installation, operation, maintenance or inspection of the Easement Property by the Easement Holder or its agents, employees or contractors, the Easement Holder shall indemnify, defend and hold harmless the Landowner from and against any lien, suit, loss, cost, expense (including reasonable attorneys' fees), personal injury, bodily injury or property damage arising from or relating to such activities of the Easement Holder, its agents, contractors or engineers on the Landowner's Property.

Nothing contained herein shall alter or eliminate any obligations of the Landowner to reimburse the Easement Holder for costs and expenses, as provided in the DSIS.

**8. Enforcement of Agreement.** The Landowner and Easement Holder shall have the right to legally enforce this Access Easement and the covenants, conditions and restrictions set forth herein, by whatever action or actions are legally available, including, without limitation, enjoining any violation or threatened violation hereof.

**9. Amendments.** This Access Easement may not be modified, amended or terminated except by execution and recording of a written instrument signed by both the Landowner and Easement Holder.

**10. Successors.** All of the terms, covenants, conditions, and obligations set forth in this Access Easement and the Agreement shall inure to the benefit of and bind the

Landowner and Easement Holder, and their respective personal representatives, heirs, successors, transferees, assigns, and all future owners of the Landowner's property this Access Easement and the Agreement shall continue as a servitude running in perpetuity with the Landowner's Property.

**11. Severability.** If any provision or specific application of this Access Easement is found to be invalid by a court of competent jurisdiction, the remaining provisions or specific applications of this Access Easement shall remain valid and binding.

**12. Governing Law.** This Access Easement shall be governed by and construed under the laws of the State of Wisconsin. The parties agree that any dispute hereunder shall be venued only in the Circuit Court for Kenosha County.

**13. Attorneys Fees and Interest.** If either party defaults in the performance or observation of any of the terms, conditions, covenants or obligations contained in this Access Easement and the complaining party places the enforcement of all or any part of this Access Easement in the hands of an attorney, or if that party incurs any fees or out-of-pocket costs in any litigation, negotiation or transaction, the party that substantially prevails in any such dispute shall be reimbursed for its actual attorneys' fees and costs whether or not litigation is actually commenced. Any sums not paid when due, including without limitation any maintenance fee, shall accrue interest from the due date until paid at eighteen percent (18%) per annum.

*(Signatures are on the Next Pages)*





**CONSENT OF MORTGAGEE**

The undersigned, being the holder of a mortgage against the Property, consents to the Access Easement set forth above and agrees that its interest in the Property shall be subject to this Access Easement.

Dated: \_\_\_\_\_, 2012.

\_\_\_\_\_ Bank

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

**ACKNOWLEDGMENT**

STATE OF WISCONSIN )  
 )SS:  
\_\_\_\_\_ COUNTY)

This instrument was acknowledged before me on \_\_\_\_\_, 2012  
by \_\_\_\_\_, (Name) the \_\_\_\_\_  
(Title) of the \_\_\_\_\_ (Bank).

\_\_\_\_\_  
Signature of Notary Public

\_\_\_\_\_  
Type or Print Name of Notary Public

Notary Public, State of \_\_\_\_\_

My commission expires: \_\_\_\_\_

This instrument drafted by:

Jean M. Werbie-Harris  
Community Development Director  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158  
262-925-6718  
and  
Atty. Timothy J. Geraghty  
Godin, Geraghty & Puntillo, S.C.  
6301 Green Bay Road  
Kenosha, WI 53142  
262-657-3500

**EXHIBIT A**

**Legal Description of Landowner's Property**

# MEMORANDUM

**Date:** November 15, 2012  
**To:** Village Board of Trustees  
**From:** Jane M. Romanowski  
Village Clerk  
**Re:** BP AM/PM Class “A” Ferment Malt Beverage License Renewal Application

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On June 18, August 20 and September 17, 2012 respectively, the Village Board renewed the Class “A” Fermented Malt Beverage License for successive time periods for the BP AM/PM establishment located at 10477 120<sup>th</sup> Avenue. The staff’s recommendation for each renewal was based on working with the parties involved to correct the conditional use permit and the illicit discharge violations that currently exist on the property which included scheduling and postponements of a hearing before the Plan Commission.

On November 12, 2012, the Village Plan Commission tabled consideration of the conditional use permit violations and settlement agreement which matters will now be considered at a special meeting November 19, 2012 at 5 p.m. Staff recommendation will be based on the decision of the Plan Commission at this special meeting.

\* \* \* \* \*

Consider a **Zoning Text Amendment (Ord. #12-39)** to amend Section 420-48 L of the Village Zoning Ordinance related to parking area setbacks

**Recommendation:**

On November 12, 2012 the Plan Commission held a public hearing and recommended that the Plan Commission send a favorable recommendation to the Village Board to approve the **Ordinance Amendment (Ord. #12-39)** as presented.



## VILLAGE STAFF REPORT OF NOVEMBER 19, 2012

Consider a **Zoning Text Amendment (Ord. #12-39)** to amend Section 420-48 L of the Village Zoning Ordinance related to parking area setbacks

*On October 15, 2012 the Village Board adopted Resolution #12-36 to initiate amendments to the Village Zoning Ordinance related to parking area setbacks. The following amendments are proposed to section 420-48 L:*

- L. Setback for parking areas (which includes parking spaces, maneuvering lanes and fire lanes). Parking areas shall ~~be set back~~ **meet the following minimum setbacks:**
- (1)** ~~a minimum of~~ 20 feet from all adjoining street rights-of-way, private roadways and lot lines, **except as provided in subsection (2), (3) and (4) below;**
  - (2)** ~~a minimum of~~ 50 feet from any railroad right-of-way, excluding railroad spurs **and parking areas in the manufacturing districts, whereby the parking setback may be reduced to zero (0);** and
  - (3)** ~~a minimum of~~ 25 feet from any wetlands on ~~the said~~ property.
  - (4) Other Exceptions:**
    - (a)** ~~However,~~ For parking areas on abutting properties, the parking area setback to internal, nonstreet lot lines may be reduced to a minimum of 10 feet in order to achieve a minimum twenty-foot-wide separation between parking areas upon the development of both properties. In no case shall the distance between abutting parking areas be less than 20 feet. Parking areas shall not encroach into easement areas without written approval.
    - (b)** ~~Also,~~ If a commercial parking area abuts any residential district, no vehicle shall be allowed to travel on a driveway or park closer than 25 feet to the abutting residential ~~use~~ property ~~lot~~ line.

These required setback areas shall be used for an open green space with plantings, sidewalks, if required, or signage, provided that it meets the minimum setback requirements for said sign.

On November 12, 2012 the Plan Commission held a public hearing and recommended that the Plan Commission send a favorable recommendation to the Village Board to approve the **Ordinance Amendment (Ord. #12-39)** as presented.

ORD. NO. 12-39

ORDINANCE TO AMEND  
THE VILLAGE ZONING ORDINANCE (CHAPTER 420)  
RELATED TO SETBACKS FOR PARKING AREAS  
IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, DO HEREBY ORDAIN THAT SECTION 420-48 L RELATED TO SETBACKS FOR PARKING AREAS (WHICH INCLUDES PARKING SPACES, MANEUVERING LANES AND FIRE LANES) IS HEREBY AMENDED AS FOLLOWS:

- L. Setback for parking areas (which includes parking spaces, maneuvering lanes and fire lanes). Parking areas shall ~~be set-back~~ **meet the following minimum setbacks:**
- (1) ~~a minimum of~~ 20 feet from all adjoining street rights-of-way, private roadways and lot lines, **except as provided in subsection (2), (3) and (4) below;**
  - (2) ~~a minimum of~~ 50 feet from any railroad right-of-way, excluding railroad spurs **and parking areas in the manufacturing districts, whereby the parking setback may be reduced to zero (0);** and
  - (3) ~~a minimum of~~ 25 feet from any wetlands on ~~the said~~ property.
  - (4) **Other Exceptions:**
    - (a) ~~However,~~ For parking areas on abutting properties, the parking area setback to internal, nonstreet lot lines may be reduced to a minimum of 10 feet in order to achieve a minimum twenty-foot-wide separation between parking areas upon the development of both properties. In no case shall the distance between abutting parking areas be less than 20 feet. Parking areas shall not encroach into easement areas without written approval.
    - (b) ~~Also,~~ If a commercial parking area abuts any residential district, no vehicle shall be allowed to travel on a driveway or park closer than 25 feet to the abutting residential ~~use~~ property ~~lot~~ line.

These required setback areas shall be used for an open green space with plantings, sidewalks, if required, or signage, provided that it meets the minimum setback requirements for said sign.

**Adopted this 19<sup>th</sup> day of November, 2012.**

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

\_\_\_\_\_  
John P. Steinbrink  
Village President

\_\_\_\_\_  
Jane M. Romanowski  
Village Clerk  
Posted: \_\_\_\_\_

**VILLAGE OF PLEASANT PRAIRIE BOARD OF TRUSTEES  
RESOLUTION #12-38**

**RESOLUTION RELATING TO THE DISCONTINUANCE OF 93<sup>RD</sup> STREET BETWEEN  
LAKESHORE DRIVE AND 3<sup>RD</sup> AVENUE  
IN THE CAROL BEACH ESTATES SUBDIVISION UNIT NO. 5A  
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN**

The Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, pursuant to Section 66.1003 of the Wisconsin Statutes, may initiate the discontinuance in whole or in part of any road, street, slip, lane or alley by the introduction of a resolution declaring that the public interest requires it.

**WHEREAS**, the Village of Pleasant Prairie has received a request from the Wisconsin Department of Natural Resources (WI DNR) for the discontinuance of 93<sup>rd</sup> Street between Lakeshore Drive and 3<sup>rd</sup> Avenue, which has been designated as a public right-of-way on the Final Plat of the Carol Beach Estates Subdivision Unit No. 5A; and

**WHEREAS**, the WI DNR owns the vacant lands abutting this portion of 93<sup>rd</sup> Street and is requesting that the street be discontinued and removed to link the adjoining blocks that support several threatened and endangered plant species by creating more contiguous habitat that will benefit these species; and

**WHEREAS**, a plat of survey and legal description of the public street encompassing the discontinuance has been prepared and is shown on **Exhibit A**; and

**WHEREAS**, pursuant to Maps 30 and 32 in the Southeastern Wisconsin Regional Planning Commission (SEWRPC) report entitled "*A Land Use Management Plan for the Chiwaukee Prairie-Carol Beach area of the Town of Pleasant Prairie*" this portion of 93<sup>rd</sup> Street is proposed to be vacated or discontinued when all of the adjacent properties are owned by a public entity; and

**WHEREAS**, municipal sanitary sewer, water and storm sewer infrastructure were not constructed within said right-of-way; and

**WHEREAS**, the Village of Pleasant Prairie Plan Commission shall review said legal description and plat of survey and forward a recommendation regarding the discontinuance to the Village Board; and

**WHEREAS**, a Public Hearing to consider this discontinuance shall be set before the Village Board not less than 40 days after the passage of this Resolution.

**NOW THEREFORE BE IT RESOLVED** that consideration of the discontinuance is a matter to be decided by the Village Board of Trustees at an January 21, 2013 Public Hearing.

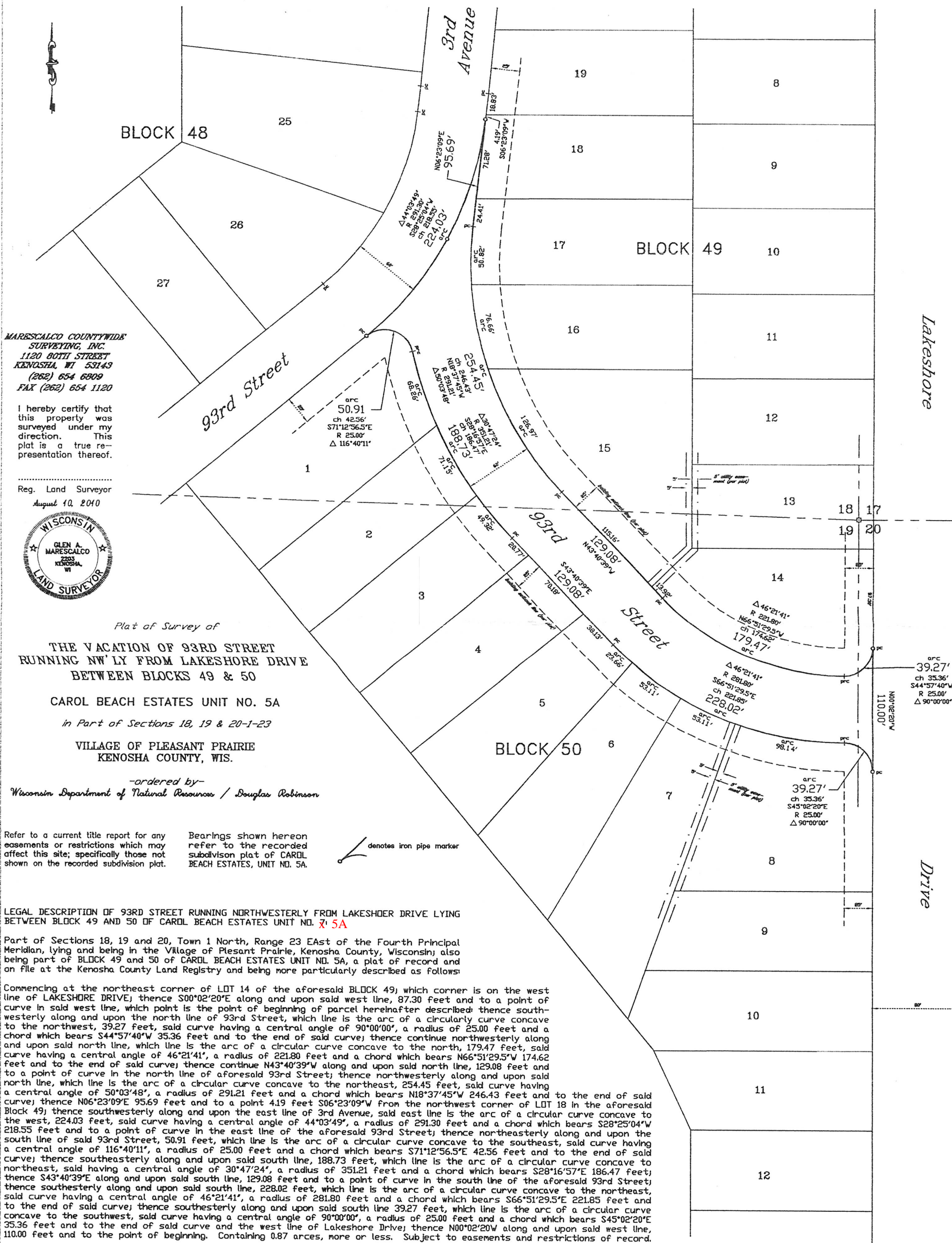
**Adopted this 19<sup>th</sup> day of November, 2013.**

VILLAGE OF PLEASANT PRAIRIE

\_\_\_\_\_  
John P. Steinbrink  
Village President

ATTEST:

\_\_\_\_\_  
Jane M. Romanowski  
Village Clerk



MARESCALCO COUNTYWIDE SURVEYING, INC.  
 1120 BOUTH STREET  
 KENOSHA, WI 53143  
 (262) 654 6809  
 FAX (262) 654 1120

I hereby certify that this property was surveyed under my direction. This plat is a true representation thereof.

Reg. Land Surveyor  
 August 10, 2010



Plat of Survey of  
**THE VACATION OF 93RD STREET**  
**RUNNING NW'LY FROM LAKESHORE DRIVE**  
**BETWEEN BLOCKS 49 & 50**  
**CAROL BEACH ESTATES UNIT NO. 5A**  
*in Part of Sections 18, 19 & 20-1-23*  
**VILLAGE OF PLEASANT PRAIRIE**  
**KENOSHA COUNTY, WIS.**

-ordered by-  
 Wisconsin Department of Natural Resources / Douglas Robinson

Refer to a current title report for any easements or restrictions which may affect this site; specifically those not shown on the recorded subdivision plat.

Bearings shown hereon refer to the recorded subdivision plat of CAROL BEACH ESTATES, UNIT NO. 5A.

denotes iron pipe marker

LEGAL DESCRIPTION OF 93RD STREET RUNNING NORTHWESTERLY FROM LAKESHORE DRIVE LYING BETWEEN BLOCK 49 AND 50 OF CAROL BEACH ESTATES UNIT NO. 5A

Part of Sections 18, 19 and 20, Town 1 North, Range 23 East of the Fourth Principal Meridian, lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin; also being part of BLOCK 49 and 50 of CAROL BEACH ESTATES UNIT NO. 5A, a plat of record and on file at the Kenosha County Land Registry and being more particularly described as follows:

Commencing at the northeast corner of LDT 14 of the aforesaid BLOCK 49; which corner is on the west line of LAKESHORE DRIVE; thence S00°02'20"E along and upon said west line, 87.30 feet and to a point of curve in said west line, which point is the point of beginning of parcel hereinafter described; thence southwesterly along and upon the north line of 93rd Street, which line is the arc of a circularly curve concave to the northwest, 39.27 feet, said curve having a central angle of 90°00'00", a radius of 25.00 feet and a chord which bears S44°57'40"W 35.36 feet and to the end of said curve; thence continue northwesterly along and upon said north line, which line is the arc of a circular curve concave to the north, 179.47 feet, said curve having a central angle of 46°21'41", a radius of 221.80 feet and a chord which bears N66°51'29.5"W 174.62 feet and to the end of said curve; thence continue N43°40'39"W along and upon said north line, 129.08 feet and to a point of curve in the north line of aforesaid 93rd Street; thence northwesterly along and upon said north line, which line is the arc of a circular curve concave to the northeast, 254.45 feet, said curve having a central angle of 50°03'48", a radius of 291.21 feet and a chord which bears N18°37'45"W 246.43 feet and to the end of said curve; thence N06°23'09"E 95.69 feet and to a point 4.19 feet S06°23'09"W from the northwest corner of LDT 18 in the aforesaid Block 49; thence southwesterly along and upon the east line of 3rd Avenue, said east line is the arc of a circular curve concave to the west, 224.03 feet, said curve having a central angle of 44°03'49", a radius of 291.30 feet and a chord which bears S28°25'04"W 218.55 feet and to a point of curve in the east line of the aforesaid 93rd Street; thence northeasterly along and upon the south line of said 93rd Street, 50.91 feet, which line is the arc of a circular curve concave to the southeast, said curve having a central angle of 116°40'11", a radius of 25.00 feet and a chord which bears S71°12'56.5"E 42.56 feet and to the end of said curve; thence southeasterly along and upon said south line, 188.73 feet, which line is the arc of a circular curve concave to the northeast, said curve having a central angle of 30°47'24", a radius of 351.21 feet and a chord which bears S28°16'57"E 186.47 feet; thence S43°40'39"E along and upon said south line, 129.08 feet and to a point of curve in the south line of the aforesaid 93rd Street; thence southeasterly along and upon said south line, 228.02 feet, which line is the arc of a circular curve concave to the northeast, said curve having a central angle of 46°21'41", a radius of 281.80 feet and a chord which bears S66°51'29.5"E 221.85 feet and to the end of said curve; thence southeasterly along and upon said south line 39.27 feet, which line is the arc of a circular curve concave to the southwest, said curve having a central angle of 90°00'00", a radius of 25.00 feet and a chord which bears S45°02'20"E 35.36 feet and to the end of said curve and the west line of Lakeshore Drive; thence N00°02'20"W along and upon said west line, 110.00 feet and to the point of beginning. Containing 0.87 arcs, more or less. Subject to easements and restrictions of record.

LEGAL DESCRIPTION OF 93<sup>RD</sup> STREET RUNNING NORTHWESTERLY FROM LAKESHORE DRIVE LYING BETWEEN BLOCK 49 AND 50 OF CAROL BEACH ESTATES UNIT NO. 5A

Part of Sections 18, 19, and 20, Town 1 North, Range 23 East of the Fourth Principal Meridian, lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin and lying between BLOCKS 49 and 50 of CAROL BEACH ESTATES UNIT NO. 5A, a plat of record and on file at the Kenosha County Land Registry and being more particularly described as follows:

Commencing at the northeast corner of LOT 14 of the aforesaid BLOCK 49; which corner is on the west line of LAKESHORE DRIVE; thence  $S00^{\circ}02'20''E$  along and upon said west line, 87.30 feet and to a point of curve in said west line, which point is the point of beginning of parcel hereinafter described: thence south-westerly along and upon the north line of 93<sup>rd</sup> Street, which line is the arc of a circularly curve concave to the northwest, 39.27 feet, said curve having a central angle of  $90^{\circ}00'00''$ , a radius of 25.00 feet and a chord which bears  $S44^{\circ}57'40''W$  35.36 feet and to the end of said curve; thence continue northwesterly along and upon said north line, which line is the arc of a circular curve concave to the north, 179.47 feet, said curve having a central angle of  $46^{\circ}21'41''$ , a radius of 221.80 feet and a chord which bears  $N66^{\circ}51'29.5''W$  174.62 feet and to the end of said curve; thence continue  $N43^{\circ}40'39''W$  along and upon said north line, 129.08 feet and to a point of curve in the north line of aforesaid 93<sup>rd</sup> Street; thence northwesterly along and upon said north line, which line is the arc of a circular curve concave to the northeast, 254.45 feet, said curve having a central angle of  $50^{\circ}03'48''$ , a radius of 291.21 feet and a chord which bears  $N18^{\circ}37'45''W$  246.43 feet and to the end of said curve; thence  $N06^{\circ}23'09''E$  95.69 feet and to a point 4.19 feet  $S06^{\circ}23'09''W$  from the northwest corner of LOT 18 in the aforesaid Block 49; thence southwesterly along and upon the east line of 3<sup>rd</sup> Avenue, said east line is the arc of a circular curve concave to the west, 224.03 feet, said curve having a central angle of  $44^{\circ}03'49''$ , a radius of 291.30 feet and a chord which bears  $S28^{\circ}25'04''W$  218.55 feet and to a point of curve in the east line of the aforesaid 93<sup>rd</sup> Street; thence northeasterly along and upon the south line of said 93<sup>rd</sup> Street, 50.91 feet, which line is the arc of a circular curve concave to the southeast, said curve having a central angle of  $116^{\circ}40'11''$ , a radius of 25.00 feet and a chord which bears  $S71^{\circ}12'56.5''E$  42.56 feet and to the end of said curve; thence southeasterly along and upon said south line, 188.73 feet, which line is the arc of a circular curve concave to northeast, said curve having a central angle of  $30^{\circ}47'24''$ , a radius of 351.21 feet and a chord which bears  $S28^{\circ}16'57''E$  186.47 feet; thence  $S43^{\circ}40'39''E$  along and upon said south line, 129.08 feet and to a point of curve in the south line of the aforesaid 93<sup>rd</sup> Street; thence southeasterly along and upon said south line, 228.02 feet, which line is the arc of a circular curve concave to the northeast, said curve having a central angle of  $46^{\circ}21'41''$ , radius of 281.80 feet and a chord which bears  $S66^{\circ}51'29.5''E$  221.85 feet and to the end of said curve; thence southeasterly along and upon said south line 39.27 feet, which line is the arc of a circular curve concave to the southwest, said curve having a central angle of  $90^{\circ}00'00''$ , a radius of 25.00 feet and a chord which bears  $S45^{\circ}02'20''E$  35.36 feet and to the end of said curve and the west line of Lakeshore Drive; thence  $N00^{\circ}02'20''W$  along and upon said west line, 110.00 feet and to the point of beginning. Containing 0.87 acres, more or less. Subject to easements and restrictions of record.



**State of Wisconsin \ DEPARTMENT OF NATURAL RESOURCES**

Jim Doyle, Governor  
Matthew J. Frank, Secretary  
Gloria L. McCutcheon, Regional Director

Sturtevant Service Center  
9531 Rayne Rd  
Sturtevant, Wisconsin 53177  
Telephone 262-884-2300  
FAX 262-884-2306  
TTY Access via relay - 711

October 10, 2012

Jean Werbie-Harris  
Community Development Director  
Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158-6504

Subject: Vacation Request of 93rd Street  
Carol Beach Estates, Unit 5A  
Village of Pleasant Prairie, Kenosha County

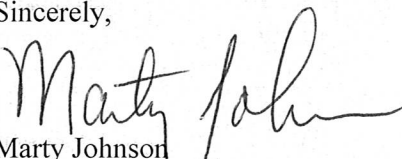
Dear Ms. Werbie-Harris:

This letter is a request from the department to vacate and remove approximately 605 feet of 93rd Street in the Carol Beach Estates, Unit 5A Subdivision. Please find enclosed a certified survey of 93rd Street to help begin the process. At this time the department owns all the lots on both sides of the portion of 93rd Street in the request. The platted road boundary to be vacated and eventually removed has been staked in the field.

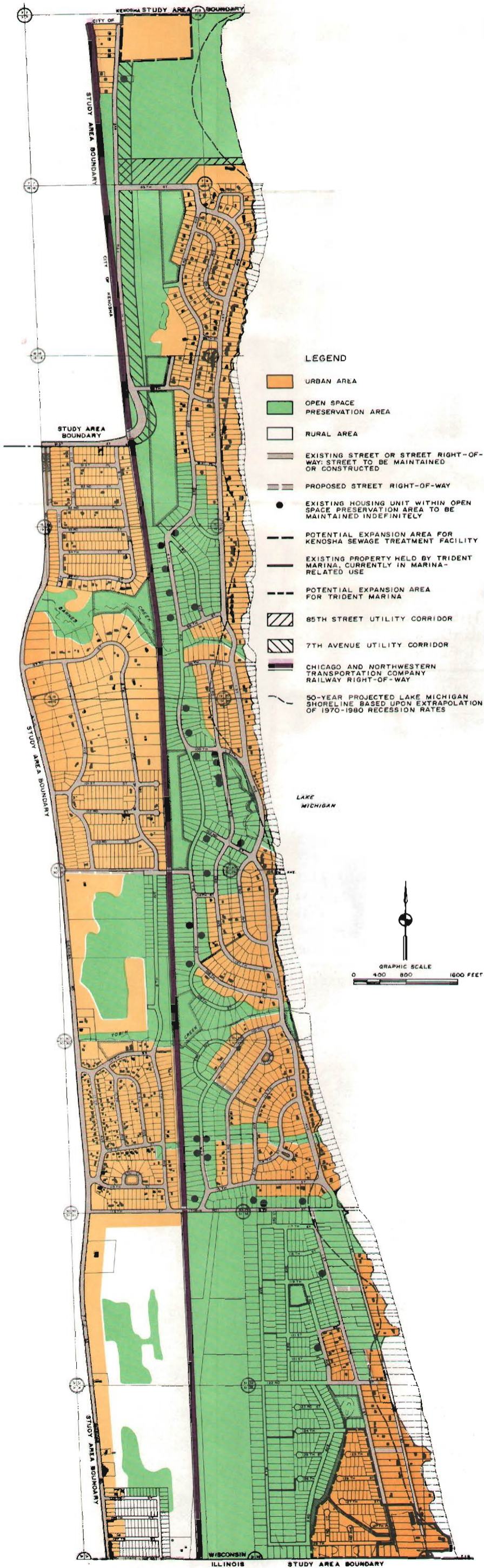
The department is making this request in line with the Southeastern Wisconsin Regional Planning Commission report A Land Use Management Plan For The Chiwaukee Prairie- Carol Beach Area Of The Town Of Pleasant Prairie. The plan identified several roads to be vacated and removed throughout the Carol Beach Subdivision (Maps 30 & 32). Ninety-Third Street is one of the roads identified in the plan to be vacated. The vacating and road removal will link adjoining blocks that support several threatened and endangered plant species that, creating more contiguous habitat that will benefit these species.

Thank you for your consideration and look forward to working with the village on this request.

Sincerely,

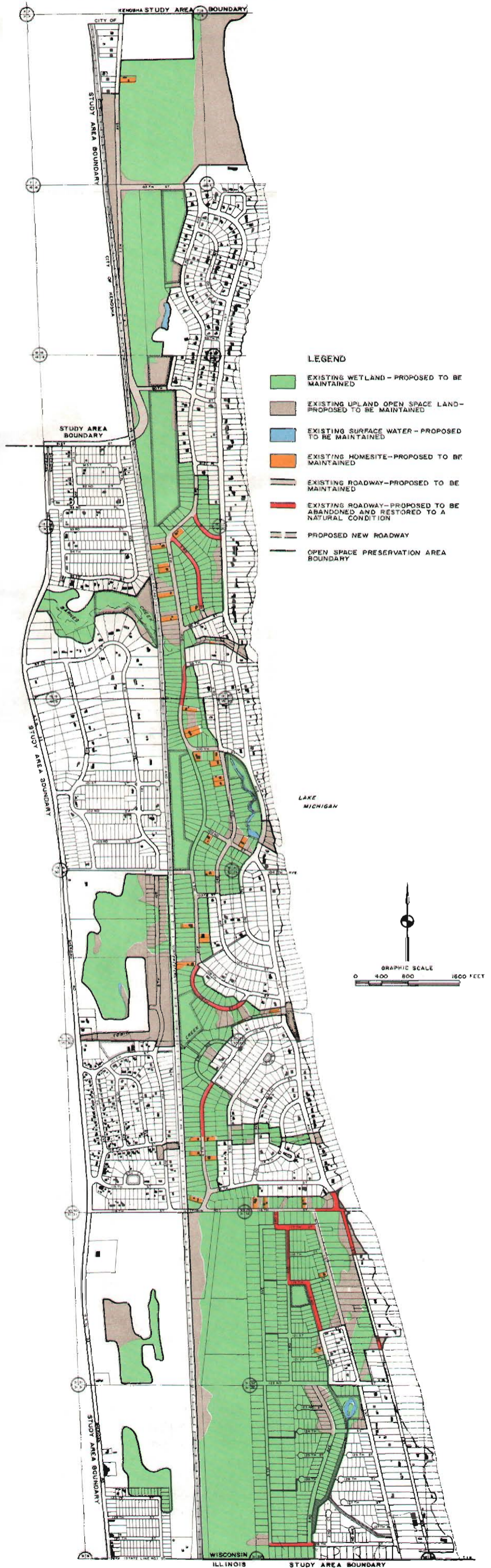
  
Marty Johnson  
Wildlife Biologist

RECOMMENDED LAND USE MANAGEMENT PLAN FOR THE CHIWAUKEE PRAIRIE-CAROL BEACH AREA



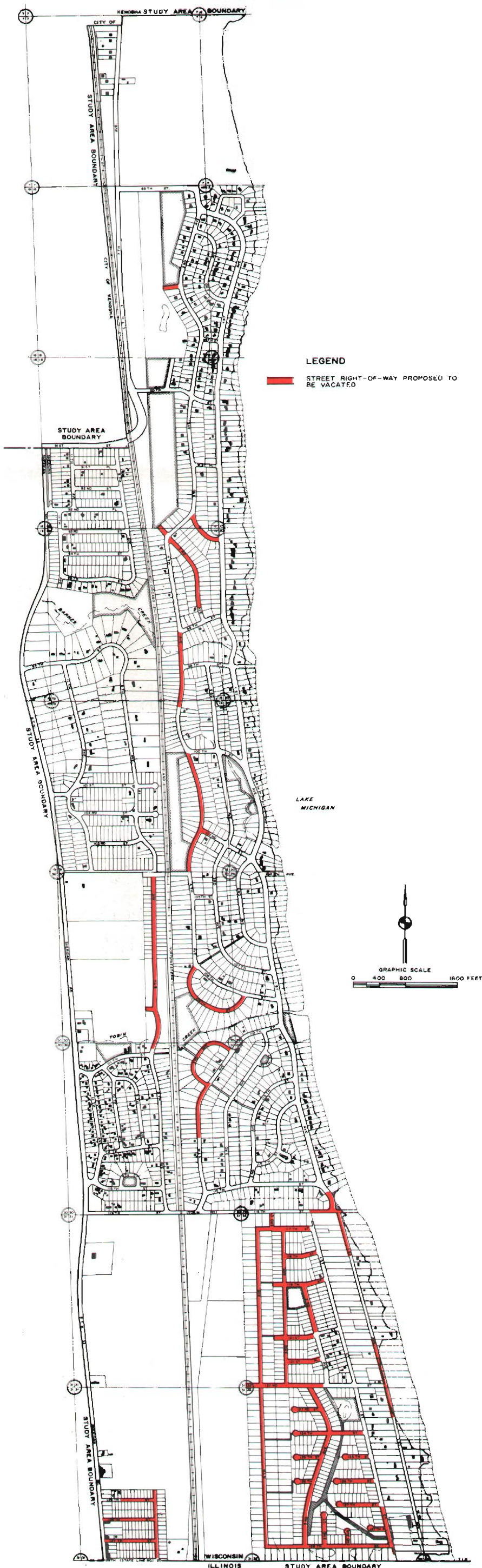
Source: SEWRPC.

LAND USE WITHIN THE PROPOSED OPEN SPACE PRESERVATION AREA IDENTIFIED IN THE RECOMMENDED LAND USE MANAGEMENT PLAN



Source: SEWRPC.

STREET RIGHTS-OF-WAY PROPOSED  
TO BE VACATED UNDER THE RECOMMENDED  
LAND USE MANAGEMENT PLAN



Source: SEWRPC.





Office of the Village  
Director of Public Works  
**John Steinbrink, Jr.**

**To:** Michael Pollocoff  
**From:** John Steinbrink, Jr.  
**Subject:** Cooper Road Sewer Rehabilitation  
**Date:** November 19, 2012

The Pleasant Prairie Sewer Utility is planning a multiyear rehabilitation project for the Cooper Road Sewer drainage basin. The area is generally located north of 85<sup>th</sup> to 76<sup>th</sup> St along Cooper Road West to 56<sup>th</sup> Ave. This year will include relining of sanitary sewer mains on Cooper Road from 76<sup>th</sup> St to 81<sup>st</sup> St. Please see the attached map.

The sewer was constructed in around 1950's and consists of 2.4 miles of clay sewer main and 222 six inch clay laterals. The area has been subject to sewer backups and high sewer flows. During rain events the flow will increase ten times higher than in dry conditions. The suspected causes of these high flows are infiltration of groundwater into sewer mains and laterals and illegal sump pump connections.

On Tuesday November 13<sup>th</sup> four bids were received for the installation on approximately 1,900 feet of sewer main lining and rehabilitation for 72 vertical feet of sanitary manhole.

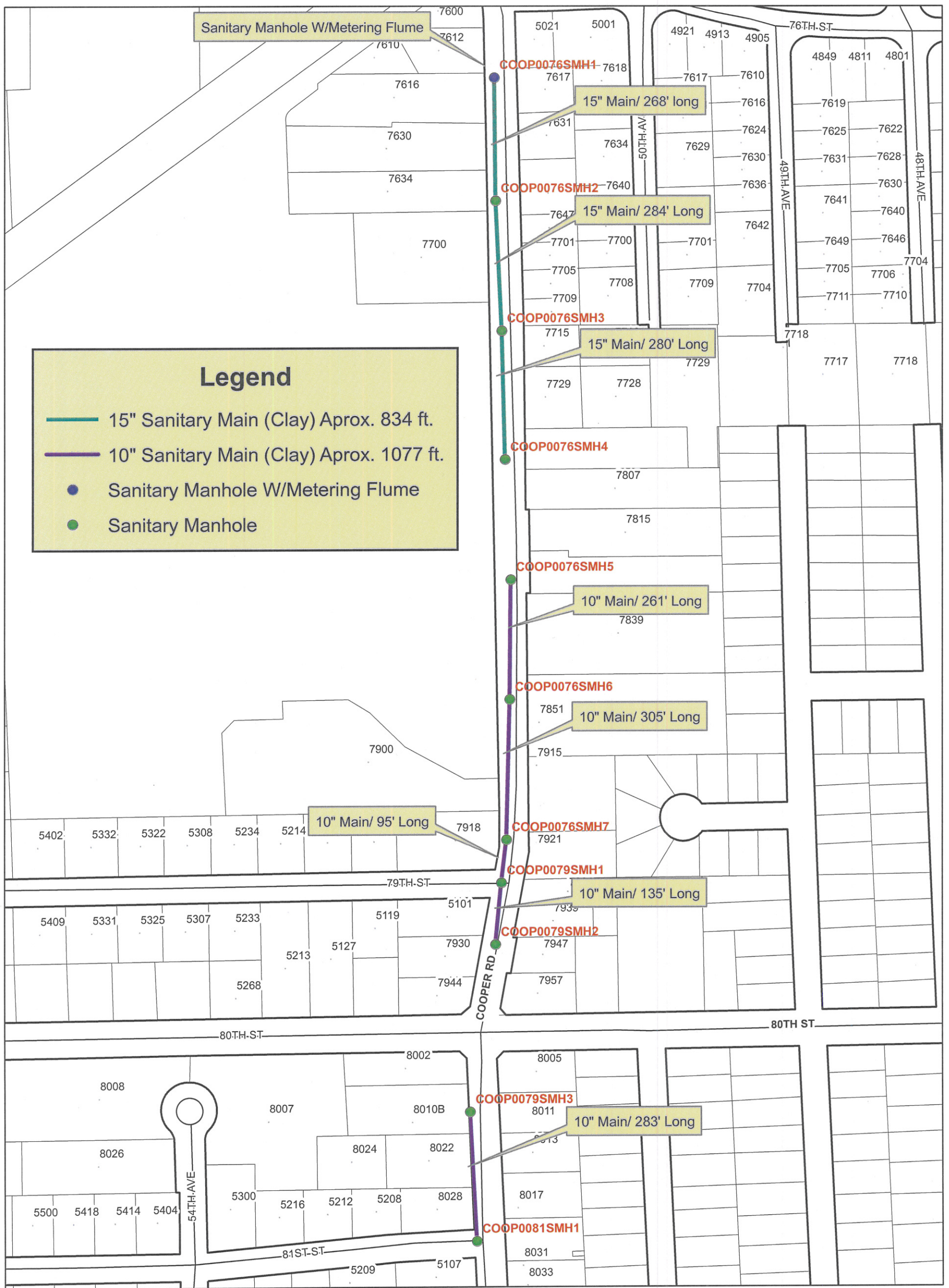
Visu-Sewer, Inc	\$ 81,577.75
Terra Engineering and Construction	\$ 97,420.00
McCann's Rooter Sewer and Drain	\$ 98,666.00
Michels Corporation	\$125,926.26

The approved 2012 Sewer Utility Capital Budget for this rehabilitation project is \$100,000.

Visu-Sewer has completed this sanitary sewer relining for Pleasant Prairie in the past. Pipe relining has become a popular rehabilitation method. A new liner is pulled into the existing sewer main or lateral and cured into place. This is the most cost effective method and is recommended for this project.

I recommend a contract be awarded to Visu-Sewer Inc for sanitary sewer lining services on the Cooper Road Sewer Rehabilitation project year one in the amount not to exceed \$81,577.75

# 2012 Pleasant Prairie Sanitary Rehabilitation Program



**Legend**

- 15" Sanitary Main (Clay) Aprox. 834 ft.
- 10" Sanitary Main (Clay) Aprox. 1077 ft.
- Sanitary Manhole W/Metering Flume
- Sanitary Manhole



Village of Pleasant Prairie  
 Cooper Rd. Sanitary Rehab Project  
 2012

## OFFICIAL NOTICE TO BIDDERS

### 2012 Pleasant Prairie Sanitary Sewer Rehabilitation Program

OWNER: The Village of Pleasant Prairie hereby gives notice that sealed Bids will be received for the cured in-place pipe liner rehabilitation of approximately 800 feet of 10 inch diameter sanitary sewer, approximately 950 feet of 15 inch diameter sanitary sewer, and the rehabilitation of approximately 75 vertical feet of in eight 48 inch diameter sanitary sewer manholes.

All Contractors shall comply with the "Contractor Qualification Ordinance of the Village of Pleasant Prairie" requiring pre-qualification of Contractors prior to obtaining bidding documents or submitting bids or to act as a Contractor or Subcontractor on any public improvement project. Applications for Qualification forms may be obtained from the Village of Pleasant Prairie Clerk at 9915 39<sup>th</sup> Avenue, Pleasant Prairie, Wisconsin 53158.

**TIME AND PLACE OF BID OPENING: Sealed Bids will be received until 10:00 AM, Local Time, on the 13<sup>th</sup> day of NOVEMBER, 2012 in the office of the Village Clerk, 9915 39<sup>th</sup> Avenue, Pleasant Prairie, Wisconsin 53158. After the official Bid closing time, the Bids will be publicly opened and read aloud.**

BIDDING DOCUMENTS: The bid documents are those prepared by Clark Dietz, Inc., 759 N. Milwaukee St., Suite 624, Milwaukee, WI 53202, and designated as "Village of Pleasant Prairie 2012 Sanitary Sewer Rehabilitation". For a nonrefundable fee of \$20.00 you may obtain bid documents on our website: [www.clarkdietz.com](http://www.clarkdietz.com). You may access the document by clicking on the "bidding documents" icon located at the top of the page, then selecting "browse projects" to find the "Village of Pleasant Prairie 2012 Sanitary Sewer Rehabilitation" bid documents. Please complete a free membership registration to Quest. If you have any questions regarding the registration or the download process please contact Clark Dietz at (262) 657-1550. All submitted Bidding Documents shall be original copies obtained directly from Clark Dietz, Inc. Paper copies of the Bid Documents will not be made available. Direct inquiries may be directed to Mr. Mustafa Emir, P.E., at (414) 315-1933.

LEGAL PROVISIONS: The Contract letting shall be subject to the provisions of Sections 61.54, 61.55, 66.0901, and 66.0903 of the Wisconsin Statutes.

WAGE RATES: CONTRACTORS shall be required to pay not less than the prevailing wage rates on the Project as established by the State of Wisconsin, Department of Workforce Development. Copies of these wage rates are on file in the office the Engineer and incorporated into the Contract Documents.

BID SECURITY: Bid Security in the amount not less than 5% nor more than 10% of the Bid shall accompany each Bid in accordance with the Instructions to Bidders. Acceptable bid Security shall be Bid Bond, Certified Check, Cashier's Check or Money Order.

CONTRACT SECURITY: The Bidder to whom the Contract is awarded shall furnish a Performance Bond and Payment Bond each in the amount equal to the Contract Price.

BID REJECTION / ACCEPTANCE: Owner reserves the right to reject any and all Bids, waive informalities in bidding or accept the Bid or Bids, which best serve the interest of Owner.

BID WITHDRAWAL: No Bid shall be withdrawn for a period of 40 days after the opening of the Bids without the consent of Owner.

Published On OCT 30 and NOV 6, 2012 by authority of the Village of Pleasant Prairie.

By:

John Steinbrink, Jr.  
Director of Public Works  
Village of Pleasant Prairie



**PROJECT MANUAL  
2012 SANITARY SEWER  
REHABILITATION PROGRAM**

**VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WISCONSIN**

October 2012

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01 200	Price and Payment Procedures
01 310	Project Management and Coordination
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Published on OCT 30 and NOV 6, 2012 by authority of the Village of Pleasant Prairie.

By:

John Steinbrink, Jr.  
Director of Public Works  
Village of Pleasant Prairie

## **INSTRUCTIONS TO BIDDERS**

### **ARTICLE 1. DEFINED TERMS**

Terms used in the Instructions to Bidders which are defined in the “Standard General Conditions of the Construction Contract”, (EJCDC No. C-700, 2002 Edition) have the meanings assigned to them in the General Conditions.

Additional terms used in this Instruction to Bidders have the meanings indicated below:

- 1.01 Bidder: One who submits a Bid directly to OWNER, as distinct from a sub-bidder, who submits a bid to the Bidder.
- 1.02 Issuing Office: The office from which the Bidding Documents are to be issued and where the bidding procedures are to be administered.
- 1.03 Successful Bidder: The lowest responsive and responsible Bidder to whom OWNER, ( on the basis of OWNER’S evaluation as hereinafter provided) makes an award.

### **ARTICLE 2. COPIES OF BIDDING DOCUMENTS**

- 2.01 Complete sets of Bidding Documents in the number and for the deposit sum stated in the Official Notice to Bidders may be obtained from the Issuing Office.
- 2.02 Complete sets of Bidding Documents must be used in preparing Bids; neither OWNER nor ENGINEER assume responsibility for errors or misinterpretations resulting from the use of incomplete sets of Bidding Documents.
- 2.03 OWNER and ENGINEER, in making copies of Bidding Documents available on the above terms, do so only for the purpose of obtaining Bids for the work and do not confer a license or grant for any other use.

### **ARTICLE 3. QUALIFICATIONS OF BIDDERS**

- 3.01 All Contractors shall comply with the “Contractor Qualification Ordinance of the Village of Pleasant Prairie” requiring pre-qualification of Contractors prior to obtaining bidding documents or submitting bids or to act as a Contractor or Subcontractor on any public improvement project.
- 3.02 The object of the request for the qualification of Bidder is not to discourage bidding or make it difficult for qualified Bidders to file Bids. Neither is it intended to discourage beginning contractors. It is intended to make it possible for OWNER to have more exact information on financial ability, equipment, and experience in order to reduce the hazards involved in awarding contracts to parties who may not be qualified to perform the Work as specified.

### **ARTICLE 4. EXAMINATION OF CONTRACT DOCUMENTS AND PROJECT SITE**

- 4.01 It is the responsibility of each Bidder before submitting a Bid to:
  - A. Examine and carefully study the Contract Documents and other related data identified in the Bidding Documents, and any Addenda;
  - B. Visit the Project Site and become familiar with and satisfy Bidder as to the general, local, and project site conditions that may affect cost, progress, and performance or furnishing of Work;

- C. Become familiar with and satisfy Bidder as to all federal, state, and local laws and regulations that may affect cost, progress, and performance of work.
- D. To study and carefully correlate Bidder's knowledge and observations with the Contract Documents and such other related data; and
- E. To promptly notify ENGINEER of all conflicts, errors, ambiguities, or discrepancies which Bidder has discovered in or between the Contract Documents and such other related documents.

#### 4.02 Underground Facilities

- A. Information and data shown or indicated in the Bidding Documents with respect to existing Underground Facilities at or contiguous to the Project Site is based upon information and data furnished to OWNER and ENGINEER by owners of such Underground Facilities or others, and OWNER and ENGINEER do not assume responsibility for the accuracy or completeness thereof unless it is expressly provided otherwise in the Supplementary Conditions.

#### 4.03 Subsurface and Physical Conditions

- A. Reference is made to the Supplementary Conditions for the identification of:
  - 1. Those reports of explorations and tests of subsurface conditions at or contiguous to the Project Site that Engineer has used in preparing the Bidding Documents.
  - 2. Those drawings of physical conditions in or relating to existing surface and subsurface structures at or contiguous to the Project Site (except Underground Facilities) and Engineer has used in preparing the Bidding Documents.
- B. Those reports and drawings are not part of the Contract Documents. Bidder is responsible for any interpretation or conclusion drawn from any such data, interpretations, opinions, or information.
- C. Before submitting a Bid, each Bidder will be responsible to obtain such additional or supplementary examinations, investigations, explorations, tests, studies and data concerning (surface, subsurface, and Underground Facilities) at or contiguous to the site or otherwise, which may affect cost, progress, performance or furnishing of Work or which relate to any aspect of the means, methods, techniques, sequences or procedures of construction to be employed by Bidder and safety precautions and programs incident thereto as Bidder deems necessary to determine its Bid for performing and furnishing the Work in accordance with the time, price, and other terms and conditions of the Contract Documents.
- D. On request, OWNER will provide each Bidder access to the site to conduct such examinations, investigations, explorations, tests, and studies as each Bidder deems necessary for submission of a Bid. Bidder shall fill all holes and clean up and restore the site to its former conditions upon completion of such explorations, investigations, tests, and studies. Bidder shall obtain permission from the OWNER and property owner prior to entering upon land to make explorations, investigations, and tests.

- 4.04 The submission of a Bid will constitute an incontrovertible representation by Bidder that Bidder has complied with every requirement of this Article 4, that without exception the Bid is premised upon performing and furnishing the Work required by the Contract Documents and applying the



specific means, methods, techniques, sequences or procedures of construction (if any) that may be shown or indicated or expressly required by the Contract Documents, that Bidder has given ENGINEER written notice of all conflicts, errors, ambiguities, and discrepancies that Bidder has discovered in the Contract Documents and written resolutions thereof by ENGINEER is acceptable to Bidder, and that the Contract Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performing and furnishing the Work.

- 4.05 The provisions of Article 4 do not apply to Asbestos, Polychlorinated biphenyls (PCB's), Petroleum, Hazardous Waste or Radioactive Material covered by the General Conditions.

#### **ARTICLE 5. AVAILABILITY OF LANDS FOR WORK**

- 5.01 The lands upon which Work is to be performed, right-of-way and easements for access thereto and other lands designated for use by CONTRACTOR in performing the Work are identified in the Contract Documents. All additional lands and access thereto required for temporary construction facilities, construction equipment, or storage of materials and equipment to be incorporated in the Work are to be obtained and paid for by CONTRACTOR. Easements for permanent structures or permanent changes in existing facilities are to be obtained and paid for by OWNER unless otherwise provided in the Contract Documents.

#### **ARTICLE 6. INTERPRETATIONS AND ADDENDA**

- 6.01 All questions about the meaning or intent of the Contract Documents are to be direct to the ENGINEER. Interpretations or clarifications considered necessary by ENGINEER in response to such questions will be issued by Addenda mailed or delivered to all parties recorded by Engineer as having received the Bidding Documents. Questions received less than five (5) days prior to the date for opening of Bids may not be answered. Only questions answered by formal written Addenda will be binding. Oral and other interpretations or clarifications will be without legal effect.
- 6.02 Addenda may also be issued to modify the Bidding Documents as deemed advisable by OWNER or ENGINEER.
- 6.03 Each Bidder shall ascertain prior to submitting a Bid that Bidder has received all Addenda issued, and each Bidder shall acknowledge receipt on Bid Form.

#### **ARTICLE 7. BID SECURITY**

- 7.01 Each Bid must be accompanied by Bid Security made payable to OWNER in amount of 5% of the Bidder's maximum Bid price and in the form of a Certified Check, Cashier's Check, Money Order or a Bid Bond (on form attached, if form is prescribed) issued by a surety meeting the requirements of the General Conditions.
- 7.02 The Bid security of the Successful Bidder will be retained until such Bidder has executed the Agreement, furnished the required contract security, and met the other conditions of the Notice of Award, whereupon the Bid security will be returned. If the Successful Bidder fails to execute and deliver the Agreement and furnish the required contract security within 15 days after the Notice of Award, OWNER may annul the Notice of Award and the Bid security of that Bidder will be forfeited. The Bid security of other Bidders whom OWNER believes to have a reasonable chance of receiving the award may be retained by OWNER until the 7<sup>th</sup> day after the Effective Date of the Agreement, whereupon the Bid Security furnished by such Bidders will be returned. Bid security of the other Bidders who furnished certified checks will have checks returned within 7 days after the Bid opening. Bond Forms will be returned upon request.

## **ARTICLE 8. CONTRACT TIMES**

8.01 The number of days within which, or the dates by which, the Work is to be substantially completed and also completed and ready for final payment (the term "Contract Times" is defined in Paragraph 1.01 of the General Conditions) are set forth in the Agreement.

## **ARTICLE 9. LIQUIDATED DAMAGES**

9.01 Provisions for liquidated damages, if any, are set forth in the Agreement.

## **ARTICLE 10. SUBSTITUTES AND/OR "OR EQUAL" ITEMS**

10.01 Materials and equipment described in the Contract Documents by using the name of a proprietary item or name of a particular supplier is intended to establish type, function, and quality required and, unless followed by the term "or equal", also establishes the OWNER's established standard of such material or equipment and no substitution is allowed.

10.02 The CONTRACTOR may furnish alternate materials in place of those specified in the following Special Provisions where "or equal" is stated and when the following provisions have been complied with.

"If the CONTRACTOR wishes to substitute an alternate material as an "equal" to the material specified, he shall first submit a written detailed description of such to the ENGINEER for review and approval / disapproval. The CONTRACTOR shall not install any alternate materials prior to receiving written approval for their use. Only those materials listed in these Special Provisions or approved as alternates may be used on this project."

10.03 Application for acceptance of substitutes and "or equal" items will not be considered by ENGINEER until after the Effective Date of the Agreement. The procedures for submission of any such application by CONTRACTOR and consideration by ENGINEER is set forth in the General Conditions and may be supplemented in the Supplementary Conditions or General Requirements.

## **ARTICLE 11. BID FORM**

11.01 Only the Bid Form included with the Bidding Documents shall be used; additional copies may be obtained from the Issuing Office.

11.02 All blanks on the Bid Form shall be completed in ink or typewriter.

11.03 The Bidder, when signing the Bid(s) shall meet the following requirements:

A. The full name, telephone number, and business address of each Bidder for communications regarding Bid must be entered on the Bid submitted. The Bid shall be signed in the space provided therefore by written signature of the person or persons properly authorized to sign it. All names must be typed or printed below the signature.

11.04 The Bid submitted by an individual shall be signed by the Bidder or by an authorized agent.

11.05 Bids by partnership must be executed in the partnership name and signed by a partner, whose title must appear under the signature and the official address of the partnership must be shown below the signature. If this is a limited liability partnership, such status must be indicated. Such LLP must be registered in the State of Wisconsin before a Contract to do Work embraced in the Bid can be signed.

- 11.06 Bids by limited liability companies must be executed in the limited liability company name by the manager if manager-managed or, if member managed, by any member, but in either case an Affidavit of Organization and Authority must be attached as proof of that person's authority to bind the LLC. The limited liability company address and state of organization and registration shall be shown below the signature. Such LLC must be registered in the State of Wisconsin before a Contract to do Work embraced in the Bid can be signed.
- 11.07 Bids by corporation must be executed in the corporate name by the president or vice-president (or other corporate officer accompanied by evidence of authority to sign). The corporate address and state of incorporation shall be shown below the signature. Such corporation must be licensed to do business in the State of Wisconsin before a Contract to do the Work embraced in the Bid can be signed.
- 11.08 Bids which are signed by an attorney-in-fact for individuals, firms, partnerships or joint ventures shall have attached thereto a power-of-attorney evidencing authority to sign the Bid.
- 11.09 The Bid shall contain an acknowledgment of receipt of Addenda, the numbers and dates of which shall be filled in on the Bid Form.
- 11.10 The Bid shall include a list of Subcontractors and Suppliers that will be used to complete the Work.

#### **ARTICLE 12. SUBMISSION OF BIDS**

- 12.01 Bids shall be submitted at the time and place indicated in the Official Notice to Bidders and shall be enclosed in an opaque sealed envelope, marked with the Project title, name and address of the Bidder and accompanied by the Bid Security and other required documents. If the Bid is sent through the mail or other delivery system the sealed envelope shall be enclosed in a separate envelope with the notation "BID ENCLOSED" on the face of it.
- 12.02 Bids received after the official Bid closure time will be returned to the Bidder unopened.

#### **ARTICLE 13. MODIFICATION AND WITHDRAWAL OF BID**

- 13.01 Bids may be withdrawn prior to opening the Bids upon written request of the Bidder, or the personal appearance of the Bidder or Bidder's designated representative.

#### **ARTICLE 14. OPENING OF BIDS**

- 14.01 Bids will be opened and, unless obviously non-responsive, read aloud publicly at the place where Bids are to be submitted. An abstract of the amounts of the base Bids and major alternates, if any, will be made available to Bidders after opening of Bids.

#### **ARTICLE 15. AWARD OF CONTRACT**

- 15.01 OWNER, reserves the right to reject any and all Bids, including without limitation the right to reject any or all nonconforming, nonresponsive, unbalanced or conditional Bids and to reject the Bid of any Bidder if OWNER believes that it would not be in the best interest of the Project to make an award to that Bidder, whether because the Bid is not responsive or the Bidder is unqualified or of doubtful financial ability or fails to meet any other pertinent standard or criteria established by OWNER.

- 15.02 OWNER also reserves the right to waive all informalities not involving price, time or changes in the Work. Discrepancies between the multiplication of units of Work and unit prices will be resolved in favor of the unit prices. Discrepancies between the indicated sum of any column of figures and the correct sum thereof will be resolved in favor of the correct sum. Discrepancies between words and figures will be resolved in favor of the words.
- 15.03 In evaluating Bids, OWNER will consider the qualifications of Bidders, whether or not Bids comply with the prescribed requirements, and such alternates, unit prices, supplemental prices and other data as may be requested in the Bid Form or prior to the Notice of Award.
- 15.04 OWNER may consider the qualifications and experience of Subcontractors, Suppliers, and other persons and organizations proposed for those portions of Work as to which the identity of Subcontractors, Suppliers, and other persons and organizations must be submitted as provided in the Supplementary Conditions.
- 15.05 OWNER may conduct such investigations as OWNER deems necessary to assist in the evaluation of any Bid and to establish the responsibility, qualifications, and financial ability of the Bidders, proposed Subcontractors, Suppliers and other persons and organizations to perform and furnish the Work in accordance with the Contract Documents to OWNER'S satisfaction with the prescribed time.
- 15.06 OWNER shall have the right to reject any unit prices for additions to or deductions from the Work as given in the Bid, if the prices are considered excessive or unreasonable, or to accept any unit prices which may be considered fair and reasonable.
- 15.07 OWNER shall have the right to accept alternates in any order or combination or not accept any, unless specifically otherwise provided.
- 15.08 A Bid which does not contain a unit price which is both adequate and reasonable for each item named in the Bid may be considered irregular and subject to rejection.
- 15.09 If the contract is to be awarded, it will be awarded to the lowest responsive, responsible Bidder.
- 15.10 OWNER is prohibited from knowingly soliciting Bids from, negotiating with or awarding contracts to, and approving or allowing subcontracts with a debarred contractor. If a Bidder or proposed subcontractor is listed on the consolidated list of debarred contractors compiled by Department of Workforce Development in accordance with Wisconsin Administrative Code s. DWD 294.03, it may not be awarded the contract or be allowed to participate as a subcontractor, except as otherwise provided in Wisconsin Administrative Code s. DWD 294.05.

## **ARTICLE 16. CONTRACT SECURITY AND INSURANCE**

- 16.01 Bonds and insurance as stated in the General Conditions, as may be modified by the Supplementary Conditions, sets forth OWNER'S requirements as to Performance and Payment Bonds and Insurance. When the successful Bidder delivers the executed Agreement to ENGINEER, it shall be accompanied by such bonds.

## **ARTICLE 17. SIGNING OF AGREEMENT**

- 17.01 When OWNER gives a Notice of Award to Successful Bidder, it will be accompanied by the required number of unsigned counterparts of the Agreement with all other written Contract Documents attached. Within 15 days thereafter, CONTRACTOR shall sign and deliver the required number of counterparts of the Agreement and attached documents to OWNER with the required

bonds and certificates or policies of insurance as required by the Supplementary Conditions. Within 15 days thereafter OWNER will deliver one fully signed counterpart to CONTRACTOR.

#### **ARTICLE 18. WAGE RATES**

- 18.01 Each CONTRACTOR or Subcontractor performing Work on this Project shall comply in all respects with all laws governing the employment of labor, Social Security, and Unemployment Insurance of both the state and federal government. There shall be paid each employee engaged in Work under this Contract at the site of the Project, not less than the minimum wage for the classifications of labor employed. CONTRACTOR shall make their own investigation locally and satisfy themselves as to the necessary wage rates for local labor and requirements.
- 18.02 Not less than the prevailing wage rate on Public Work as established by the State of Wisconsin, Department of Workforce Development shall be paid. Bidder is required to submit with the Bid a Disclosure of Ownership form in accordance with the instructions contained on the form.
- 18.03 The wage rates are on file at the office of OWNER and /or incorporated in the Bidding Documents.
- 18.04 The wage rates will be incorporated into and made part of the Contract Documents when the Contract Documents are prepared for execution.

#### **ARTICLE 19. SALES TAX**

- 19.01 Bidder shall investigate the statutory requirements for payment of sales taxes and if required shall include the tax in the Bid.
- 19.02 If investigation indicates tax exempt status, CONTRACTOR shall forward this information to their Suppliers in order that the sale of such materials and equipment be properly recorded as a tax-exempt sale.
- 19.03 Federal excise tax does not apply to materials or services purchased by OWNER. Should the federal excise tax be applicable to this transaction, OWNER will furnish a federal exemption certificate. The Bid prices quoted herein by Bidder shall include all other direct or indirect federal, state, and local taxes which apply.
- 19.04 CONTRACTOR shall forward this information to their Suppliers in order that the sale of such materials and equipment be properly recorded as a tax-exempt sale.

#### **ARTICLE 20. PRE-BID CONFERENCE**

- 20.01 No Pre-Bid Conference will be held for this Project.

END OF INSTRUCTIONS TO BIDDERS

## PROFESSIONAL CERTIFICATION

I hereby certify that this plan, specification, and design was prepared by me or under my direct supervision and that I am a duly Licensed Engineer under the laws of the State of Wisconsin.



---

Mustafa Z. Emir, PhD, PE  
Reg. No. E-34786  
Date: October 5, 2012

---

### Project Designer Contact Information:

Mustafa Z. Emir, PhD, PE  
414-315-1933  
[mustafa.emir@clarkdietz.com](mailto:mustafa.emir@clarkdietz.com)

Clark Dietz, Inc.  
759 North Milwaukee Street, Suite 624  
Milwaukee, WI 53202

END OF PROFESSIONAL CERTIFICATION

## **WAGE RATE REQUIREMENTS**

### **1. GENERAL**

- A. Contractor and Subcontractors shall pay wages not less than the prevailing hourly wage rate for each classification of employee engaged on the Work as determined by the State of Wisconsin, Department of Workforce Development.
- B. Work items defined as "Minor Services or Maintenance Work" in Wisconsin State Statute 66.0903 will not be subject to prevailing wage rates.
- C. The Prevailing wage law does not prohibit payment of more than the prevailing rate of wages nor does it limit the hours of Work which may be performed by any employee in any particular period of time.
- D. A copy of the wage determination shall be posted by Contractor in a prominent place at the site of the Work where it can be easily seen by the employees.
- E. Contractor shall file certified payroll records with the Department of Workforce Development (DWD) on a monthly basis in a format that meets DWD reporting requirements. Certified payroll reports must be filed with the DWD by the end of the first week following the month in which the Work was conducted.
- F. If DWD finds a Contractor violating the prevailing wage rate law, DWD will assess liquidated damages of 100% of the wages owed to employees.
- G. Contractor shall file with Owner "Prime Contractor Affidavit of Compliance with Prevailing Wage Rate Determination" and "Agent or Subcontractor Affidavit of Compliance with Prevailing Wage Rate Determination". Forms shall be completed and submitted prior to final payment and acceptance of project.

### **2. WAGE DETERMINATIONS**

- A. The following wage rate schedules are the prevailing rate of hourly wage applicable to this Contract. The wage rate schedules cannot be altered during the time the Contract is in force.

END OF WAGE RATE REQUIREMENTS

**BID FORM**

**PROJECT IDENTIFICATION: 2012 Pleasant Prairie Sanitary Sewer Rehabilitation Program**

THIS BID IS SUBMITTED TO:

**Village of Pleasant Prairie  
Office of the Village Clerk  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158**

(hereinafter called OWNER)

1. The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with OWNER in form included in the Contract Documents to perform and furnish all Work as specified or indicated in the Contract Documents for the Bid Price and within the Bid Times indicated in this Bid and in accordance with other terms and conditions of the Bidding Documents.
2. Bidder accepts all of the terms and conditions of the Official Notice to Bidders and Instructions to Bidders, including without limitation those dealing with the disposition of Bid Security. The Bid will remain subject to acceptance for the Bid withdrawal time period specified in the Official Notice to Bidders after the day of Bid opening. Bidder will sign and deliver the required number of counterparts of the Agreement with the Bonds, evidence of insurance coverage and other documents required by the Bidding Requirements within 15-days after the date of OWNER'S Notice of Award.
3. In submitting the Bid, Bidder represents, as more fully set forth in the Agreement, that:
  - a. Bidder has examined and carefully studied the Bidding Documents and the following addenda receipt of all which is hereby acknowledged:

<u>Addendum Date</u>	<u>Addendum Number</u>
_____	_____
_____	_____

- b. Bidder has visited the site and become familiar with and satisfied itself as to the general, local, and site conditions that may affect cost, progress, performance, and furnishing of the Work;
- c. Bidder is familiar with and has satisfied itself as to all federal, state, and local laws and Regulations that may affect cost, progress, performance, and furnishing of the Work.
- d. Bidder has carefully studied all reports of exploration and tests of subsurface conditions at or contiguous to the site and all drawings of physical conditions in or relating to existing surface or subsurface structures at or contiguous to the site and all drawings of physical conditions in or relating to existing surface or subsurface structures at or contiguous to the site (except Underground Facilities) which have been identified in the Supplementary Conditions as provided in Paragraph 4.02.A of the General Conditions. Bidder accepts the determination set forth in Paragraph SC-4.02 of the Supplementary Conditions of the extent of the "technical



data” contained in such reports and drawings upon which Bidder is entitled to rely as provided in Paragraph 4.02 of the General Conditions. Bidder accepts and acknowledges that such reports and drawings are not Contract Documents and may not be complete for Bidder’s purposes. Bidder acknowledges that OWNER and ENGINEER do not assume responsibility for the accuracy or completeness of information and data shown or indicated in the Bidding Documents with respect to Underground Facilities at or contiguous to the site. Bidder has obtained and carefully studied (or assumes responsibility for having done so) all such additional or supplementary examinations, investigations, explorations, tests, studies and data concerning conditions (surface, subsurface, and Underground Facilities) at or contiguous to the site or otherwise which may affect cost, progress, performance or furnishing of Work or which relate to any aspect of the means, methods, techniques, sequences and procedures of construction to be employed by Bidder and safety precautions and programs incident thereto. Bidder does not consider that any additional examinations, investigations, explorations, tests, studies or data are necessary for the determination of this Bid for performance and furnishing of the Work in accordance with the time, price, and other terms and conditions of the Contract Documents.

- e. Bidder is aware of the general nature of Work to be performed by OWNER and others at the site that relates to Work for which this Bid is submitted as indicated in the Contract Documents.
- f. Bidder has correlated the information known to Bidder from information and observations obtained from visits to the site, reports, and drawings identified in the Contract Documents and all additional examinations, investigations, explorations, tests, studies, and data with the Contract Documents.
- g. Bidder has given ENGINEER written notice of all conflicts, errors, ambiguities or discrepancies that Bidder has discovered in the Contract Documents and written resolution thereof by ENGINEER is acceptable to Bidder, and the Contract Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performing and furnishing the Work for which the Bid is submitted.
- h. This Bid is genuine and not made in the interest or on behalf of any undisclosed person, firm or corporation and is not submitted in conformity with any agreement or rules of any group, association, organization or corporation; Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham bid; Bidder has not solicited or induced any person, firm or corporation to refrain from bidding; and Bidder has not sought by collusion to obtain for itself any advantage over any other Bidder or over OWNER.

4. Bidder will complete the Work in accordance with the Bidding Documents for the following price(s):

#### **UNIT PRICE SCHEDULE**

As provided in Paragraph 11.03 of the General Conditions estimated quantities are not guaranteed, and determinations of actual quantities and classification are to be made by ENGINEER as provided in Paragraph 9.07 of the General Conditions. Bidder has computed unit prices as provided in Paragraph 11.03C of the General Conditions.

Cooper Road from 76th Street to 79th Street					
ITEM NUMBER	ITEM DESCRIPTION	UNIT	QTY	UNIT PRICE	ITEM COST
1	Mobilization	LS	1		
2	Sewer Rehabilitation with CIPP, 10"	LF	798		
3	Sewer Rehabilitation with CIPP, 15"	LF	941		
4	Interim Conveyance	LS	1		
5	Open Service Connection in CIPP	EA	24		
6	Sewer Cleaning and Root Removal	LF	1,739		
7	Manhole Rehabilitation (assume 8 manholes at 9 ft deep)	VF	72		
8	Post Construction CCTV Inspection	LF	1,739		
<b>TOTAL BASE BID</b>					<b>\$</b>

5. Bidder agrees that the Work will be substantially completed and completed and ready for final payment in accordance in accordance with Paragraph 14.07 of the General Conditions on or before the dates or within the number of calendar days indicated in the Agreement.

Bidder accepts the provisions of the Agreement as to liquidated damages in the event of failure to complete the Work within the times specified in the Agreement.

6. The following documents are attached to and made a condition of this Bid:

a. Required Bid Security in the form of a \_\_\_\_\_.  
(Certified Check, Bid Bond, Cashier's Check or Money Order)

In the amount of \_\_\_\_\_.

b. A tabulation of Subcontractors, Suppliers, and other persons and organizations required to be identified in this Bid.

c. Disclosure of Ownership from (attached)

7. The terms used in the Bid which are defined in the General Conditions of the Construction Contract included as part of the Contract Documents have the meanings assigned to them in the General Conditions and terms defined in the Instruction to Bidders are used with the same meaning in this Bid.

8. Bid Submitted on \_\_\_\_\_, 20\_\_\_\_.

I HEREBY CERTIFY That a Bidder I/we have examined and carefully prepared this Bid from the Bidding Documents and have checked the same in detail before submitting this Bid, and that all statements herein are made on behalf of:

***An Individual:***

Name (typed or printed): \_\_\_\_\_

Doing business as \_\_\_\_\_ (firm name)

State of Registration: \_\_\_\_\_

Business Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone No.: \_\_\_\_\_

***A Partnership:***

By: \_\_\_\_\_ (firm name)

State of Registration: \_\_\_\_\_

By (typed or printed): \_\_\_\_\_ (General Partner)

Business Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone No.: \_\_\_\_\_

**A Corporation:**

By: \_\_\_\_\_(Corporation Name)

State of Incorporation: \_\_\_\_\_

By (typed or printed): \_\_\_\_\_(Authorized Person to Sign)

Title: \_\_\_\_\_

Attest (Signature): \_\_\_\_\_(Corporate Seal)  
(Corporate Secretary)

Business Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone No.: \_\_\_\_\_

**A Joint Venture:**

Joint Venture Name: \_\_\_\_\_(SEAL)

By (typed or printed): \_\_\_\_\_(Name)

\_\_\_\_\_ (Address)

By (typed or printed): \_\_\_\_\_(Name)

\_\_\_\_\_ (Address)

State of Registration: \_\_\_\_\_

Phone number and address for receipt of official communication:

\_\_\_\_\_

\_\_\_\_\_

Each joint venture must sign. The manner of signing for each individual, partnership, and corporation that is a party to the joint venture should be in the manner indicated above.

***A Limited Liability Company:***

By: \_\_\_\_\_ (Firm Name)

State of Registration: \_\_\_\_\_

By (typed or printed): \_\_\_\_\_ (Authorized Person to Sign)

Title: \_\_\_\_\_

Business Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone No.: \_\_\_\_\_

Bidders shall not add any conditions or qualifying statements to this Bid as otherwise the Bid may be declared irregular as being not responsive to the advertisement. BIDDERS SHALL USE THIS BID FORM IN SUBMITTING THEIR BIDS.

LIST OF SUBCONTRACTORS AND SUPPLIERS

If awarded this Contract, the Bidder declares he intends to employ the following Subcontractors and Suppliers for the Class of Work as noted below:

NAME OF SUBCONTRACTOR/SUPPLIER

CLASS OF WORK

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

The above is a full and complete list of all the proposed Subcontractors and Suppliers and the Class of Work to be performed by each, which list shall not be altered, without the written consent of the Owner.

END OF BID FORM

**BID BOND**

**BIDDER** (Name and Address):

\_\_\_\_\_

**SURETY** (Name and Address of Principal Place of Business):

\_\_\_\_\_

**OWNER:** Village of Pleasant Prairie, 9915 39<sup>th</sup> Avenue, Pleasant Prairie, WI 53158

**BID**

**BID DUE DATE:** NOVEMBER 13, 2012

**PROJECT:** 2012 Pleasant Prairie Sanitary Sewer Rehabilitation Program, which consists of cured in-place pipe liner rehabilitation of approximately 800 feet of 10 inch diameter sanitary sewer, approximately 950 feet of 15 inch diameter sanitary sewer, and the rehabilitation of approximately 75 vertical feet of in eight 48 inch diameter sanitary sewer manholes.

**BOND**

**BOND NUMBER:** \_\_\_\_\_

**DATE** (Not later than Bid due date): \_\_\_\_\_

**PENAL SUM:** \_\_\_\_\_ (Words) \_\_\_\_\_ (Figures)

IN WITNESS WHEREOF, Surety and Bidder, intending to be legally bound hereby, subject to the terms printed on the reverse side hereof, do each cause this Bid Bond to be duly executed on its behalf by its authorized officer, agent, or representative.

**BIDDER**

**SURETY**

\_\_\_\_\_(Seal)  
Bidder's Name and Corporate Seal

\_\_\_\_\_(Seal)  
Surety's Name and Corporate Seal

By: \_\_\_\_\_  
Signature and Title

By: \_\_\_\_\_  
Signature and Title  
(Attach Power of Attorney)

Attest: \_\_\_\_\_  
Signature and Title

Attest: \_\_\_\_\_  
Signature and Title

Note: (1) Above addresses are to be used for giving required notice.  
(2) Any singular reference to Bidder, Surety, OWNER or other party shall be considered plural where applicable.

1. Bidder and Surety, jointly and severally, bind themselves, their heirs, executors, administrators, successors and assigns to pay to OWNER upon default of Bidder the penal sum set forth on the face of this Bond.
2. Default of Bidder shall occur upon the failure of Bidder to deliver within the time required by the Bidding Documents (or any extension thereof agreed to in writing by OWNER) the executed Agreement required by the Bidding Documents and any performance and payment Bonds required by the Bidding Documents.
3. This obligation shall be null and void if:
  - 3.1. OWNER accepts Bidder's Bid and Bidder delivers within the time required by the Bidding Documents (or any extension thereof agreed to in writing by OWNER) the executed Agreement required by the Bidding Documents and any performance and payment Bonds required by the Bidding Documents, or
  - 3.2. All Bids are rejected by OWNER, or
  - 3.3. OWNER fails to issue a Notice of Award to Bidder within the time specified in the Bidding Documents (or any extension thereof agreed to in writing by Bidder and, if applicable, consented to by Surety when required by paragraph 5 hereof).
4. Payment under this Bond will be due and payable upon default by Bidder and within 30 calendar days after receipt by Bidder and Surety of written notice of default from OWNER, which notice will be given with reasonable promptness, identifying this Bond and the Project and including a statement of the amount due.
5. Surety waives notice of and any and all defenses based on or arising out of any time extension to issue Notice of Award agreed to in writing by OWNER and Bidder, provided that the total time for issuing Notice of Award including extensions shall not in the aggregate exceed 120 days from Bid due date without Surety's written consent.
6. No suit or action shall be commenced under this Bond prior to 30 calendar days after the notice of default required in paragraph 4 above is received by Bidder and Surety and in no case later than one year after Bid due date.
7. Any suit or action under this Bond shall be commenced only in a court of competent jurisdiction located in the state in which the Project is located.
8. Notices required hereunder shall be in writing and sent to Bidder and Surety at their respective addresses shown on the face of this Bond. Such notices may be sent by personal delivery, commercial courier or by United States Registered or Certified Mail, return receipt requested, postage pre-paid, and shall be deemed to be effective upon receipt by the party concerned.
9. Surety shall cause to be attached to this Bond a current and effective Power or Attorney evidencing the authority of the officer, agent or representative who executed this Bond on behalf of Surety to execute, seal and deliver such Bond and bind the Surety thereby.
10. This Bond is intended to conform to all applicable statutory requirements. Any applicable requirement of any applicable statute that has been omitted from this Bond shall be deemed to be included herein as if set forth at length. If any provision of this Bond conflicts with any applicable statute, then the provision of said statute shall govern and the remainder of this Bond that is not in conflict therewith shall continue in full force and effect.
11. The term "Bid" as used herein includes a Bid, offer or proposal as applicable.

END OF BID BOND



**DIVISION 01**  
**GENERAL REQUIREMENTS**

## SECTION 01 060

### REGULATORY REQUIREMENTS

#### 1.01 PERMITS

- A. The CONTRACTOR shall procure all necessary permits and licenses, pay all charges and fees, and give all notices necessary and incidental to the due and lawful prosecution of the Work.
- B. All work requiring permits or licenses shall abide by the governing permit/license specifications where they exceed the requirements stated in these specifications.

#### 1.02 COMPLIANCE WITH LAWS

- A. The CONTRACTOR, his subcontractors, agents and employees, shall at all times, observe and comply with all federal and state laws, local laws, ordinances, codes and regulation that in any manner affect the conduct of the Work and all such orders or decrees as exist at the present and that may be enacted later, by bodies or tribunals having jurisdiction or authority over the Work. He shall protect and hold harmless the OWNER and all of its representatives, the ENGINEER and all his representatives, against any claim or liability arising from the violation of any law, ordinance, code, regulation or order.
- B. In particular, the CONTRACTOR and his subcontractors shall comply with all local ordinances regulating noise levels, dust, mud, roadway load limits and provide barricades/warning devices required at the site.
- C. In particular, the CONTRACTOR shall comply with all federal and state laws concerning OSHA, and the CONTRACTOR shall bear all responsibilities of "contractor" as OSHA defines it despite any incidental on-site monitoring of job progress or any construction inspection done by the OWNER or its representatives.

END OF SECTION 01 060

## SECTION 01 100

### SUMMARY

#### PART 1 - GENERAL

##### 1.01 SECTION INCLUDES

Basic description of the Project and work restrictions.

##### 1.02 SUMMARY OF WORK

- A. Project Name: 2012 Sanitary Sewer Rehabilitation, Pleasant Prairie, Kenosha County, Wisconsin
- B. Description of Work: Sanitary Sewer Lining and Manhole Rehabilitation

##### 1.03 COMPLETION DATES

Final Completion: Set forth in the Agreement, and Supplementary Conditions.

##### 1.04 LIQUIDATED DAMAGES

Provisions for liquidated damages, if any, are set forth in the Agreement, and in the Supplementary Conditions.

##### 1.05 WORK RESTRICTIONS

Use of Project Site:

- A. Location of construction facilities, staging areas, product stockpiles, material storage, and temporary construction shall be removed upon completion of the Work.
- B. Contractor will be responsible for damages to adjacent roadways.
- C. Keep existing driveways and entrances clear and available to the public and to the Owner.
- D. If additional space is needed, obtain and pay for such space off Project Site.
- E. All operations shall be conducted only between the hours of eight a.m. and five p.m. No operations shall be conducted on Sundays or holidays.

#### PART 2 - PRODUCTS

Not Used

#### PART 3 - EXECUTION

##### 3.01 MEASUREMENT AND PAYMENT

- A. All work and costs of this Section for the BASE BID shall be incidental to the Project and included in the TOTAL BASE BID.

END OF SECTION 01 100

## SECTION 01 200

### PRICE AND PAYMENT PROCEDURES

#### PART 1 - GENERAL

##### 1.01 SECTION INCLUDES

Administrative and procedural requirements for allowances, alternates, pricing of work, and request for payment procedures.

##### 1.02 BID UNIT PRICES

- A. Provide access and assist ENGINEER in determining actual quantities of Bid Unit Price work.
- B. Provide documentation to substantiate Bid Unit Price work.
- C. If the CONTRACTOR delivers and places more of any material that is paid for on a Bid Unit Price basis than is required to perform the work and thereby causes the materials to be wasted, the quantity wasted will be deducted from the final measurement for that Bid Item.

##### 1.03 PAYMENT PROCEDURES

- A. See the General Conditions and Supplementary Conditions for payment procedures.
- B. Attach the following supporting documentation, in addition to the requirements of General Conditions and Supplementary Conditions:

Documentation to substantiate Bid Unit Price work

#### PART 2 - PRODUCTS

Not Used

#### PART 3 - EXECUTION

##### 3.01 MEASUREMENT AND PAYMENT

- A. All work and costs of this Section for the BASE BID shall be incidental to the Project and included in the TOTAL BASE BID.

END OF SECTION 01 200

## SECTION 01310

### PROJECT MANAGEMENT AND COORDINATION

#### PART 1 - GENERAL

##### 1.01 SECTION INCLUDES

General requirements for overall Project coordination.

##### 1.02 UTILITIES

Notify Digger's Hotline before starting construction in a given area requesting utility locates in the Project Site.

##### 1.03 COOPERATION AND COORDINATION WITH OTHER CONTRACTORS

The CONTRACTOR shall work in harmony with other Contractors or with utilities, municipality, or OWNER'S forces engaged in collateral work. In case of dispute, the decision of the ENGINEER shall be final and binding upon the parties affected.

##### 1.04 PERMITS

Apply for, obtain, and comply with other permits, licenses, and approvals that may be required for the Project.

##### 1.05 NOTICE TO PROCEED

- A. CONTRACTOR shall notify all appropriate governmental and regulatory units, including emergency services departments, at least 3 working days before commencing operations of intent to start work.
- B. CONTRACTOR shall notify the OWNER, the ENGINEER, Municipality, and all utilities and/or underground facilities locators, whose property may be affected by the CONTRACTOR'S operations, at least 3 working days before commencing operations of intent to start work.
- C. Continuing notice shall be given to the OWNER and Inspector each time construction is resumed after shutdown.

##### 1.06 SURVEYING AND CONSTRUCTION OBSERVATION

- A. ENGINEER will furnish a Resident Project Representative consistent with Paragraph 9.10 of the Supplementary Conditions.
- B. Surveying
  - 1. The CONTRACTOR will provide survey as necessary to accomplish the Work.
  - 2. The CONTRACTOR shall check the accuracy of the survey and shall be responsible for the protection and preservation of such stakes.
  - 3. The CONTRACTOR shall be responsible for all lines, elevations, and measurements of all work executed under the contract. CONTRACTOR must exercise proper precaution to verify figures before laying out work and will be held responsible for any error resulting from failure to exercise such precaution.

C. Construction Observation

All services rendered by the OWNER'S ENGINEER will consist of professional opinions and recommendations in accordance with the generally accepted construction Engineering practices. Under no circumstances is it the intent of the site representative to directly control the physical activities of the CONTRACTOR or the CONTRACTOR'S workers accomplishment of work on this project. The purpose of the field representatives at the site is to provide monitoring of the CONTRACTOR'S work, and does not include any superintending, supervising, or direction of the actual work.

1.07 PROJECT MEETINGS

A. Administrative Requirements:

1. Project Superintendent or persons designated by the CONTRACTOR to attend and participate in the Project meetings shall have all required authority to commit the CONTRACTOR to solutions agreed upon in the Project meetings.
2. The ENGINEER will set the time, sites, and prepare the agenda for the meetings.
3. The ENGINEER will prepare meeting minutes and distribute to all participants. Participants are to notify ENGINEER of inaccuracies or discrepancies in the meeting minutes within 5 calendar days of receipt of the minutes.
4. The attendance and cooperation of subcontractors and suppliers may be required.

B. Preconstruction Conference:

1. Provisions for the Preconstruction Conference are set forth in the General Conditions and Supplementary Conditions.
2. Requirements for preconstruction submittals are set forth in the General Conditions and Supplementary Conditions. Submittal procedures shall be consistent with Section 01330 – Submittal Procedures.

C. Progress Meeting Procedures:

Schedule for construction progress meetings will be determined at the Preconstruction Conference. Progress meetings throughout the duration of the Project will be held to assess the progress of the Work, identify and discuss Project-related issues, and discuss near-term construction activities.

1.08 CONSTRUCTION SCHEDULING

Sequencing and Scheduling - See Section 01 330 – Submittals

1.09 SUBMITTALS

Shop Drawings: See Section 01 330 – Submittals.

PART 2 - PRODUCTS

Not Used

PART 3 - EXECUTION

3.01 MEASUREMENT AND PAYMENT

All work and costs of this Section shall be incidental to the Project and included in the TOTAL BASE BID.

END OF SECTION 01 310

## SECTION 01330

### SUBMITTAL PROCEDURES

#### PART 1 - GENERAL

##### 1.01 SECTION INCLUDES

General procedures and requirements for submittals during the course of construction.

##### 1.02 SEQUENCING AND SCHEDULING

- A. Schedule submittals consistent with the Contractor's schedule of shop drawings.
- B. Shop drawings, product data, samples, and administrative and closeout submittals presented for review and approval. Submittals to be presented to the Engineer (Clark Dietz, Inc.) and the Owner as required.

#### PART 2 - PRODUCTS

Not Used

#### PART 3 - EXECUTION

##### 3.01 CONSTRUCTION SCHEDULE

- A. Submit preliminary schedule and progress schedule consistent with the General Conditions.
- B. Prepare schedules on 11-inch x 17-inch sheets showing overall sequence of construction. Organize the schedule by work activity. Identify separate stages of each work activity.
  - 1. List Work items in chronological sequence. Show beginning and completion dates of each activity. Include all activities with an estimated duration of 3 days or longer.
  - 2. Format schedule as a horizontal bar chart. Provide separate bars for each activity or trade.
  - 3. Provide space for revisions and notations.
  - 4. Identify interrelations between activities.
- C. As Work progresses, revise, update, and resubmit schedule as requested by the ENGINEER. At a minimum, update schedule with each Application for Payment. Show all activities started or finished since previous schedule was submitted and show percentage of completion for each activity.

##### 3.02 EMERGENCY CONTACT LIST

Before any work at the Project Site is started, submit a typed list on 8½-inch x 11-inch paper outlining 24-hour on-call contacts for the Project. This list shall include the CONTRACTOR'S safety representative, key representatives from the CONTRACTOR, subcontractors, and suppliers. Include the following information for each contact.

Company name:  
Contact person(s):  
Mobile phone numbers:  
Email:

3.03 MATERIAL AND SAFETY DATA SHEETS

Furnish the Owner with current copies of Material Safety Data Sheets for all chemicals and products on Project Site.

3.04 WARRANTIES

Conform to the requirements of Section 01 786 – Warranties.

3.05 MEASUREMENT AND PAYMENT

- B. All work and costs of this Section for the BASE BID shall be incidental to the Project and included in the TOTAL BASE BID.
- C. All work and costs of this Section for ALTERNATE NO. 1 shall be incidental to the Project and included in the TOTAL BID for ALTERNATE NO. 1.
- D. All work and costs of this Section for ALTERNATE NO. 2 shall be incidental to the Project and included in the TOTAL BID ALTERNATE NO. 2.

END OF SECTION 01 330



## SECTION 01 400

### QUALITY REQUIREMENTS

#### PART 1 - GENERAL

##### 1.01 SECTION INCLUDES

- A. Information required for conformance to regulatory requirements.
- B. Quality assurance.
- C. Procedures to measure and report the quality and performance of the work.

##### 1.02 REFERENCE STANDARDS

- A. Whenever a product is specified in accordance with a Standard Specifications for Sewer and Water Construction in Wisconsin, an American National Standard Institute Specification, or other Association Standard, the CONTRACTOR shall present an affidavit from the manufacturer when requested by the ENGINEER or required in the Specifications, certifying that the product complies with the particular standard or specification. When requested by the ENGINEER or specified, support test data shall be submitted to substantiate compliance.
- B. Comply with all federal, state, and local codes and requirements.

##### 1.03 SUBMITTALS

- A. Before start of Work, submit testing laboratory name for various specified tests for approval by the ENGINEER.
- B. Submit copies of laboratory test results or analysis consistent with Section 01330 – Submittal Procedures.
- C. Manufacturer's certificates of quality control or performance.
- D. Test Results: Cite applicable contract requirements, tests, or analytical procedures used. Provide actual results and include a statement that the item tested or analyzed conforms or fails to conform to specified requirements. Conspicuously stamp the cover sheet for each report in large red letters "CONFORMS" or "DOES NOT CONFORM" to the specification requirements, whichever is applicable. Test results shall be signed by a testing laboratory representative authorized to sign certified test reports.

##### 1.04 TESTS AND INSPECTIONS

- A. Conform to the requirements of the General Conditions, except as modified herein.
- B. Notify the ENGINEER 48 hours before expected time for operations requiring tests and inspections.
- C. Provide incidental labor and facilities to obtain and handle samples at Project Site or source, transport samples to laboratory, and facilitate tests and inspections for storing and curing of test samples.

#### 1.05 LABORATORY REPORTS

- A. After each inspection and test, submit three (3) copies of Laboratory Report to the ENGINEER.
- B. Include: Date issued, Project Title and number, name of inspector, date and time of sampling or inspection, identification of product and Specifications Section, location in the Project, type of inspection or test, date of test, results of tests, and conformance with Contract Documents.

#### 1.06 LABORATORY RESPONSIBILITIES

- A. Test samples and perform field tests.
- B. Provide qualified personnel. Cooperate with the ENGINEER and the CONTRACTOR in performance of services.
- C. Ascertain compliance with the requirements of the Contract Documents.
- D. When requested by the ENGINEER, provide interpretation of test results.

#### 1.07 LIMITS ON TESTING LABORATORY AUTHORITY

- A. Laboratory may not release, revoke, alter, or enlarge on requirements of Contract Documents.
- B. Laboratory may not approve or accept any portion of the work.
- C. Laboratory may not assume any duties of the CONTRACTOR.
- D. Laboratory has no authority to stop the Work.

#### 1.08 ACCREDITED TESTING LABORATORIES

Acceptable accreditation programs are the National Institute of Standards and Technology (NIST), National Voluntary Laboratory Accreditation Program (NVLAP), the American Association of State Highway and Transportation Officials (AASHTO) program, and the American Association for Laboratory Accreditation, (A2LA) program. Furnish to the ENGINEER, a copy of the certificate of Accreditation, Scope of Accreditation and the latest directory of the accrediting organization for accredited laboratories. The scope of the laboratory's accreditation shall include the test methods required by the contract.

#### 1.09 RESPONSIBILITY

- A. The CONTRACTOR shall assume complete and sole responsibility for the quality of the Work. If changes or adjustments are recommended by the CONTRACTOR, they may be made only upon written approval from the ENGINEER.
- B. The CONTRACTOR shall assume full responsibility for the furnishing of uniform and satisfactory materials.
- C. The CONTRACTOR will be required to continually update on a daily basis and complete a set of as-built drawings on a set of construction plans. The field superintendent shall initial each deviation or revision and shall at completion of the project certify the accuracy

of the as-built drawings. These drawings shall be available for the OWNER'S and the ENGINEER'S use.

#### 1.10 AUTHORITY OF THE ENGINEER

- A. All work shall be done in compliance with the Contract Documents. The ENGINEER shall decide all questions regarding the quality and acceptability of materials furnished, work performed, workmanship, rate of progress of the Work, and interpretation of the plans and specifications. The ENGINEER shall decide all questions of acceptable fulfillment of the contract under the specifications.
- B. The ENGINEER'S failure to reject what is in his opinion to be substandard work or materials does not imply his acceptance of said work or materials. The OWNER may, at any subsequent time, recover damages for or require that the General Contractor replace substandard work or material regardless of his failure to reject said work or materials.

#### 1.11 AUTHORITY AND DUTIES OF INSPECTORS

- A. Inspectors employed by the ENGINEER shall be authorized to inspect all work done and all material furnished. Such inspection may extend to all or any part of the Work and to the preparation, fabrication, or manufacture of the material to be used. The inspector is not authorized to revoke, alter, or waive any requirements of the specifications, nor is he authorized to approve or accept any portion of the completed project. He shall call the Work or materials to conform to the specifications and contract, and shall have the authority to reject material. Any dispute between the Inspector and CONTRACTOR shall be referred to the ENGINEER.
- B. Any advice that the Inspector may give the CONTRACTOR shall in no way be construed as binding the OWNER in any way or releasing the CONTRACTOR from fulfilling any of the terms of the Contract.

#### 1.12 WORKMANSHIP

- A. All workmanship shall conform and comply with industry standards and to the best standard practice of the region except where more restrictive tolerances or specified requirements indicate more rigid standards or more precise workmanship. Unless otherwise specified, the specifications or recognized association of manufacturers and contractors or industrial manufacturers shall be used as guides for the standards of workmanship.
- B. All exposed items of work shall present a neat workman-like appearance and shall be as true to shape and alignment as possible to obtain with measuring or leveling instruments generally used in the respective type of work. Items of work shall be sound and fully protected against damage and premature deterioration. It is specifically understood, the CONTRACTOR agrees to abide by the decision of the ENGINEER and the OWNER.

#### 1.13 DEFECTIVE MATERIALS

All materials and workmanship not conforming to the requirements of the Contract Documents shall be considered as defective, and all such materials, whether in-place or not, shall be rejected and shall be removed from the Work by the CONTRACTOR at his expense. Upon failure on the part of the CONTRACTOR to comply with any order of the OWNER relative to the provisions of this article, the OWNER shall have the authority to remove and replace such defective material and to

deduct the cost of removal and replacement from any monies due or that may become due the CONTRACTOR.

1.14 PLANS AND SPECIFICATION TO BE AVAILABLE

The CONTRACTOR shall keep a legible copy of the plans, specification, and all permits at the site of the work at all times.

1.15 MANUFACTURER'S CERTIFICATES

If requested by the ENGINEER, submit manufacturer's certificate certifying that products meet or exceed specified requirements executed by responsible officer.

1.16 MANUFACTURER'S FIELD SERVICES

Provide qualified representative to observe field conditions; conditions of surfaces and installation; quality of workmanship; start-up of equipment; and test, adjust, and balance of equipment.

PART 2 - PRODUCTS

Not Used

PART 3 - EXECUTION

3.01 MEASUREMENT AND PAYMENT

A. All work and costs of this Section for the BASE BID shall be incidental to the Project and included in the TOTAL BASE BID.

END OF SECTION 01 400

## SECTION 01 500

### TEMPORARY FACILITIES AND CONTROLS

#### PART 1 - GENERAL

##### 1.01 SECTION INCLUDES

Temporary utilities and miscellaneous temporary facilities required during construction. The Work on this section shall be provided as it applies.

##### 1.02 REFERENCES

- A. As a minimum, the provisions of the state of Wisconsin, Department of Transportation *Standard Specifications for Highway and Structure Construction* - Latest Edition (WisDOT) and current supplements, and *Manual for Uniform Traffic Control Devices* shall be met. All traffic control procedures shall be subject to the approval of the ENGINEER.
- B. The latest local codes and ordinances.
- C. *Standard Specifications for Sewer and Water Construction in Wisconsin*, Latest Edition.

##### 1.03 SUBMITTALS

Submit Traffic Management and Control Plan consistent with Section 01330 – Submittal Procedures. Plan shall include the following information.

- 1. Haul and access routes
- 2. Traffic control measures
- 3. Permits or applications required by local authorities
- 4. Temporary facilities required

#### PART 2 - PRODUCTS

Not Used

#### PART 3 - EXECUTION

##### 3.01 MOBILIZATION

- A. Move personnel, equipment, materials, and all other items required to complete the Work at the Project Site.
- B. Temporarily hold or relocate utilities and any disturbed miscellaneous structures such as signs, power poles, guy wires, and mailboxes.

##### 3.02 SIGNS, MAILBOXES, ETC. REMOVAL, AND REPLACEMENT

- A. Remove, relocate, store carefully, and replace all non-village- or state-owned signs, posts, etc. that may be within the Project Site as directed by the ENGINEER. The OWNER will remove and replace the OWNER'S signs.
- B. If mailboxes are involved, remove existing mailboxes and posts and temporarily install in locations determined by the ENGINEER. Replace mailboxes before Completion. Removal,

temporary reinstallation, and replacement shall occur such that mail delivery is not interrupted. Mailboxes, posts, and appurtenances damaged during construction shall be replaced with new at no charge to the OWNER.

### 3.03 TEMPORARY UTILITIES

Provide and maintain all temporary facilities, utilities, and controls as long as needed for the safe and proper completion of the work. Remove all temporary facilities, utilities, and controls as rapidly as progress will permit or as directed by the ENGINEER.

### 3.04 TRAFFIC CONTROL

- A. Provide and maintain all traffic control devices needed to guide, warn, control, and protect traffic throughout the Project Site. All traffic control devices and other protective measures shall conform to state of Wisconsin DOT codes and requirements.
- B. Remove traffic control devices at the conclusion of the Work.
- C. Flaggers are required to protect construction vehicles during unloading or construction materials. Conform to the requirements of the Wisconsin DOT, the Flagging Handbook included in the *Field Manual for Temporary Traffic Control Zone Layouts*, and the following: while on duty, flaggers shall wear hard hats and reflectorized florescent orange vests; and flaggers shall be fully clothed when on duty with shirt or blouse, slacks or trouser, and sturdy shoes.
- D. Traffic control shall be the responsibility of the CONTRACTOR.
- E. The CONTRACTOR shall be responsible for the erection and maintenance of all barricades, lights, and signs necessary for public safety and convenience in accordance with all applicable requirements. In general, all hazards within the limits of the Work or on detour around the Work must be marked with well-painted, well-maintained barricades, reflectors, electric lights, flashers, and warning and directional signs in sufficient quantity and size adequate to protect life and property. These safeguards shall be moved, changed, increased, or removed as required during the progress of the Work to meet changing conditions.
- F. Field Quality Control:
  - 1. Daily inspect and insure that all traffic control devices required by the construction are in accordance with the Wisconsin DOT codes and requirements. Any discrepancy between the actual devices in use and the required devices shall be immediately rectified.
  - 2. Furnish names, addresses, and phone numbers of at least three individuals responsible for the placement and maintenance of traffic control devices. At least one of these individuals shall be "on call" 24 hours per day, 7 days per week during the time any traffic control devices furnished and installed by the CONTRACTOR are in place.
  - 3. Provide access for emergency vehicles and busses to all residences at all times as it applies.
  - 4. Respond to any request from the ENGINEER to improve or correct the usage of traffic control devices on or related to this Project within 1 hour of the time of notification.

5. Keep all traffic control signs and devices in a legible condition. This shall include but not be limited to removing grime and dust deposited on any device by traffic, natural causes, or when requested by the ENGINEER.
6. Upon completion of the Work, the entire site will be finished in a first class condition. Street damage repaired, and any damage to drives repaired. Drives and walks cleaned of any mud and debris. The work will be done by the CONTRACTOR whose division of work it falls under at no additional cost to the OWNER.
7. The CONTRACTOR shall be responsible for all damage resulting from his work operations to any utilities or private property. He shall also be responsible for damage to pavement, sidewalks, curbs, gutters, trees, shrubbery, or lawns that are scheduled to remain.

### 3.05 TEMPORARY BARRIERS AND ENCLOSURES

- A. CONTRACTOR will provide temporary covers, enclosures, markers, and barriers as necessary to protect work.
- B. Damage to the Project Site caused by removal of temporary fencing, including postholes, shall be promptly repaired by the CONTRACTOR. During removal, at no time shall the Work remain unattended if a dangerous condition exists because of incomplete removal or Project Site repairing.

### 3.06 FIRE PROTECTION

- A. During the construction period, all prime CONTRACTORS shall provide and maintain in working order a minimum of one 10-pound capacity dry chemical type fire extinguisher suitable for Class A, B, and C fires. Extinguishers shall be UL listed Classification 2-A; 10B: c, minimum capacity. It will be the CONTRACTOR'S responsibility to determine the number of extinguishers required for the project.
- B. During the construction period, special precautions should be taken to control fire hazards. Use of open flames and welding equipment and cutting equipment should be properly supervised. Tarpaulins should be of flame-proofed type. Combustibles should be kept to a minimum. Gasoline or flammable liquids shall not be stored at or in the building. Keep combustible material, including grated equipment to a minimum and as far away as possible from buildings under construction.
- C. As a minimum provide fire extinguishers:
  1. At each stairway on all floor levels where combustible materials have accumulated.
  2. In every storage and construction shed.
  3. Additional portable fire extinguishers shall be provided where special hazards exist including, but not limited to, the storage and use of flammable and combustible liquids.

### 3.07 CONSTRUCTION AND DEMOLITION DEBRIS

- A. The CONTRACTOR shall, at all times, keep the site, including all private or public property involved in or adjacent to the site, free from any rubbish, surplus, or waste materials.
- B. The CONTRACTOR shall remove all surplus materials, tools, and equipment leaving the site and all portions of the finished Work clean, unobstructed, and ready for use before

Final Completion will be granted. After written notification, the village may remove all rubbish, surplus, or waste materials that the CONTRACTOR has neglected or refused to remove from the site and deduct the costs of such removal from any monies due the CONTRACTOR.

- C. The OWNER or its Representative shall have the right to regulate the work in order to control objectionable dust, mud, or other nuisances in or adjacent to the area of the site.
- D. The CONTRACTOR must arrange for a disposal site for all debris and rubble that is to be removed from the site.
- E. The OWNER has first right to excavated material not used for backfill or grading purposes. Any excavated material in excess of that required by the OWNER shall become the property of the CONTRACTOR.
- F. The CONTRACTOR'S costs for disposal of material shall be included in the CONTRACTOR'S Bid Price for the various items of this Contract, and no extra or additional payment shall be made for this work.

### 3.8 STREET AND RIGHT-OF-WAY USE

- A. The CONTRACTOR shall furnish the ENGINEER with a listing of all proposed haul routes for approval before commencement of work. See 1.03 Submittals above.
- B. The CONTRACTOR shall be responsible to keep all streets, drives, and parking lots in the area free of mud, clay, gravel, and other materials that vehicles or equipment may track or scatter onto them, or that may be deposited by uncontrolled drainage of water directly onto streets or drives.
- C. Frequency of cleaning shall be based upon amount of material deposited, not necessarily done on a fixed schedule.
- D. CONTRACTOR'S failure to comply with these requirements within 24 hours after being given notice by the OWNER will result in the OWNER having streets cleaned and deducting costs from amount due the CONTRACTOR.
- E. Vehicles and equipment shall not be flushed out or dumped onto any streets, drives, walks, gutters, or on grounds of any private property.
- F. The CONTRACTOR shall maintain dust-free roadways at all times. Roadway surfaces shall be kept watered.

END OF SECTION 01 500



## SECTION 01 570

### EROSION AND SEDIMENT CONTROL

#### PART 1 - GENERAL

##### 1.01 SECTION INCLUDES

Temporary measures to control soil erosion and sedimentation that includes the following:

1. Placement of erosion control protection, maintenance of erosion control, removal of erosion control and restoration as required by the permits, specifications and as shown on the Drawings.
2. Some erosion control measures may not be necessary depending on site conditions.

##### 1.02 REFERENCES

- A. State of Wisconsin, Department of Transportation *Standard Specifications for Highway and Structure Construction* - Latest Edition (WisDOT) and current supplements.
  1. Section 628 - Erosion Control.
  2. Section 645 - Geotextile Fabric.
- B. *Wisconsin Construction Site Best Management Practice Handbook*.

##### 1.03 SEQUENCING AND SCHEDULING

- A. Install erosion control measures before starting any construction operation that might cause any sedimentation or siltation.
- B. Remove erosion control measures after the site has become stabilized and turf is developed to the extent that future erosion is unlikely.

#### PART 2 - PRODUCTS

##### 2.01 GENERAL

- A. Erosion control consists of placement and maintenance of all erosion control systems and reinstallation if necessary for the duration of the Contract. It includes, but is not limited to silt fence, inlet protection, and gravel tracking pad.
- B. The CONTRACTOR shall field verify that locations of erosion control materials on the Drawings are most effective. Any changes made to the erosion control plan must be approved by the ENGINEER.

##### 2.02 SILT FENCE

Wood stakes measuring 2-inch x 2-inch, driven a minimum of 24 inches deep, with a maximum of 3-foot spacing between stakes shall be connected with lath and staples to the engineering fabric, Mirafi "Envirofence" or equal. Trench along fence shall be a minimum depth of 4 inches. Fabric shall be anchored in the trench, which will also be backfilled with natural soil and then tamped. The support post anchorage should be in situ soil. See construction details.

## PART 3 - EXECUTION

### 3.01 GENERAL

- A. All erosion control materials and procedures shall conform to the *Wisconsin Construction Site Best Management Practice Handbook*, unless otherwise modified by the Contract Documents.
- B. Weekly erosion control inspection and inspection records shall be the responsibility of the CONTRACTOR at no cost to the OWNER.

### 3.02 EROSION CONTROL METHODS

- A. All erosion and sediment control measures should be constructed and maintained in accordance with the *Wisconsin Construction Site Best Management Practice Handbook*.
- B. All sediment control measures should be adjusted to meet field conditions at the time of construction and installed before any grading or disturbance of existing surface material.
- C. Maintenance of all sediment control structures shall be provided to ensure intended purpose is accomplished. Sediment control measures are to be in working condition at the end of each working day.
- D. After significant rainfall, sediment control structures shall be inspected for integrity. Any damaged structures shall be corrected. Significant rainfall shall be defined as rainfall 0.5 inch or more.
- E. Sediment controls measures shall not be removed until the area served have established vegetative cover.
- F. Gravel tracking pads shall be installed at all construction site exits to prevent tracking of soil.
- G. Tracked soil shall be collected from paved roads located near the construction.
- H. Overland flow should be filtered or prevented from leaving the Work site by installing silt fence parallel to the contours located downhill from the Work area.

### 3.03 EROSION CONTROL GEOTEXTILE FABRIC INSTALLATION

- A. Placement - Filter fabric fences shall be placed on the contour to the extent practicable. Filter fences may not be placed perpendicular to the contour on slopes of greater than 2 percent. The ends of the fence should be turned upslope 1 to 2 feet in elevation to prevent flanking.
- B. Height - Filter fabric fences may not exceed 24 inches in height (not including the anchored material).
- C. Support - Field constructed: The full height of the filter fabric fence shall be supported by 2-inch x 2-inch wooden posts or equivalent. The posts shall be driven at least 8 inches into the ground. The maximum spacing of the posts shall be 3 feet. The filter fabric shall be stapled using at least 0.5-inch staples to the upslope side of the posts.

- D. Anchoring - The filter fabric shall be anchored by spreading at least 8 inches of fabric on a 4-inch x 4-inch trench or a 4-inch deep V-trench on the upslope side of the fence. The trench shall be backfilled and tamped.

#### 3.04 MAINTENANCE

- A. Silt fences shall be inspected weekly and within 24 hours after each rainfall or daily during periods of prolonged rainfall. Needed repair or replacement shall be made immediately.
- B. Sediment and/or debris deposits should be removed after each storm event. Sediment deposits shall be removed when deposits reach 25 percent of the height of the silt fence.
- C. Maintenance of all erosion control shall be the responsibility of the CONTRACTOR at no cost to the OWNER.

#### 3.05 REMOVAL

After growth has been established and the danger or erosion has passed, the CONTRACTOR shall remove all erosion control from the site, remove accumulated silt, and restore the area with topsoil and seed with lawn seed mix at no cost to the OWNER.

END OF SECTION 01 570

## SECTION 01 700

### EXECUTION REQUIREMENTS

#### PART 1 - GENERAL

##### 1.01 SECTION INCLUDES

Requirements for overall execution of the Work and closeout of the Contract for Final Payment

##### 1.02 SUBMITTALS

Submit the following items consistent with the Conditions of the Contract and Division 1 – General Requirements Sections.

1. Record Documents - GC 6.12
2. Written Notification of Substantial Completion - GC 14.04
3. Executed Certificate of Substantial Completion - GC 14.04
4. Written Notification of Final Completion - GC 14.06
5. Schedules, warranties, guarantees, Bonds, certificates, and other documents.
6. Final Application for Payment, including accompanying documentation - GC 14.07
7. Wage Rates

#### PART 2 - PRODUCTS

Not Used

#### PART 3 - EXECUTION

##### 3.01 EXAMINATION

- A. Acceptance of Conditions: By commencing work, the CONTRACTOR construes acceptance of the adjacent work as satisfactory to receive subsequent work, and accepts responsibility for the quality of his work.
- B. Existing Conditions: Before commencing work, inspect work completed by others that is adjacent to work. If adjacent conditions prevent completion of work, the CONTRACTOR will not commence work until the conditions are corrected.
- C. Inspect each product immediately before installation. Remove damaged products from Project Site.

##### 3.02 GENERAL INSTALLATION REQUIREMENTS

- A. Comply with the manufacturer's instructions for installation of manufactured products to the extent that these instructions are applicable and more explicit or more stringent than requirements indicated in the Contract Documents.
- B. Secure work true to line and level, within recognized industry tolerances, with anchorage devices designed and sized to withstand stresses, vibration, and rocking. Allow for expansion and movement of building.

- C. Install each element of work during weather conditions and Project status to ensure coordination of the Work. Isolate each element of work from incompatible work as necessary to prevent deterioration.
- D. Record installation details and prepare Record Documents consistent with the General Conditions.

### 3.03 PROJECT SITE MAINTENANCE

- A. Maintain stockpiles, excavations, access roads, and all other work areas free from dust. Employ dust abatement techniques whenever a dust nuisance or hazard occurs, or as directed by the ENGINEER. Comply with local ordinances.
- B. Protect hazardous work areas and hazardous material storage areas.
- C. Clean access roads and haul routes with mechanical street sweeper.
- D. If the CONTRACTOR fails to maintain Project Site, the ENGINEER will provide Written Notice of the CONTRACTOR'S defective work. The CONTRACTOR will be given 12 hours from the Notice to clean Project Site. After the 12-hour period, the OWNER may correct the defective work consistent with the Conditions of the Contract.

### 3.04 CLEANING AND PROTECTION

- A. Clean and protect work in progress and adjoining work during handling and installation. Apply protective covering on installed work where it is required to ensure freedom from damage or deterioration.
- B. Clean and perform maintenance as frequently as necessary throughout construction period to maintain work in a clean condition until work is substantially complete.

### 3.05 FINAL CLEANING

- A. Before the inspection for substantial completion of the Work, remove waste material and rubbish from the site. Remove protective coatings, barriers, and other protective devices, temporary work, and surplus materials.
- B. Thoroughly clean the site to leave it in a clean, neat, and orderly condition, ready for use by the OWNER.
- C. After substantial completion, remove waste material and rubbish and clean up dirt caused by the Work.
- D. Upon completion of the Work, remove tools, construction equipment, machinery, and surplus materials.

### 3.06 CUTTING AND PATCHING

Existing roadway that is cracked, or otherwise damaged by the CONTRACTOR shall be removed and replaced by the CONTRACTOR.

### 3.07 SPECIAL TOOLS

- A. Provide any special tools, jigs, fixtures, and lifting tackle that are necessary for assembly, erection, operation, maintenance, and repair of equipment.
- B. Special tools and devices are those the design, purpose, and use of which are peculiar to the equipment furnished and are not available from normal wholesale or retail outlets. Standard general purpose tools are not included in this requirement.

### 3.08 LIEN WAIVER

CONTRACTOR shall provide certification that all persons, firms, or corporations who have done work on, or furnished materials for this project, for which the OWNER may become legally liable, have been fully paid or satisfactorily secured.

### 3.9 PROJECT RECORD DOCUMENTS

- A. Maintain a set of specifications at the job site for documentation of changes to the contract documents. Identify the documents with the title "RECORD DOCUMENTS – JOB SET".
- B. Throughout the progress of the Work, maintain an accurate record of all changes in the Contact Documents. Clearly describe the change by note and by graphic line. Date all entries.
- C. Dimension the centerline of each item within 1 inch. Clearly identify the item by accurate note. Show the vertical location of the item.
- D. Submit the final Record Documents for review and approval before final payment.

### 3.10 FINAL PAYMENT

- A. Upon completion of the project work and as a condition of final payment, the CONTRACTOR shall prepare and submit to the ENGINEER for transmission to the OWNER, all exhibits required by the Project Manual including:
  - 1. Guarantees and Warranties – All manufacturer's guarantees and warranties.
  - 2. Final lien waivers marked "in full" from the CONTRACTOR, subcontractors, sub-subcontractors, and all material suppliers.
  - 3. Affidavit of compliance with prevailing wage rate determination.
- B. All work and costs of this Section for the BASE BID shall be incidental to the Project and included in the TOTAL BASE BID.

END OF SECTION 01 700

## SECTION 01786

### WARRANTIES

#### PART 1 - GENERAL

##### 1.01 SECTION INCLUDES

- A. Warranties, Bonds, and Service Contracts for the work of this Project.

##### 1.02 SUBMITTALS

- A. Submit warranties, bonds, service, and maintenance contracts as specified in the Contract Documents.
- B. Provide complete information on each item including project item, firm, date of warranty, bond or service contract, contract requirements, and CONTRACTOR'S name.
- C. Bind in commercial quality, 8½-inch x 11-inch, 3-ring side binders with hardback, cleanable, plastic covers.
- D. Table of Contents: Provide neatly typed, Table of Contents matching that of the Project Specifications with each item identified with the number and title of the Specification Section in which specified and the name of the product or work item.
- E. Label cover of each binder with typed or printed title WARRANTIES with title of Project; name, address, and telephone number of CONTRACTOR and equipment supplier; and name of responsible principal.
- F. Separate each warranty keyed to the Table of Contents listing. Provide full information using separate typed sheets as necessary. List subcontractor, supplier, and manufacturer with name, address, and telephone number of responsible principal.

##### 1.03 PREPARATION OF WARRANTIES

- A. Obtain warranties executed in duplicate by responsible subcontractors and suppliers within 10 days of completion of the application item or work. Leave date of beginning of time of warranty blank until the Date of Substantial Completion is determined.
- B. Verify that documents are in proper form, contain full information, and are notarized.
- C. Co-execute submittals when required.
- D. Retain warranties until delivery time indicated below.

##### 1.04 DELIVERY

- A. For equipment or component parts of equipment put into service during construction with OWNER'S permission, submit documents within 10 days after acceptance.
- B. Within 10 days after ENGINEER'S declared and written confirmation of the Date of Substantial Completion.

- C. For items of work when acceptance is delayed beyond Date of Substantial Completion, submit within 10 days after acceptance, listing the date of acceptance as the beginning of the warranty period.

1.05 LENGTH OF WARRANTY

- A. Minimum length of all equipment warranties shall extend through the Correction Period.
- B. Length of Warranties: Conform to the requirements of the Specifications, one year minimum.

PART 2 - PRODUCTS

Not Used

PART 3 - EXECUTION

3.01 MEASUREMENT AND PAYMENT

- A. All work and costs of this Section for the BASE BID shall be incidental to the Project and included in the TOTAL BASE BID.

END OF SECTION 01 786



**DIVISION 02**  
**SITE CONSTRUCTION**

## SECTION 02225

### REMOVALS

#### PART 1 - GENERAL

##### 1.01 SECTION INCLUDES

Complete or partial removal and disposal or salvage of at grade, above grade, and below grade structures and miscellaneous items.

##### 1.02 RELATED SECTIONS

Section 02320 – Trench Excavation and Backfill.

##### 1.03 REFERENCES

- A. Wisconsin Department of Transportation, *Standard Specifications for Highway and Structure Construction*, Latest Edition
- B. Section 204 – Removing or Abandoning Miscellaneous Structures.

##### 1.04 DEFINITIONS

- A. Remove: To take away or eliminate from the Project Site by any method selected by the Contractor including disposal of material.
- B. Salvage: To dismantle, disassemble, or remove carefully without damage so the item can be reassembled, replaced, or reused in a workable condition equal to that existing before removal.
- C. Abandon: To fill, bulkhead, or close off pipes and structures so that no settlement or flow can occur.

##### 1.05 SCHEDULING

- A. Before starting work, submit for review by the ENGINEER, and approval by the OWNER, a schedule showing the commencement, order, and completion dates of the various parts of this Work.
- B. Fill holes or depressions resulting from removal or salvage immediately.
- C. Provide temporary surface restoration for traffic continuity where removal or salvage operations are completed within streets, driveways, or parking lots.

#### PART 2 - PRODUCTS

Not Used

#### PART 3 - EXECUTION

##### 3.01 GENERAL

- A. Dispose of all items removed, except for those items identified to be salvaged or recycled. Said disposal shall be in accordance with all laws, regulations, statutes, etc.

- B. Perform removal work without damage to adjacent retained work. Where such work is damaged, the CONTRACTOR shall patch, repair, or otherwise restore same to its original condition at no expense to the OWNER.
- C. Remove debris from the Work area as often as necessary but not less than at least once at the end of each workday. Debris shall be placed in approved containers to prevent the spread of dust and dirt.
- D. Execute the Work in a careful and orderly manner with the least possible disturbance to the public and occupants of buildings.
- E. Fill holes resulting from removals.

### 3.02 EXAMINATION

- A. Meet with sign owners to determine requirements for salvage, storage, and replacement.
- B. Develop plan, acceptable to the ENGINEER and postal service, for maintaining mail service. Temporary relocations of mailboxes will be necessary.

### 3.03 PROTECTION

- A. Take all necessary precautions to adequately protect personnel and public and private property in the areas of the Work. All site fencing shall be in place before the start of any removal work.
- B. All street signs, traffic control signs, guy wires, mail boxes, posts, wood fence, etc. that may interfere with construction shall be removed, stored safely, and replaced.
- C. Approved barriers or warning signs shall be provided as necessary.
- D. Provide and maintain temporary protection of existing structures designated to remain where removal work is being done, connections made, materials handled, or equipment moved.
- E. Do not close or obstruct walkways or roadways. Do not store or place materials in passageways or other means of egress. Conduct operations with minimum traffic interference.
- F. Take reasonable precautions to limit damage to existing turf.
- G. Holes or depressions created by removals shall not be left open for more than 1 day. Any hole within 10 feet of sidewalks shall be filled, suitably marked, or covered immediately.
- H. Avoid disturbance to any material beyond the limits required for new construction.

### 3.04 SAWING PAVEMENT

- A. Concrete Pavement: Saw along the removal line to a depth of one-third of the thickness of the concrete before breaking off the pavement.

- B. Bituminous Pavement: Saw along the removal line to a minimum depth of 3 inches before breaking off the pavement.

### 3.05 REMOVE CONCRETE PAVEMENT

Remove in accordance with WisDOT Section 204

### 3.06 REMOVE BITUMINOUS PAVEMENT, PATH, DRIVEWAY

Remove in accordance with WisDOT Section 204

### 3.07 REMOVE MANHOLES

- A. Remove casting and cone section of structures, a minimum of 3 feet below final grade.
- B. Knock holes in the lower section of manhole and fill cavity with granular material.

### 3.08 REMOVE SECTIONS OF EXISTING PIPE

- A. Pipe to be abandoned, shall be filled with suitable material as directed by the ENGINEER.
- B. Pipe to be abandoned shall be removed if the top of pipe is within 3 feet of final surface elevation.

### 3.09 SALVAGE AND REINSTALL

#### A. Signs

1. In no case shall a traffic sign or street sign be removed or disturbed by the CONTRACTOR without prior notification being given to the ENGINEER, and then only after satisfactory arrangements have been made for a temporary installation or its disposition.
2. Street identification signage shall be maintained at all times due to its importance to the 911 Emergency Response System.
3. Remove and salvage all posts, A-frame angle brackets, stringers, as well as the nuts, bolts, and washers.
4. Exercise reasonable care against damage to in place signs during storage and installation.
5. Remove signs damaged during construction and replace with new signs.

#### B. Mailboxes

1. Remove and salvage existing mailboxes that interfere with the Work or whose access is restricted by the construction activities.
2. Place at temporary locations as directed by the ENGINEER or as shown on Drawings.
3. Removal, temporary re-installation, and replacement shall occur such that mail delivery is not interrupted.
4. Reinstall in locations as shown on Drawings or as directed by the ENGINEER.
5. Mailboxes, posts, and appurtenances damaged during construction shall be replaced with new at no charge to the OWNER.

#### C. Fences

1. Salvage and store fence and post material where they are in conflict with the Work.

2. After completion of the Work, reinstall fence to the condition existing before removal.
3. Install temporary snow fence or similar barrier at the end of the working day while the permanent fence is removed.

D. Culverts and Flared End Sections

1. Where possible salvage existing pipe in areas to be disturbed by the construction.
2. Reinstall in original condition and location, as shown on the Drawings.
3. If requested by the OWNER, deliver salvaged material to OWNER'S Maintenance Facility.

3.10 FIELD QUALITY CONTROL

- A. Salvaged items to be reinstalled shall be of the same shape, dimension, location, and quality of the original item before construction.
- B. Items damaged during removal or salvaging operations shall be replaced with new material of equal type and quality of the damaged item when it was new.

3.11 DISPOSING OF MATERIAL

Dispose of all materials outside of the Project at a disposal site selected by the CONTRACTOR, off Project, in compliance with state and local regulations. Burying of material and debris is not allowed within the Project.

3.18 MEASUREMENT AND PAYMENT

- A. All work and costs of this Section for the BASE BID shall be incidental to the Project and included in the TOTAL BASE BID.

END OF SECTION 02 225

## SECTION 02 320

### TRENCH EXCAVATION AND BACKFILL

#### PART 1 – GENERAL

##### 1.01 SECTION INCLUDES

Trenching requirements for underground piping and appurtenances including requirements for excavation, backfill, and compaction.

##### 1.02 REFERENCES

- A. Standard Specifications for Sewer and Water Construction in Wisconsin, Latest Edition
- B. American Society of Testing Materials (ASTM)
- C. American Water Association (AWWA)

##### 1.04 SUBMITTALS

- A. Provide the following submittals consistent with Section 01 330 – Submittal Procedures:
  - 1. Product Data - Each Borrow Material:
    - a) Name and location of source.
    - b) Results of gradation tests.

##### 1.05 DEFINITIONS

- A. Bedding: The soil material adjacent to the pipe that makes contact with the pipe foundation, walls of the trench, and upper level of backfill. The purpose of bedding is to secure the pipe to true line and grade and to provide structural support to the pipe barrel.
- B. Foundation: Soil material beneath the pipe bedding.
- C. Improved Pipe Foundation: Foundation provided by importing material from sources outside the project limits. Required when foundation is soft or unstable.
- D. Course Filter Aggregate: Free-draining mineral product used around drain tile pipe.
- E. Rock Excavation: Includes such rocks as are not decomposed, weathered, or shattered and that will require blasting, barring, wedging, or use of air tools for removal. Also included are any boulders, concrete, or masonry structure (except concrete pavement, curb and gutter, and sidewalk) exceeding 1 cubic yard.
- F. Pipe Zone: That part of the trench below a distance of 1 foot above the top of the pipe.
- G. Sand Cushion: Aggregate bedding material used around pipe in areas where rock excavation is encountered, where pipe insulation is used, and when crossing existing utilities.

## PART 2 – PRODUCTS

### 2.01 PIPE BEDDING MATERIAL

- A. Polyvinyl Chloride (PVC) Pipe:
- B. Comply with Standard Specifications for Sewer and Water Construction in Wisconsin

### 2.02 BACKFILL MATERIAL

- A. Suitable materials selected from the excavated materials to the extent available and practical.
- B. Suitable materials are mineral soils free of rubbish, trees, stumps, branches, debris, frozen soil, oversize stone, concrete and bituminous chunks, and other similar unsuitable material.

## PART 3 – EXECUTION

### 3.01 EXAMINATION

- A. Before construction, inspect existing utility structures and surface features, and document condition.
- B. Re-inspect foundation soils if rain fall or snow has occurred after initial inspection, but before placing pipe and bedding.

### 3.02 PREPARATION

- A. Notify Utility Owners to field mark their utility locations.
- B. Protect, as necessary, surface features such as utility poles, trees, structures, pavement, etc. that are not designated on the Drawings to be removed.
- C. Notify utility companies of progress schedule so they can accomplish any necessary relocations and removals that they have agreed to relocate, remove, or support.
- D. Implement traffic control.
- E. Complete temporary removal or relocation of surface features such as fences, shrubs, signs, and mailboxes.
- F. Strip off existing topsoil from within the trench excavation limits and stockpile. Separate vegetative strippings from salvageable topsoil and dispose of appropriately.
- G. Crossing Under Existing Utility Lines
  - 1. Use extreme care when excavating in the vicinity of underground utility lines to avoid damage to protective coatings or surfaces.
  - 2. Where possible and as authorized by the utility, temporarily remove the utility line, install the new pipe, and reinstall the utility line.

3. Where existing line cannot be removed or is not feasible to remove, securely support, excavate under, backfill under and around the utility line to 100 percent standard Proctor density.
4. Report and repair damaged lines before backfilling trench.

### 3.03 CONSTRUCTION

#### A. Trench Excavation

1. Excavate trench to alignment and grade shown on the Drawings.
2. The trench width at the surface may vary and depends on the depth of trench and nature of the excavated material encountered. However, it shall be of ample width to permit the pipe to be laid and jointed properly and the backfill to be placed and compacted properly.
3. Correct any part of the trench that is inadvertently excavated below grade with approved material compacted to 100 percent of Standard Proctor Density.
4. Brace, shore, or sheet trench and provide drainage. Comply with applicable State Regulations relating to a safe angle of repose. Angle of repose may be no less than that required by the requirements of the Occupational Safety and Health Act (OSHA).
5. Pile all excavated material in a manner that will not endanger the work or obstruct sidewalks, driveways, gutters, etc.
6. Segregate soils in the excavated material that are not suitable for trench backfill and dispose of in a manner that is consistent with the requirements specified herein under Section 3.06 - Backfill Above Pipe Zone.
7. Dispose of excess excavated materials off of rights-of-way and easements in a suitable site selected by the CONTRACTOR.
8. Haul materials, other than natural soil materials that are suitable as backfill material, to an approved landfill as directed by the ENGINEER.

#### B. Water Control

Dewater the ground as necessary to excavate the trench and install the pipe. All pipe and structures shall be laid in a dry condition before backfill. Maintain groundwater level a minimum of 1 foot below the pipe invert. Measure the rate of flow from dewatering pumps at the beginning of the dewatering operation(s) and once per week thereafter. Keep a daily log of hours pumped.

#### C. Trench Bottom

1. Excavate to a sufficient depth to insure adequate foundation when the bottom of the trench is soft or where, in the opinion of the ENGINEER, unsatisfactory foundation conditions exist. Bring excavation up to pipe grade with thoroughly compacted granular materials meeting the requirements of Improved Pipe Foundation Material.
2. Provide temporary support, remove, relocate, or reconstruct existing utilities located within the trench excavation. Utility shall designate method employed. Use particular care and provide compacted fill or other stable support for utility crossings to prevent detrimental displacement, rupture, or failure.
3. Excavate to expose existing utilities that cross in close proximity to the planned pipe line to determine the utilities' exact location sufficiently ahead of pipe installation to plan for the avoidance of grade conflict. Measure to determine the utilities' location relative to the planned pipe line location. A deviation from the alignment, grade, and location to avoid conflict may be ordered by the ENGINEER.



4. In locations where rock affects the pipe foundation, excavate the trench 6 to 12 inches below the pipe and place sand cushion material up to the proposed invert elevation. The remainder of the trench up to the top of rock elevation shall be backfilled with granular backfill material meeting the requirements of this Section.
  - a. Sand Cushion: The removal and disposal of the unsuitable material within the trench and below the invert elevation and the replacement up to invert elevation with the appropriate bedding material.
  - b. Granular Backfill: The removal and disposal of unsuitable material within the trench, above the invert elevation and replacement up to the surface with appropriate backfill material. No additional compensation will be allowed for wider or deeper trenches in rock excavations.
  - c. The sand cushion shall be placed to 1 foot above the pipe and shall be paid as pipe bedding. The remainder of the trench up to the top of the rock shall be backfilled with granular backfill material.
5. Improved Pipe Foundation: When unsatisfactory foundation conditions exist, excavate to a depth consisting of solid materials. Fill to pipe grade with thoroughly compacted granular materials meeting the requirements of Improved Pipe Foundation Material.

#### 3.04 PIPE BEDDING

- A. Polyvinyl Chloride Sewer Pipe: Bed pipe in accordance with ASTM D2321.
- B. Use only selected materials free from rock, boulders, debris, or other high void content substances to a level one foot above the top of pipe. Remove ledge rock, boulders, and large stones to provide at least 6-inch clearance from pipe.
- C. Dig bell holes of ample dimension at each joint such that the pipe barrel rests continuously on the bedding.

#### 3.05 BACKFILL WITHIN PIPE

- A. Backfill immediately after pipe is laid. Restrain pipe as necessary to prevent their movement during backfill operations.
- B. Place material completely under pipe haunches in uniform layers not exceeding 4 inches in depth.

#### 3.06 BACKFILL ABOVE PIPE ZONE

- A. Use suitable materials meeting the requirements of Backfill Material.
- B. Place in uniform depth layers not to exceed 12 inches before compaction. Complete the compaction of each layer before placing material for the succeeding layer.
- C. Compact each layer by mechanical means until it meets the requirements of *Standard Specifications for Sewer and Water Construction in Wisconsin*, Latest Edition.
- D. The method and means of placement and type of compaction equipment used is at the discretion of the CONTRACTOR. However, all portions of the trench backfill must meet minimum specified compaction requirements.
- E. Any deficiency in quantity of backfill material (caused by shrinkage or settlement) shall be supplied at no additional cost to the OWNER.

- F. Excavated material not suitable or required for backfill shall be disposed of outside of the Project.

### 3.07 RESTRICTED TRENCH WIDTH

Restrict width of trench to conform to construction limits and where directed by the ENGINEER to prevent damage to specimen trees or adjacent structures.

### 3.08 FIELD QUALITY CONTROL

- A. Density Tests: To be performed by an approved soils testing firm at various locations and depths throughout the Project as directed by the ENGINEER. The CONTRACTOR shall cooperate fully and provide assistance as necessary to complete these tests.
- B. Failed density test areas shall be excavated and re-compacted until the density requirements are met.

### 3.09 MEASUREMENT AND PAYMENT

- A. Trench Excavation: Excavation and backfilling of trench and associated pipe bedding shall be included in the price of pipe provided.
- B. Pipe Bedding: Considered incidental and shall be included in the price of pipe furnished and installed.
- C. Granular Backfill: Considered incidental and shall be included in the price of pipe furnished and installed.
- D. Temporary Bracing and Sheeting: Considered part of the excavation costs, with no additional compensation to the CONTRACTOR, unless provided for otherwise.
- E. Density Tests:
  - 1. Passing Tests: All costs paid by the OWNER.
  - 2. Failing Tests: All costs charged to and paid by the CONTRACTOR.
- F. Dewatering: No explicit, direct payment is made for this work. Include the costs in the bid unit prices for the pipe or structure installed.
- G. All work and costs of this Section for the BASE BID shall be incidental to the Project and included in the TOTAL BASE BID.
- H. All work and costs of this Section for ALTERNATE NO. 1 shall be incidental to the Project and included in the TOTAL BID for ALTERNATE NO. 1.
- I. All work and costs of this Section for ALTERNATE NO. 2 shall be incidental to the Project and included in the TOTAL BID ALTERNATE NO. 2.

END OF SECTION 02 320

## SECTION 02 530

### SANITARY SEWER

#### PART 1 - GENERAL

##### 1.01 SECTION INCLUDES

Sanitary sewer gravity pipe, manholes, fittings, and miscellaneous appurtenances.

##### 1.02 RELATED SECTIONS

- A. Section 02 225 – Removals.
- B. Section 02 320 – Trench Excavation and Backfill.
- C. Section 02 535 – Sanitary Sewer Services.

##### 1.03 REFERENCES

- A. American Society of Testing and Materials (ASTM):
  - 1. C478 - Specification for Precast Reinforced Concrete Manhole Sections.
  - 2. D698 – Test Method for Laboratory Compaction Characteristics of Soil Using Standard Effort.
  - 3. D1784 – Specification for Rigid Poly (Vinyl Chloride) (PVC) Compounds and Chlorinated Poly (Vinyl Chloride) (PVC) Compounds.
  - 4. D1785 - Specification for PVC Plastic Pipe, Sch. 40, 80, and 120.
  - 5. D2321 - Practice for Underground Installation of Thermoplastic Pipe for Sewers and Other Gravity – Flow Applications.
  - 6. D3034 – Specification for Type PSM Poly (Vinyl Chloride) (PVC) Sewer Pipe and Fittings.
  - 7. F794 – Specification for Poly (Vinyl Chloride) (PVC) Profile Gravity Sewer Pipe and Fittings Based on Controlled Inside Diameter.
- B. *Standard Specification for Sewer and Water Construction in Wisconsin*, Latest Edition.

##### 1.04 SUBMITTALS

- A. Conform to Section 01310 – Project Management and Coordination.
- B. Manufacturer's Certification of Compliance:
  - 1. Precast structures fabrication and installation.
  - 2. Certification of compliance for each diameter and class of pipe.
  - 3. Gray iron castings.
- C. Service Risers: Location of riser, including distance along sewer main from downstream manhole and offset distance from sewer main centerline.
- D. Video tape, CD or DVD format of sewer televising and two copies of the written report on conditions.
- E. Details of proposed methods for leak testing.

## 1.06 SEQUENCING AND SCHEDULING

- A. Do not pursue work causing shut off of utility services (gas, water, electric, telephone, TV, etc.) to consumers until the utility owner is contacted and all consumers are notified of the shut-off schedule.
- B. Verify vertical and horizontal location of sanitary sewers sufficiently in advance of installing new pipe to determine the extent of conflict, if any.
- C. Successfully complete required inspections and testing before restoration of surface.

## PART 2 – PRODUCTS

### 2.01 MATERIALS

- A. Concrete Materials:
  - 1. Standard Portland Cement Type 1, clean washed sand and crushed rock and gravel free from deleterious materials for monolithic concrete manholes and all manhole bases.
  - 2. Portland Cement: Comply with the requirements of ASTM C150.
  - 3. Design Mix: Subject to the approval of the Engineer. Use proper water-cement ratio to obtain (4000 psi) in 28 days.
- B. Mortar Materials:
  - 1. Cement: Type 1 Standard Portland Cement conforming to ASTM C150.
  - 2. Lime: Normal finishing hydrated lime meeting the requirements of ASTM C206.
  - 3. Mix Proportions:
    - a. One part cement to three parts of suitable plaster sand for mortar used for plastering the exterior walls of block manholes and catch basins, adjusting rings and lift holes. Use lime or mortar mix in the amount necessary to make a suitable mixture for plastering purposes, but not to exceed 15 percent by volume.
    - b. One part Portland Cement to two parts of sand to which lime or mortar mix may be added but not to exceed 15 percent by volume for mortar used for laying concrete block.
  - 4. Reinforcing Steel: Comply with the requirements of ASTM A615, Grade 60.

### 2.02 MANHOLES

- A. Precast concrete sections conforming to ASTM C478.
- B. Joints: Rubber O-ring gasket type or approved equal.
- C. Structure Bases:
  - 1. Pre-cast integral with bottom section of manhole.
  - 2. Pre-cast invert.
  - 3. Outside Drop: Manhole bottom section to be pre-cast as monolithic base containing lower DIP elbow for drop.
- D. Manhole Steps: Reinforced polypropylene plastic steps with No. 2 deformed grade steel rod.
  - 1. Pipe Connections:

All manholes shall be fabricated with pipe openings consisting of a rubber boot and stainless steel band to seal off the joint from allowing dirt, ground water, or

other objectionable material from entering. These materials shall be installed with the fabrication on all new manholes.

## 2.03 MANHOLE FRAMES AND COVERS

- A. Requirement: ASTM A48, Class 35C.
- B. Finish: Coal tar pitch varnish.
- C. Finish Preparation: Sandblast.
- D. Machine cover and frame contact surface for non-rocking protection.
- E. Type and Style: As shown on Drawings.
- F. Covers with two concealed pick holes of approved design.
- G. Weight: Minimum of 380 lbs.

## 2.04 PIPE MATERIAL

- A. Poly (Vinyl Chloride) (PVC) Plastic Pipe and Fittings (4 Inch through 15 Inch Diameter):
  - 1. General: Pipe and fittings conform to ASTM D3034.
  - 2. Materials: PVC plastics having a minimum Cell Classification of 1254B or 12454C or 13364B as defined in ASTM D1784. Pipe materials shall have a minimum hydrostatic design stress of 2000 psi as certified by the Plastic Pipe Institute. Additives and fillers including but not limited to stabilizers, antioxidants, lubricants, colorants, etc. shall not exceed 20 parts by weight per 100 of PVC resin in the compound.
  - 3. Design: Integral wall bell and spigot joint and a minimum wall thickness conforming to SDR 35 and/or SDR 26.
  - 4. Joints: Conform to ASTM D3212. Push-on type only with the bell-end grooved to receive a gasket. Elastomeric Seal (Gasket): A basic polymer of synthetic rubber conforming to ASTM F477. Natural rubber gaskets will not be accepted.
  - 5. Marking: Each pipe shall be identified with the name of the manufacturer or trademark and code, nominal pipe size in inches, the PVC cell classification and "Specification D3034."
- B. Polyvinyl Chloride (PVC) Pipe and Fittings (15 Inch through 42 Inch Diameter):
  - 1. General Requirements: Pipe and fittings shall conform to ASTM F794.
  - 2. Materials: Polyvinyl chloride compounds which comply with the requirements for a minimum Cell Classification of 12454B, 12364A or 13343C as defined by ASTM D1784. Homopolymer PVC compounds must meet or exceed the requirements of the above listed minimum cell classification number. PVC compounds of other cell classifications shall be pre-qualified. Additives and fillers, including but not limited to stabilizers, antioxidants, lubricants, colorants, etc., shall not exceed 10 parts by weight per 100 of PVC resin in the compound.
  - 3. Design: Integral wall bell and spigot joint with elastomeric seal joints. Minimum Pipe Stiffness: 46 pounds per square inch (psi) at five percent deflection.
  - 4. Joints: Conform to ASTM D3212. Push-on type only with the bell-end grooved to receive a gasket. Elastomeric Seal (Gasket): Basic polymer of synthetic rubber conforming to ASTM F477, and be factory installed and chemically bonded to the bell-end of the pipe. Natural rubber gaskets will not be accepted.

5. Marking: Each pipe shall be identified with the name of the manufacturer's, or trade name or trademark and code, nominal pipe size in inches, the PVC minimum cell classification, the legend "PS 46 PVC Series Pipe" and ASTM F794.
- C. Polyvinyl Chloride (PVC) Pipe and Fittings (36 Inch through 54 Inch Diameter):
1. General Requirement: Controlled inside diameter with an integral bell and elastomeric seal joints which meet the requirements of ASTM F1803, closed profile.
  2. Materials: Pipe and fitting shall be made from PVC compounds that comply with the requirements for a minimum Cell Classification of 12364A as defined by ASTM D1784.
  3. Dimensions: Pipe sizes, inside diameters and typical dimensions shall conform to those shown in Drawings. Outside diameter shall be constant along the length.
  4. Joints: All pipe joints shall be of the bell and spigot type with elastomeric seals and conform to the requirements of ASTM D3212. Gaskets shall be factory-installed and chemically bonded to the bell end of the pipe. Gasket material shall conform to the requirements of ASTM F477.
  5. Fittings: All fittings shall be fabricated from pipe meeting the requirements of these standards. Fabricated miter joints shall be reinforced by fusion heat welding.
  6. Pipe Stiffness: Minimum pipe stiffness shall be 46 psi when tested in accordance with ASTM D2412.
  7. Impact Resistance: No visual cracking or splitting of the waterway shall be evidenced when tested in accordance with ASTM D2444 with a 30 lb. weight, Type B, flat plate holder B to a level of 220 ft. lbs.
  8. Fusion Quality: There shall be no sign of flaking or disintegration when immersed in anhydrous acetone for 20 minutes as described in ASTM D2152.
  9. Ductility: There shall be no evidence of cracking or splitting when pipe is flattened in a circumferential orientation between two flat plates to 60 percent of the original inside diameter.
  10. Air Tightness: Each length of pipe shall pass a factory 3.5 psi air test as described in ASTM F1803.
  11. Marking: Each pipe shall be identified with the name of manufacturer, nominal size, cell classification, ASTM designation F1803, the pipe stiffness designation "PS-46" and manufacturer's date code.
- D. Ductile Iron (DIP) Fittings:
1. General Requirement: AWWA C151.
  2. Joints: Mechanical or push-on conform to AWWA C111.
  3. Standard thickness cement mortar lining conforming to AWWA C104.
  4. Testing Requirements:
    - a. All ductile iron fitting linings shall be checked for thickness using a magnetic film thickness gauge. The thickness testing shall be done using the method outlined in SSPC-PA-2 Film thickness Rating.
    - b. The interior lining of all fittings shall be tested for pinholes with a nondestructive 2500-volt test. Any defects found shall be repaired before shipment.
    - c. Each fitting shall be marked with the date of application of the lining system along with its numerical sequence of application on that date and records maintained by the applicator of his work.

5. Marking: Each pipe shall be identified with the manufacturer or trade name or trademark and code, country where cast, nominal pipe size, year in which the pipe was produced, and "DI" or "Ductile."

## 2.05 INSULATION

Conform to the requirements of Standard Specifications for Sewer and Water Construction in Wisconsin for Polystyrene Insulation Board.

## PART 3 - EXECUTION

### 3.01 PREPARATION

- A. Excavation and Preparation of Trench: Conform to Section 02320 – Trench Excavation and Backfill.
- B. By-Pass Pumping: CONTRACTOR shall be responsible for all items required to maintain sewer flows during construction of the new sanitary sewer line. All work and costs for this are considered incidental to the project, unless otherwise specified.

### 3.02 INSTALLATION

- A. Connect to Existing System:
  1. Connect to Existing Structure:
    - a. Connect to existing structure at location shown in the Drawings, or directed by the ENGINEER.
    - b. Core the hole in the structure, trimming the pipe flush with the structure, trimming the pipe flush with the pipe to seal it within the wall.
    - c. Reconstruct manhole bench/invert.
    - d. Make repairs to the structure.
  2. Connect to End of Existing Pipe (Stub):
    - a. Locate and expose end of existing stub.
    - b. Remove existing plug and connect to pipe.
- B. Pipe Installation:
  1. Excavation and Preparation of Trench: Conform to Section 02320 – Trench Excavation and Backfill.
  2. Lay and maintain pipe and appurtenances to the alignment, grade and location shown on the Drawings and/or staked in the field. No deviation from the Drawing and/or staked alignment, grade or location is allowed unless approved by the ENGINEER. Deviation from grade in excess of 0.05 percent may be cause for removal and relaying pipe at the CONTRACTOR'S expense.
  3. General Pipe Installation Procedure: Use joint lubricant in accordance to manufacturer's instructions. Lubricate joint, center spigot in bell, push spigot home, bring pipe to proper line and grade, and secure pipe in place by properly bedding.
  4. Lay pipe upgrade with spigot ends pointing in the direction of flow.
  5. Plug all openings to the installed pipe with suitable stoppers to prevent water, dirt, and debris from entering the sewer.
  6. Remove all foreign matter or dirt from interior of each pipe length as the work progresses. Keep the bell and spigot clean during and after installation. Take care to prevent dirt from entering the joint space. Remove any superfluous

material from inside the pipe after pipe installation by means of an approved follower or scraper.

7. All joints must be watertight. Repair any leaks discovered.
- C. Installing Structures and Appurtenances:
1. Furnish and install structures in accordance with Detail Plates as shown on the Drawings.
  2. Set precast concrete sections plumb with a 1/4 maximum out of plumb tolerance allowed.
  3. Install short precast section (maximum 16 inch height) immediately below the eccentric cone or precast top slab.
  4. Position vertical wall of the eccentric cone on the downstream side.
  5. Steps:
    - a. Locate over downstream pipe, except for pipe 24 inches in diameter or greater. Place steps where most appropriate to provide the most suitable access.
    - b. Secure and neatly mortar in place 15 inch on center spacing.
  6. Install Rings and Adjust Structure: Conform to Section 02280 – Adjust Miscellaneous Structures.
  7. Neatly mortar lift holes.
  8. All pipes entering the manhole must be cut with a power saw to provide a clean, smooth pipe surface.
- D. Drop Manhole Inlets: Conform to details.
- E. Sanitary Sewer Service Connections:
1. Wye:
    - a. Wye to be at 45 degree angle from horizontal.
    - b. Plugs installed with Atlastic 77, Sonolastic Sealant or equal or specifically designed for the opening to be plugged.
  2. PVC Risers:
    - a. Pour concrete casement around connection.
    - b. Pipe to be supported on undisturbed trench slope for entire riser length.
- F. Installation of Insulation:
1. Insulation over pipe in locations as indicated.
  2. Insulation is to be placed wherever sanitary sewer line comes within 3 feet of any storm structure or line or within 5 feet of the ground surface.

### 3.03 PROTECTION

- A. Plug all entrances and openings to the system promptly and before suspension of operations at the end of working day.
- B. Secure manholes and structures immediately after completion or before suspension of operations at the end of working day with casting or suitable alternative device.
- C. Mark structure susceptible to being hit by construction or vehicular traffic.
- D. Mark each plug location with 4 inch x 4 inch timber to above existing grade.



### 3.04 FIELD QUALITY CONTROL

- A. Scope:
1. Provide all labor, materials and equipment to perform tests.
  2. ENGINEER to observe and verify all tests and to visually inspect the final Work for compliance.
- B. Cleanup:
1. Clean Pipe and all Structures:
    - a. If newly installed mains and structures are kept clean during construction, cleaning will not be required.
    - b. If newly installed mains and/or structures become dirty due to negligence of the CONTRACTOR, cleaning will be performed at the sole expense of the CONTRACTOR.
  2. The bailing or flushing method of cleaning pipe is acceptable only if adequate provisions, acceptable to the Engineer, for keeping dirt and debris out of the existing sewer system or ponds are employed. Jetting may be required.
  3. Complete before final inspection for acceptance.
- C. Tests and Inspections:
1. Commence test procedures only when pipe and structures are clean and free of dirt, water, or other foreign matter, and for buried pipe, trench has been backfilled.
  2. Deflection testing shall be conducted at least 30 days after the pipe has been backfilled to the desired finish grade. Deflection testing shall be done in the presence of the Engineer:
    - a. Pipe Diameters through 24 Inches: Deflections shall be determined by pulling mandrel through the sewer main.
    - b. Mandrel Requirements: The mandrel shall have a minimum diameter equal to 95 percent of the Average Internal Diameter of the pipe. The 5 percent deflection allowance shall include both deflection occurring after burial and deformation which occurs as a result of the manufacturing process, shipping and pipe storage:
      - i) The Average Internal Diameter shall be determined as specified below:
        - a) Average Internal Diameter = (Average Outside Diameter) minus 2 x (Minimum Pipe Wall Thickness).
        - b) The Average Outside Diameter will be computed as the average of sixteen job site field measurements of the pipe before installation. Four outside diameter measurements will be made on each of four lengths of the particular diameter pipe to be tested. Measurements shall be made by the Contractor in the presence of the Engineer.
        - c) No adjustments to the Average Internal Diameter will be allowed for out-of-roundness, diameter variation, or thickness variation due to manufacture, shipping and handling.
      - ii) Mandrel shall be constructed of rigid steel, be non-adjustable, and have an odd number of legs (9 legs minimum). Its effective length shall not be less than its nominal diameter.
      - iii) Deflection Template/Bar Requirements:

- a) The circular template diameter (or rigid bar length) shall be equal to the Average Internal diameter
    - b) Circular templates shall be constructed of rigid materials and be non-adjustable.
    - c) Rigid bars shall have a 1 inch diameter circular section, be constructed of steel and be non-adjustable.
  - c. The OWNER reserves the right to measure the deflection of all flexible pipes at any time during the correction period. Deflections greater than 5 percent of the inside diameter of the pipe shall be considered failure. The CONTRACTOR may be required to re-excavate the trench, re-compact the backfill material, and restore the surface with no additional compensation for such work.
3. Low Pressure Air Test:
  - a. Must meet criteria set forth in ASTM C924 and ASTM F1417.
  - b. Pipe shall be cleaned but may be wetted. Pneumatic balls shall be used to plug the ends at manholes. Low-pressure air shall be introduced into plugged line until the internal air pressure reaches 4.0 psig greater than the average back pressure of any groundwater pressure that may submerge the pipe. At least 2 minutes shall be allowed for the pressure to stabilize before readings are taken and the timing started. During this time, check all plugs with soap solution to detect plug leakage. If any plugs are found to leak, air shall be bled off, the plugs shall be retightened and the air shall be reintroduced into the line.
  - c. The sewer line under test will be accepted as having passed the air test if the pressure does not drop more than 0.6 psig in less time than ½-minute per inch in diameter of the pipe being tested. The minimum starting pressure is 3.6 psig.
4. Inspect the newly installed pipe by remote TV. The video tape of each sewer line shall include audio description and printed stationing of service lateral locations. Provide the Engineer with a copy of the TV inspection tape, CD or DVD format.

### 3.05 MEASUREMENT AND PAYMENT

- A. Bid Items have been provided for Sanitary Sewer Spot Repair. Measurement will be based upon units of lineal feet for each size and type for furnishing and installing pipe complete in place as specified, including excavation, backfilling, compaction, and restoration. Pipe will be measured at the point of replacement per LINEAR FOOT.
- B. Televising Sanitary Sewer: All costs related to assisting the OWNER and ENGINEER in televising, including cleaning lines, providing access to structures, providing water for floating line, etc, is considered incidental to the installation of the sanitary sewer.

END OF SECTION 02 530

## SECTION 02 535

### SANITARY SEWER SERVICES

#### PART 1 - GENERAL

##### 1.01 SECTION INCLUDES

- A. Sanitary sewer service pipe replacement and all appurtenances.

##### 1.02 RELATED SECTIONS

- A. Section 02 320 – Trench Excavation and Backfill.
- B. Section 02 530 – Sanitary Sewerage.

##### 1.03 REFERENCES

- A. American Society of Testing Materials (ASTM):
  1. D698 – Test Method for Coefficient of Linear Thermal Expansion of Plastics.
  2. D1784 – Specification for Rigid Poly (Vinyl Chloride) (PVC) Compounds and Chlorinated Poly (Vinyl Chloride) (PVC) Compounds.
- B. American Water Works Association (AWWA):  
C900 – Polyvinyl Chloride (PVC) Pressure Pipe 4” through 12” Water Main.

##### 1.04 SYSTEM DESCRIPTION

- A. This work shall consist of the construction of sanitary sewer services in accordance with the requirements of the Contract.
- B. It is the intent of these specifications to require the same quality of work be received on the house services, in the way of grade and alignment, as shall be required on the main lines and laterals.

##### 1.05 SUBMITTALS

Submit to ENGINEER: Depth of service record, wye location, and length of service lines.

##### 1.06 SITE CONDITIONS

- A. All work must be confined to within the limits of construction easements or public right-of-way.
- B. Verify sanitary sewer service locations before the start of any construction.

##### 1.07 SEQUENCING AND SCHEDULING

- A. Install sanitary sewer, water main, and all pipe deeper than the services before the installation of the services.
- B. Install sanitary sewer service in same trench as the water service or as directed by the ENGINEER.

## PART 2 – PRODUCTS

### 2.01 MANUFACTURED UNITS

- A. PSM Poly (Vinyl Chloride) (PVC) Plastic Pipe and Fittings (4 Inch through 15 Inch Diameter):
  - 1. General: Pipe and fittings conform to ASTM D3034.
  - 2. Materials: PVC plastics having a minimum Cell Classification of 1254B or 12454C or 13364B as defined in ASTM D1784. Pipe materials shall have a minimum hydrostatic design stress of 2,000 psi as certified by the Plastic Pipe Institute. Additives and fillers including but not limited to stabilizers, antioxidants, lubricants, colorants, etc., shall not exceed 20 parts by weight per 100 of PVC resin in the compound. Certification of resin compounding shall be provided by the pipe manufacturer before shipment to the job site.
  - 3. Design: Integral wall bell and spigot joint and a minimum wall thickness conforming to SDR 26 and as shown on the Drawings.
  - 4. Joints: Conform to ASTM D3212. Joints shall be push-on type only with the bell-end grooved to receive a gasket. Elastomeric seal (gasket) shall have a basic polymer of synthetic rubber conforming to ASTM F477. Natural rubber gaskets will not be accepted.
  - 5. Marking: Each pipe shall be identified with the name of the manufacturer or trademark and code, nominal pipe size in inches, the PVC cell classification and “Specification D3034.”

### 2.02 BEDDING MATERIAL

See Section 02 320 – Trench Excavation and Backfill.

## PART 3 – EXECUTION

### 3.01 INSTALLATION

- A. Governing Code: *Standard Specifications for Sewer and Water Construction in Wisconsin*, Latest Edition and any local ordinances that may apply.
- B. Minimum ¼-inch per foot grade, unless otherwise directed by the ENGINEER.
- C. PVC Pipe and Fittings: Similar to main line sanitary sewer pipe installation.

### 3.02 FIELD QUALITY CONTROL

Do not backfill trench until the service has been inspected and approved by the ENGINEER.

### 3.04 MEASUREMENT AND PAYMENT

- A. All work and costs of this Section for the BASE BID shall be incidental to the Project and included in the TOTAL BASE BID.

END OF SECTION 05 235

## SECTION 02 720

### CRUSHED AGGREGATE BASE COURSE

#### ARTICLE 1. GENERAL

The requirements of the Contract Documents, including the General Conditions, the Supplementary Conditions, and Division I - General Requirements apply to this Section except as modified herein.

##### 1.01 Description

- A. Provide all labor, materials, and equipment as required to properly complete the crushed aggregate base course construction.
- B. The work under this section shall comply with the State of Wisconsin, Department of Transportation, *Standard Specifications for Highway and Structure Construction*, Latest Edition; Section 301.
- C. Work includes: Placement of crushed aggregate base course in areas, as directed by the ENGINEER.

#### ARTICLE 2. PRODUCTS

##### 2.01 Materials

Crushed aggregate base course for the lower layer of base course in base patching areas shall conform to Dense 1½-inch crushed limestone as defined in Subsection 301.2 of the Standard Specifications.

#### ARTICLE 3. EXECUTION

##### 3.01 Placement

- A. All construction shall conform to Section 305 of the Standard Specifications.
- B. As directed by the ENGINEER, ¾-inch crushed aggregate base course shall be placed and mixed with pulverized pavement in areas.

#### ARTICLE 4. MEASUREMENT AND PAYMENT

##### 4.01 Measurement and Payment

- A. All work and costs of this Section for the BASE BID shall be incidental to the Project and included in the TOTAL BASE BID.

END OF SECTION 02 720

## SECTION 02 740

### ASPHALTIC CONCRETE PAVEMENT

#### PART 1 - GENERAL

##### 1.01 SECTION INCLUDES

Work in this section includes constructing asphaltic surfaces for new pavements.

##### 1.02 REFERENCES

- A. State of Wisconsin Department of Transportation Standard Specifications for Highway and Structure Construction – Latest Edition (WisDOT Specifications) and current supplements
- B. Section 450 – General Requirements for Asphaltic Pavements
- C. Section 455 – Asphaltic Materials
- D. Section 460 – Hot Mix Asphalt Pavement
- E. Section 465 – Asphaltic Surface

##### 1.03 SUBMITTALS

The CONTRACTOR shall develop and submit to the ENGINEER an asphaltic mixture design according to the WisDOT's test method number 1559 and conforming to the requirements of Table 460-1 and Table 460-2 of the WisDOT Specifications. The mix design shall be submitted not less than 2 weeks before the start of paving and not be more than 2 months old.

##### 1.04 QUALITY CONTROL

- A. The CONTRACTOR shall provide and maintain a quality control program. A quality control program is defined as all the activities, including mix design, process control inspection, sampling and testing, and necessary adjustments in the process that are related to the production of a hot mix asphaltic pavement that meets the requirements of the Specifications.
- B. Plant acceptance
  - 1. Asphaltic mixtures for paving shall be produced in a plant approved by a recognized public agency.
  - 2. Before placing asphaltic mixtures, submit to the ENGINEER for approval the name of the plant proposed for use and the names of the approving agencies.

##### 1.05 QUALITY ASSURANCE

The ENGINEER may obtain samples of the mix from the plant or the paver to test for compliance to the Specifications. Samples may be tested for asphaltic cement content and/or aggregate gradation.

## PART 2 – PRODUCTS

### 2.01 ASPHALTIC MATERIALS

- A. Asphaltic material shall comply with the applicable provisions of the WisDOT Specifications noted above for an HMA Pavement Type E-0.3.
- B. A 3½-inch total thickness bituminous pavement shall be laid as described below. Before its installation, the recycled base shall be reshaped to a 22-foot width and a 3- to 4-inch crown to obtain the proper cross section.

## PART 3 – EXECUTION

### 3.01 BINDER COURSE

- A. Binder Course Aggregates shall conform to WisDOT gradation requirements for lower level mixes. Aggregate size should be 19 mm (¾-inch) with mix designed towards the finer end of the gradation band. Bituminous binder material in the composite mix shall be PG 58-28 or PG 64-22.
- B. A 2-inch thick binder course HMA Pavement Type E-0.3 asphalt pavement is to be laid on the interior of the street in accordance with requirements of Sections 405 and 407 of the WisDOT Specifications.

### 3.02 SURFACE COURSE

- A. Surface Course Aggregate shall conform to WisDOT gradation requirements for upper level mixes. Aggregate size should be 12.5 mm (½-inch) with mix designed towards the finer end of the gradation band. Bituminous binder material in the composite mix shall be PG 58-28 or PG 64-22.
- B. A 1.5-inch thick surface course HMA Pavement Type E-0.3 asphalt pavement is to be laid on the interior of the street in accordance with requirements of Sections 405 and 407 of the WisDOT Specifications.
- C. Apply tack coat to binder course under this Contract. Rate of application shall be 0.025 gallon per square yard.

### 3.03 DRIVEWAYS

All driveways shall be sawed to create a butt joint after existing pavement have been pulverized and shaped. The location of a butt joint will be determined in the field by the ENGINEER. Replacement material shall be surface course bituminous placed at a minimum thickness of 1½ inches. The material used shall be paid for under the Unit Price for this item.

### 3.04 MEASUREMENT AND PAYMENT

- A. All work and costs of this Section for the BASE BID shall be incidental to the Project and included in the TOTAL BASE BID.

END OF SECTION 02 740

## SECTION 02 920

### LAWNS AND GRASSES

#### PART 1 – GENERAL

##### 1.01 RELATED DOCUMENTS

General provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

##### 1.02 REFERENCES

- A. State of Wisconsin Department of Transportation *Standard Specifications for Highway and Structure Construction* - Latest Edition (WisDOT Specifications) and current supplements:
  - 1. Section 624 – Water
  - 2. Section 625 – Topsoil and Salvaged Topsoil
  - 3. Section 627 – Mulching
  - 4. Section 629 – Fertilizer and Agricultural Limestone
  - 5. Section 630 – Seeding

##### 1.03 QUALITY ASSURANCE

- A. Installer Qualifications: A qualified landscape installer whose work has resulted in successful lawn establishment.
- B. Installer's Field Supervision: Require Installer to maintain an experienced full-time supervisor on Project site when planting is in progress.
- C. Topsoil Analysis: Furnish soil analysis by a qualified soil-testing laboratory stating percentages of organic matter; gradation of sand, silt, and clay content; cation exchange capacity; deleterious material; pH; and mineral and plant-nutrient content of topsoil.
- D. Report suitability of topsoil for lawn growth. State-recommended quantities of nitrogen, phosphorus, and potash nutrients and soil amendments to be added to produce satisfactory topsoil.

##### 1.04 DELIVERY, STORAGE, AND HANDLING

Deliver seed in original sealed, labeled, and undamaged containers.

##### 1.05 PROJECT CONDITIONS

- A. Planting Restrictions: Plant during one of the following periods. Coordinate planting periods with initial maintenance periods to provide required maintenance from date of planting completion.
  - 1. Spring Planting: April 15 through June 1
  - 2. Fall Planting: September 15 through October 15.
- B. Weather Limitations: Proceed with planting only when existing and forecasted weather conditions permit.



## PART 2 – PRODUCTS

### 2.01 TOPSOIL

- A. Topsoil to conform to Section 625 of the State Specifications.
- B. Topsoil to be imported from a source approved by the ENGINEER/OWNER.
- C. Topsoil shall consist of the natural loam, sandy loam, silt loam, silty clay loam or clay loam humus-bearing soils adapted to the sustenance of plant life.

### 2.02 FERTILIZER

All fertilizer shall conform to Section 629 of the WisDOT Specifications. Fertilizer shall be Type A as specified in Section 629.2.1.2 of the WisDOT Specifications and applied under construction Methods for Type A as detailed in Section 629.3.1.2 of the WisDOT Specifications.

### 2.03 SEED

All seed shall conform to Seed Mix No. 40, Section 630 of the WisDOT Specifications. Seed Mix No. 40 shall be applied as specified in Section 630.3.3.1 of the WisDOT Specifications.

### 2.04 MULCHES

All mulches shall conform to Section 627 of the WisDOT Specifications. Mulch material shall be as specified in Section 627.2 of the WisDOT Specifications and applied under construction Method B, Tackifier as detailed in Section 627.3.2.2 of the WisDOT Specifications

### 2.05 EXAMINATION

- A. Examine areas to receive lawns and grass for compliance with requirements and other conditions affecting performance.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

### 2.06 PREPARATION

- A. Protect structures, utilities, sidewalks, pavements, and other facilities, trees, shrubs, and plantings from damage caused by planting operations.
- B. Protect adjacent and adjoining areas from hydroseeding and hydromulching overspray.
- C. Protect grade stakes set by others until directed to remove them.
- D. Provide erosion-control measures to prevent erosion or displacement of soils and discharge of soil-bearing water runoff or airborne dust to adjacent properties and walkways.

### 2.07 LAWN PREPARATION

- A. Newly Graded Subgrades: Loosen subgrade to a minimum depth of 4 inches. Remove stones larger than 1½ inches in any dimension and sticks, roots, rubbish, and other extraneous matter and legally dispose of them off OWNER'S property.

- B. Apply fertilizer directly to subgrade before loosening.
- C. Thoroughly blend planting soil mix off-site before spreading or spread topsoil, apply soil amendments and fertilizer on surface, and thoroughly blend planting soil mix.
- D. Delay mixing fertilizer with planting soil if planting will not proceed within a few days.
- E. Mix lime with dry soil before mixing fertilizer.
- F. Spread planting soil mix to a depth of 4 inches but not less than required to meet finish grades after light rolling and natural settlement. Do not spread if planting soil or subgrade is frozen, muddy, or excessively wet.
- G. Spread approximately half the thickness of planting soil mix over loosened subgrade. Mix thoroughly into top 4 inches of subgrade. Spread remainder of planting soil mix.
- H. Reduce elevation of planting soil to allow for soil thickness of sod.
- I. Finish Grading: Grade planting areas to a smooth, uniform surface plane with loose, uniformly fine texture. Grade to within plus or minus ½-inch of finish elevation. Roll and rake, remove ridges, and fill depressions to meet finish grades. Limit finish grading to areas that can be planted in the immediate future.
- J. Moisten prepared lawn areas before planting if soil is dry. Water thoroughly and allow surface to dry before planting. Do not create muddy soil.
- K. Before planting, restore areas if eroded or otherwise disturbed after finish grading.

## 2.08 SEEDING

- A. Sow seed with spreader or seeding machine. Do not broadcast or drop seed when wind velocity exceeds 5 mph. Evenly distribute seed by sowing equal quantities in two directions at right angles to each other.
- B. Do not use wet seed or seed that is moldy or otherwise damaged.
- C. Do not seed against existing trees. Limit extent of seed to outside edge of planting saucer.
- D. Sowing rates vary with grass species and mixtures.
  1. Sow seed at a total rate of 2 lb/1000 sq. ft.
  2. Rake seed lightly into top ¼-inch of soil, roll lightly, and water with fine spray.
- E. Protect seeded areas with slopes not exceeding 1:6 by spreading mulch. Spread uniformly at a minimum rate of 2 tons/acre to form a continuous blanket 1½ inches in loose depth over seeded areas. Spread by hand, blower, or other suitable equipment.
- F. Protect seeded areas from hot, dry weather or drying winds by applying compost mulch within 24 hours after completing seeding operations. Soak areas, scatter mulch uniformly to a depth of ¾-inch, and roll surface smooth.

## 2.09 HYDROSEEDING

- A. Hydroseeding: Mix specified seed, fertilizer, and fiber mulch in water, using equipment specifically designed for hydroseed application. Continue mixing until uniformly blended into homogeneous slurry suitable for hydraulic application.
- B. Mix slurry with fiber-mulch manufacturer's recommended tackifier.
- C. Apply slurry uniformly to all areas to be seeded in a one-step process. Apply slurry at a rate so that mulch component is deposited at not less than 1500-lb/acre dry weight, and seed component is deposited at not less than the specified seed-sowing rate.
- D. Apply slurry uniformly to all areas to be seeded in a two-step process. Apply first slurry coat at a rate so that mulch component is deposited at not less than 500-lb/acre dry weight, and seed component is deposited at not less than the specified seed-sowing rate. Apply slurry cover coat of fiber mulch (hydromulching) at a rate of 1000 lb/acre.
- E. Consider adding weed-control requirements during meadow establishment. Consider adding a single fall mowing to a height of 4 to 6 inches (100 to 150 mm) if landscape Installer is required to maintain meadow during fall season.

## 2.10 CLEANUP AND PROTECTION

- A. Promptly remove soil and debris, created by lawn work, from paved areas. Clean wheels of vehicles before leaving site to avoid tracking soil onto roads, walks, or other paved areas.
- B. Erect temporary fencing or barricades and warning signs as required to protect newly planted areas from traffic. Maintain fencing and barricades throughout initial maintenance period and remove after lawn is established.
- C. Remove non-degradable erosion-control measures after grass establishment period.

END OF SECTION 02 920

## SECTION 02 956

### PIPE REHABILITATION BY CURED-IN-PLACE-PIPE (CIPP)

#### PART 1 - GENERAL

##### 1.01 SECTION INCLUDES

Rehabilitation of deteriorated and leaking gravity pipe sections by installation of a thermosetting resin impregnated flexible felt fiber tube into a cured-in-place-pipe (CIPP).

##### 1.02 RELATED SECTIONS

A. Section 02 530 - Sanitary Sewer.

##### 1.03 REFERENCES

- A. American Society for Testing and Materials (ASTM):
1. D-638 – Test Method for Tensile Properties of Plastics.
  2. D-790 - Test for Flexural Properties of Plastics.
  3. F-1216 - Rehabilitation of Existing Pipelines by the Inversion and Curing of a Resin Impregnated Tube.

##### 1.04 SUBMITTALS

- A. Manufacturer's certification of compliance.
- B. License of certificate verifying manufacturer's/licensor approval of installer.
- C. Construction Sequence.
- D. Product data and manufacturer's recommended installation procedures.
- E. Cure summary after the approved curing schedule is completed.
- F. Installer completed project list which includes: project name, the number, total length and locations of inversions installed to date and the names and phone numbers of the facility Owners.

#### PART 2 - PRODUCTS

##### 2.01 CURED-IN-PLACE PIPE MATERIALS

- A. Felt Tube
1. The tube shall be supplied by the system licensor conforming to ASTM F-1216.
  2. The tubing shall be properly sized to the diameter of the pipe and the length of the pipe to be rehabilitated and be able to stretch to fit irregular pipe sections.
  3. Physical Characteristics - Cured Pipe Physical Strength:

Property	ASTM Test Method	Vinyl Ester System	Polyester System	Filled Polyester System
Flexural Strength	D790	5,000 psi	4500 psi	4500 psi
Flexural Modulus (Initial)	D790	300,000 psi	250,000 psi	400,000 psi
Flexural Modulus (50 year)	D790	180,000 psi	125,000 psi	200,000 psi

4. The felt tubular material shall be lined on one side with a translucent waterproof coating such as polyurethane, polyethylene or polyvinylchloride (PVC), and be fully impregnated with a liquid thermosetting polyester or vinylester resin and catalyst system compatible with the inversion process.
5. No materials shall be included in the tubes, which are subject to delamination in the cured CIPP.
6. The layer of the cured CIPP shall be uniformly bonded. It shall not be possible to separate any two layers with a probe; nor shall separation of the layers occur during testing performed under the requirements of this specification.

**B. Resin/Catalyst**

1. The liquid thermosetting resin used to impregnate shall be a polyester, vinylester, or epoxy resin compatible with the approved liner and a compatible catalyst system.
2. The resin shall not contain fillers or additives, except those required for viscosity control, fire retardant, modulus enhancement, chemical resistance, or extension of pot life.
3. Thixotropic agents that will not interfere with visual inspection may be added for viscosity control.

**C. Structural Requirements**

1. The CIPP thickness shall be calculated and designed based upon the following physical condition of the existing pipe to be rehabilitated.
  - a. All pipes shall be considered partially deteriorated.
  - b. All pipes shall be subjected to soil load of 120 lbs/cu ft with applicable live load and water table below the top of the ground.
  - c. All pipes shall have a minimum of 2 percent ovality in the circumference.
  - d. Any pipelines running under highways, city streets, or other roadways shall be assumed to carry highway live loads of (16,000 lbs.).
2. Conditions may change after the TV report, for later case by case design calculations.

**PART 3 - EXECUTION**

**3.01 PRE-INSTALLATION PROCEDURES**

- A. Clean existing pipe by removing interior debris by bucketing, jetting or other appropriate methods before the pre-installation television inspection at a cost incidental to the project.
- B. Inspect existing sewer pipe by remote TV camera immediately before installation to locate breaks, obstructions and defects. Allow the ENGINEER to review TV inspection

videotapes. Verify whether service wyes and connections are active with pan and tilt TV camera inspection.

- C. Remove or cut back protruding sewer service taps within the sewer pipes to be CIPP lined.
- D. Provide for flow of sewage around the sections of pipe to be rehabilitated.
- E. Clear line of obstructions. Obstructions may include, but not necessarily be limited to solids, dropped joints, protruding service connections or collapsed pipe.

### 3.02 RESIN IMPREGNATION

- A. The CONTRACTOR shall designate a location where the felt tube will be impregnated.
- B. The quantity of resin used for tube impregnation shall be sufficient to fill the volume of air voids in the tube with additional allowances for polymerization shrinkage and the loss of resin through cracks and irregularities in the original pipe wall.
- C. Impregnate tube before installation. The Engineer shall be advised of time and location of vacuum impregnation and shall be allowed to witness procedure. The CONTRACTOR is to provide 24-hour notice before work is to begin.

### 3.03 INVERSION USING HYDROSTATIC HEAD

- A. Insert impregnated tube through manhole by means of an inversion process. Insert tube into the inversion standpipe with impermeable plastic membrane side out. Turn tube inside out at the lower end of the inversion standpipe and attach to the standpipe to create a leak proof seal. Apply hydrostatic head sufficient to fully extend tube to termination point. Adjust the inversion head to be of sufficient height to cause the impregnated tube to invert from manhole to manhole and hold the tube tight to the pipe wall, produce dimples at side connections and flared ends at the manholes. Use lubricant as necessary.
- B. Care shall be taken not to overstress the felt tube at the elevated during temperatures, which may cause damage or failure before cure.

### 3.04 CURING USING CIRCULATED HEATED WATER

- A. After the inversion process is completed, the CONTRACTOR shall supply a suitable heat source and water throughout the section to uniformly raise the water temperature above the temperature required to affect a cure of the resin. The resin/catalyst system manufacturer shall recommend the temperature.
- B. The heat source shall be fitted with suitable monitors to gauge the temperature of the incoming and outgoing water supply. Another such gauge shall be placed between the layers of the impregnated felt tube in the upstream, downstream, and intermediate manholes to determine the temperature during curing.
- C. Water temperature in the line during the curing period shall not be less than 140° F or more than 200° F as measured at the heat source return line.

- D. Initial cure may be considered complete when the exposed portions of the felt tube pipe appear to be hard, and the remote sensing device indicates the temperatures to be adequate, as recommended by the resin/catalyst system manufacturer.

### 3.05 COOLING DOWN

- A. Cool the hardened cured-in-place-pipe to a temperature below 100° F before relieving the water column.

Cool water may be added to the water column while draining hot water from a small hole at the end of the cured-in-place-pipe so that a constant water column height is maintained until cool-down is completed.

- B. Careful attention shall be taken not to cool too quickly to eliminate the possibility of thermoshock.

### 3.06 SERVICE CONNECTION

- A. After curing, reconnect existing services.
  - 1. Service reconnects must be accomplished within 8-hours of beginning the inversion process.
  - 2. Maintain sanitary sewer service during the installation process.
- B. Reconnection shall be done without excavation from the interior of the pipe by means of a television camera and a cutting device that reinstates the service to not less than 90 percent of their original capacity.

The CONTRACTOR shall certify that there is a minimum of one complete working unit plus spare key components on the site before each inversion.

### 3.07 FINAL/FINISH

- A. The liner shall make a tight seal at the manhole opening with no annular gaps. This procedure shall be completed before proceeding to the next manhole section.
- B. The finished pipe shall be continuous over the entire length of the sewer section. The finished liner shall tightly conform to the walls of the existing pipe.
- C. No gap or annular space between the finished liner and the host pipe shall be allowed or be visible at the manhole, sewer service connection, or other exposed points within the finished liner section.

### 3.08 QUALITY CONTROL

- A. Conduct an internal TV inspection of completed work. Provide the ENGINEER with a copy of the TV data in CD or DVD format.
- B. Test samples of the cured material for physical strength specified herein before. A sample will be taken from the wet out tube, clamped between flat plates and cured in the down-tube.
- C. All CIPP pipes should be tested using an exfiltration test methods where the CIPP is plugged at both ends and filled with water. This test should take place after the CIPP

has cooled down to ambient temperature. This test is limited to pipe lengths with no service laterals and diameters of 36" or less. The allowable water exfiltration for any length of pipe between termination points should not exceed 50 U.S. gallons per inch of internal pipe diameter per mile per day, providing that all air has been bled from the line. During exfiltration testing, the maximum internal pipe pressure at the lowest end should not exceed 10 ft (30 m) of water or 4.3 psi (29.7 kPa), and the water level inside of the inversion standpipe should be 2 ft (0.6 m) higher than the top of the pipe or 2 ft (0.6 m) higher than groundwater level, whichever is greater. The leakage quantity should be gaged by the water level in a temporary standpipe placed in the upstream plug. The test should be conducted for a minimum of 1 hour.

### 3.09 MEASUREMENT AND PAYMENT

A Bid Item has been provided for Sanitary Sewer Televising, Cleaning, and Lining. The lining shall be cured in-place pipe and measurement will be by lineal feet of liner pipe installed and shall be measured between centerlines of manholes. Payment will constitute full compensation for all work and costs to furnish and install the lining complete in place, including: line clearing, bypass pumping, dewatering, sealing the liner in the manholes, reworking the manhole inverts and benches, service reconnection, testing and pre/post installation television.

END OF SECTION 02 956



## SECTION 02 957

### SANITARY SEWER MANHOLE INTERIOR REHABILITATION

#### PART 1 - GENERAL

##### 1.01 SUMMARY

- A. This specification shall govern all labor, materials, equipment and appliances necessary for the sanitary and storm sewer manhole interior rehabilitation for the purpose of infiltration and inflow, providing corrosion protection, repair of cracks and voids and restoration of the structural integrity of the manhole as a result to the application of a monolithic fiber-reinforced structural/structurally enhanced cementitious liner to the wall, ceiling and bench surfaces of concrete, brick or any other masonry construction material.

##### 1.02 SUBMITTALS

- A. Submit manufacturer's material data and application and installation instructions for all products used.
- B. Provide documentation that the proposed manhole rehabilitation process has a minimum 5 year history for reconstruction of sanitary and storm sewer manholes on projects of similar size and scope.

##### 1.03 QUALITY ASSURANCE

- A. Use, mix apply and cure all products in accordance with the manufacturer's recommendations and instructions.
- B. Provide recommended daily or lot test specimens for compressive strength and other testing per applicable ASTM standards.

#### PART 2 - PRODUCTS

##### 2.01 MATERIALS

- A. Patching Mix:
1. A quick-setting, fiber-reinforced cementitious material for patching and filling voids and cracks.
  2. Material shall have the following minimum requirements:

Compressive Strength	ASTM C-109	6hr 1,400 psi
Shrinkage	ASTM C-596	0% at 90% R.H.
Bond	ASTM C-321	28 day 150 psi
Cement		Sulfate resistant
Density, when applied		105 +/- pcf

B. Infiltration Control Mix:

1. A rapid setting cementitious product specifically formulated for infiltration control.
2. Material shall have the following minimum requirements:

Compressive Strength	ASTM C-109	24 hr	1000 psi
Bond	ASTM C-321	24 hr	80 psi

C. Grouting Mix:

1. A rapid-setting cementitious grout specifically formulated for stopping very active infiltration and filling voids.
2. A rapid-setting chemical grout specifically formulated for the stopping very active infiltration.

D. Liner Mix:

1. A fiber-reinforced cementitious liner material shall be wet mixed and low pressure spray applied to form the structural/structurally enhanced monolithic liner covering all interior manhole surfaces.
2. Material shall be pre-mixed and specially formulated to withstand abrasion in sewer networks.
3. Material shall have the following minimum requirements:

Compressive Strength	ASTM C-109	28 day > 8,000 psi
Flexural Strength	ASTM C-78	28 day > 1400 psi
Shrinkage	ASTM-596	0% at 90% R.H.

E. Bonding Compound:

Material shall be a modified cementitious bonding compound that protects exposed reinforcement steel and enhances bond of overlay to substrate

F. Water: Water shall be clean and potable

PART 3 - EXECUTION

3.01 MANHOLE PREPARATION

- A. Place covers over sewer inverts to prevent extraneous material from entering the sewer lines.
- B. Remove foreign, loose and unsound concrete and masonry material from the interior surfaces of the manhole by means of high pressure (1,500 psi minimum) water spray.
- C. Loose, unsound, and protruding concrete and masonry material not able to be removed by high pressure water spray may require the use of mason's or mechanical tools for removal.

- D. Clean the interior surfaces of the manhole with high pressure (1,500 psi minimum) water spray, using detergent, muriatic acid, antibacterial agent or other chemicals to remove grease, oil and other contaminants that would prevent good bond between the existing manhole interior surface and the liner material.
- E. Active hydrostatic leaks (infiltration) shall be stopped using the rapid-setting specially formulated infiltration control mix.
- F. Very active hydrostatic leaks (infiltration) shall be stopped using one of the rapid-setting grouting mixes specially formulated for control of very active infiltration.
- G. Clean and prepare exposed reinforcement steel, and apply and cure bonding compound, in accordance with the product manufacturer's instructions and recommendations.
- H. Prepare cracks and voids to be patched and filled, and apply and cure patching mix, in accordance with the product manufacturer's instructions and recommendations.
- I. Areas of manholes that are found to be structurally damaged and in need of repair beyond the scope of this specification shall be brought to the attention of the Engineer. A suitable repair method shall be developed for each area and submitted to the Engineer for review prior to commencing the repair.
- J. Prepare, clean and repair manhole benches and inverts in the same manner as prescribed above.

### 3.02 LINER APPLICATION, CURING AND TESTING

- A. Prepare manhole surfaces, wet batch-mix liner material, low pressure spray apply liner mix to manhole ceiling, wall and bench surfaces and allow liner to cure in accordance with the product manufacturer's instructions and recommendations.
- B. Liner application shall be 0.5 inch minimum thickness. The application shall be completed with a minimum of two coats. The first coat shall be applied at a thickness adequate to cover the substrate and be troweled to compact the material into voids and set the bond. The second coat shall be applied to ensure complete coverage at the specified 0.5 inch minimum thickness.
- C. Inverts shall be lined with patching mix, trowel applied in one coat to 0.5 inch minimum thickness.
- D. Prepare, label and submit recommended daily or per lot test specimens for testing.

### 3.03 CLEANING

- A. Clean manhole interiors and remove all construction-related materials, equipment and appliances from the manholes prior to reinstatement of the manholes to service.

## PART 4 - MEASUREMENT AND PAYMENT

### 4.01 MANHOLE INTERIOR LINING

- A. Measurement:

Measurement basis for payment for manhole interior lining shall be square feet of manhole interior surface lined at 0.5 inch minimum thickness.

B. Payment:

Payment for manhole interior lining shall be the number of square feet of manhole interior surface lined times the unit price bid per square foot of manhole interior lining.

C. Incidentals:

Manhole preparation, liner application, curing and testing, and cleaning shall be considered incidental to the unit price bid per square foot of manhole lining.

#### 4.02 MANHOLE STRUCTURAL REPAIRS

A. Measurement:

No measurement will be made for payment for manhole structural repairs.

B. Payment:

Payment for manhole structural repairs shall be on the basis of the negotiated time and material rates for each of the identified areas requiring structural repair.

END OF SECTION 02 957

02 957-4

**CONTRACT INFORMATION**

**EJCDC  
STANDARD FORM OF AGREEMENT  
BETWEEN OWNER AND CONTRACTOR  
ON THE BASIS OF A STIPULATED PRICE**

THIS AGREEMENT is dated as of the \_\_\_\_\_ day of \_\_\_\_\_ in the year \_\_\_\_\_ by and between the Village of Pleasant Prairie (hereinafter called OWNER) and \_\_\_\_\_ (hereinafter called CONTRACTOR).

OWNER and CONTRACTOR, in consideration of the mutual covenants hereinafter set forth, agree as follows:

**ARTICLE 1. WORK**

1.01 CONTRACTOR shall complete all Work as specified or indicated in the Contract Documents. The Work is generally described as follows:

The work consists of cured in-place pipe liner rehabilitation of approximately 800 feet of 10 inch diameter sanitary sewer, 950 feet of 15 inch diameter sanitary sewer, and the rehabilitation of approximately 75 vertical feet of in eight 48 inch diameter sanitary sewer manholes.

1.02 The Project for which the Work under Contract Documents may be the whole or only part of is generally described as follows.

The Work is part of a Project consisting of the rehabilitation of sanitary sewers, private sanitary laterals, and sanitary sewer manholes in the Cooper Road area of the Village of Pleasant Prairie.

**ARTICLE 2. ENGINEER**

2.01 The Project has been designed by Clark Dietz, Inc. who is hereinafter called ENGINEER and who is to act as OWNER'S representative, assume all duties and responsibilities and have the rights and authority assigned to ENGINEER in the Contract Documents in connection with completion of the Work in accordance with the Contract Documents.

**ARTICLE 3. CONTRACT TIMES**

3.01 The Work will be substantially completed on or before **FEBRUARY 1, 2013** and completed and ready for final payment on or before **MAY 15, 2013**.

3.02 Liquidated Damages. OWNER and CONTRACTOR recognize that time is of the essence of this Agreement and that OWNER will suffer financial loss if the Work is not completed within the times specified in the Paragraph above, plus any extension thereof allowed in accordance with Article 12 of the General Conditions. They also recognize the delays, expense and difficulties involved in proving in a legal or arbitration proceeding the actual loss suffered by OWNER if the Work is not completed on time. Accordingly, instead of requiring such proof, OWNER and CONTRACTOR agree that as liquidated damages for delay (but not as a penalty) CONTRACTOR shall pay OWNER **\$150**, plus additional engineering costs as set forth in Paragraph 14.10 of the Supplementary Conditions for each day that expires after the time specified in Paragraph 3.01 above for Substantial Completion until the Work is substantially complete.

After Substantial Completion, if CONTRACTOR shall neglect, refuse or fail to complete the remaining Work within the time specified in paragraph 3.01 above for completion and readiness for final payment or any proper extension thereof granted by OWNER, CONTRACTOR shall pay OWNER \$ 250, plus additional engineering costs as set forth in paragraph 14.10 of the Supplementary Conditions, for each day that expires after the time specified in paragraph 3.01 above for completion and readiness for final payment.

- 3.03 Permitting CONTRACTOR or Surety to continue and finish the Work or any part of the Work after the times specified for completion, or after the date which the times for completion may have been extended, shall in no way operate as a waiver on the part of the OWNER of its rights under the Contract.

#### **ARTICLE 4. CONTRACT PRICE**

- 4.01 OWNER shall pay CONTRACTOR for the completion of the Work in accordance with the Contract Documents in current funds as shown in the Unit Price Schedule as completed in the Bid Form.

#### **ARTICLE 5. PAYMENT PROCEDURES**

- 5.01 CONTRACTOR shall submit Applications for Payment in accordance with Article 14 of the General Conditions. Application for Payment will be processed by the ENGINEER as provided in the General Conditions.

- 5.01.1 OWNER reserves the right to make payments to the CONTRACTOR and its subcontractors in accordance with Wis. Statute 779.14(1)(1m)(d).

##### **Progress Payments:**

- 5.02 OWNER will make monthly progress payments on account of the Contract Price on the basis of CONTRACTOR'S Application for Payment as recommended by ENGINEER each month during the construction as provided below. All progress payments will be on the basis of the progress of Work measured by the schedule of values established in Paragraph 2.07 of the General Conditions (and in the case of Unit Price Work based on the number of units completed) or, in the event there is no schedule of values, as provided in the General Requirements.

##### **Retainage:**

- 5.02.1 After each Application for Payment has been found acceptable by the OWNER, OWNER will pay 95% of the estimated value less any previous payments to CONTRACTOR until the project is 50% complete. At 50% completion, further progress payments will be made in full to CONTRACTOR and no additional amounts will be retained unless ENGINEER determines that the character and progress of the Work is not proceeding satisfactorily. Amounts previously retained shall not be paid to CONTRACTOR. At 50% completion or any time thereafter when the character and progress of the Work is not satisfactory, additional amounts may be retained but in no event shall the total retainage be more than 10% of the value of the Work completed.
- 5.02.2 Upon Substantial Completion of the Work, the amount retained may be reduced. When the Work has been Substantially Completed except for Work which cannot be completed because of weather conditions, lack of materials or other reason which, in the judgment of OWNER are valid reasons for non-completion, OWNER may make additional payments, retaining at all times an amount sufficient to cover the estimated cost of the work still to be completed or corrected.

##### **Final Payment:**

- 5.03 Upon final completion and acceptance of the Work in accordance with Paragraph 14.07.B.1 of the General Conditions, OWNER shall pay the remainder of the Contract Price as recommended by ENGINEER as provided in said Paragraph 14.07.B.1, less liquidated damages as provided in Paragraph 3.02 above and less additional engineering costs as provided in Paragraph 14.10 of the Supplementary Conditions.

## **ARTICLE 6. CONTRACTORS REPRESENTATIONS**

- 6.01 CONTRACTOR has examined and carefully studied the Contract Documents (including the Addenda listed in Article 7) and other related data identified in the Bidding Documents.
- 6.02 CONTRACTOR has visited the site and become familiar with and is satisfied as to the general, local, and site conditions that may affect cost, progress, performance and furnishing of Work.
- 6.03 CONTRACTOR is familiar with and is satisfied as to all federal, state, and local Laws and Regulations that may affect cost, progress, performance, and furnishing of the Work.
- 6.04 CONTRACTOR has carefully studied all reports of explorations and tests of subsurface conditions at or contiguous to the site and all drawings of physical conditions in or relating to existing surface or subsurface structures at or contiguous to the site (except underground facilities) which have been identified in the Supplementary Conditions as provided in Paragraph 4.02.A of the General Conditions. CONTRACTOR accepts the determination set forth in Paragraph SC 4.02 of the Supplementary Conditions of the extent of the "technical data" contained in such reports and drawings upon which CONTRACTOR is entitled to rely as provided in Paragraph 4.02 of the General Conditions. CONTRACTOR acknowledges that such reports and drawings are not Contract Documents and may not be complete for CONTRACTOR'S purposes. CONTRACTOR acknowledges that OWNER and ENGINEER do not assume responsibility for the accuracy or completeness of information and data shown or indicated in the Contract Documents with respect to Underground Facilities at or contiguous to the site. CONTRACTOR has obtained and carefully studied (or assumes responsibility for having done so) all such additional supplementary examinations, investigations, explorations, tests, studies, and data concerning conditions (surface, subsurface, and Underground Facilities) at or contiguous to the site or otherwise which may affect cost, progress, performance or furnishing of the Work or which relate to any aspect of the means, methods, techniques, sequences, and procedures or construction to be employed by CONTRACTOR and safety precautions and programs incident thereto. CONTRACTOR does not consider that any additional examinations, investigations, explorations, tests, studies, or data are necessary for the performance and furnishing of the Work at the Contract Price, within the Contract Times and in accordance with the other terms and conditions of the Contract Documents.
- 6.05 CONTRACTOR is aware of the general nature of work to be performed by OWNER and others at the site that relates to the Work as indicated in the Contract Documents.
- 6.06 CONTRACTOR has correlated the information known to CONTRACTOR, information and observations obtained from visits to the site, reports, and drawings identified in the Contract Documents and all additional examinations, investigations, explorations, tests, studies and data with the Contract Documents.
- 6.07 CONTRACTOR has given ENGINEER written notice of all conflicts, errors, ambiguities or discrepancies that CONTRACTOR has discovered in the Contract Documents and the written resolution thereof by ENGINEER is acceptable to CONTRACTOR, and the Contract Documents



are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.

- 6.08 CONTRACTOR hereby covenants and agrees to pay all claims for labor, services, materials, plans, or specifications performed, furnished, procured, used, or consumed that pertains to the public improvement or public work.
- 6.09 CONTRACTOR agrees to extent practicable, to maintain a list of all subcontractors, suppliers, and service providers performing, furnishing, or procuring labor, services, materials, plans, or specifications under the Contract.
- 6.09.1 Subcontractor, supplier, or service provider means the following: Any person who has direct contractual relationship, expressed or implied, with the Prime CONTRACTOR or with any subcontractor of the Prime CONTRACTOR to perform, furnish, or procure labor, services, materials, plans, or specifications.

## **ARTICLE 7. CONTRACT DOCUMENTS**

- 7.01 The Contract Documents which comprise the entire Agreement between OWNER and CONTRACTOR concerning the Work consists of the following:
  - A. This Agreement.
  - B. Exhibits to this Agreement (bid form, documentation submitted by Contractor prior to Notice of Award).
  - C. Performance, Payment and other Bonds.
  - D. Notice of Award.
  - E. Notice to Proceed. (issued separately)
  - F. General Conditions.
  - G. Supplemental Conditions.
  - H. Special Provisions.
  - I. Drawings, and maps
  - J. Addenda numbers \_\_\_\_\_to \_\_\_\_\_, inclusive.
  - K. Wage Rates.
  - L. State and local forms.
  - M. The following which may be delivered or issued on or after the Effective Date of the Agreement and are not attached hereto: Work Change Directives, and Change Order(s).

**ARTICLE 8. MISCELLANEOUS**

- 8.01 All references to the General Conditions in any Contract Document shall be interpreted to include reference to the corresponding Article of Supplementary Conditions, whether stated or unstated in such reference.
- 8.02 Terms used in this Agreement which are defined in Article 1 of the General Conditions will have the meanings indicated in the General Conditions.
- 8.03 No assignment by a party hereto of any rights under of interests in the Contract Documents will be binding on another party hereto without the written consent of the party sought to be bound; and specifically but without limitation, moneys that may become due and moneys that are due may not be assigned without such consent (except to the extent that the effect of this restriction may be limited by law), and unless specifically stated to the contrary in any written consent to an assignment no assignment will release or discharge the assignor from any duty or responsibility under the Contract Documents.
- 8.04 OWNER and CONTRACTOR each bind itself, its partners, successors, assigns and legal representatives to the other party hereto, its partners, successors, assigns and legal representatives in respect to all covenants, agreements and obligations contained in the Contract Documents.

IN WITNESS WHEREOF, OWNER and CONTRACTOR have signed this Agreement in triplicate. One counterpart each has delivered to OWNER, ENGINEER and CONTRACTOR. All portions of the Contract Documents have been signed, initialed or identified by OWNER and CONTRACTOR.

This Agreement will be effective on \_\_\_\_\_, 20\_\_\_\_ (which is the effective Date of the Agreement).

Attest:

	_____
	(CONTRACTOR)
_____	_____
(Signature)	(Signature)
_____	_____
(Typed or Printed Name and Title)	(Typed or Printed Name and Title)

Address for giving notices:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

(If CONTRACTOR is a corporation, attach Evidence of authority to sign.)

CONTRACTOR'S License No. \_\_\_\_\_(If required by state or municipal law).

Attest:

Village of Pleasant Prairie  
(OWNER)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Typed or Printed Name and Title)

John P. Steinbrink, Village President  
(Typed or Printed Name and Title)

Address for giving notices:

Village of Pleasant Prairie

9915 39<sup>th</sup> Avenue

Pleasant Prairie, WI 53158

END OF AGREEMENT

This document has important legal consequences; consultation with an attorney is encouraged with respect to its use or modification. This document should be adapted to the particular circumstances of the contemplated Project and the Controlling Law.

# STANDARD GENERAL CONDITIONS OF THE CONSTRUCTION CONTRACT

Prepared by

**ENGINEERS JOINT CONTRACT DOCUMENTS COMMITTEE**

and

Issued and Published Jointly By



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*a practice division of the*  
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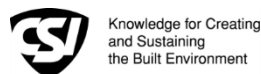
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Construction Specifications Institute

## **SUPPLEMENTARY CONDITIONS**

### **ARTICLE 0. GENERAL**

The Supplementary Conditions amend or supplement the “Standard General Condition Construction Contract” (EJCDC No. C-700, 2002 Edition) and other provisions of the Contract Documents as indicated below. All provisions which are not so amended or supplemented remain in full force and effect.

### **ARTICLE 1. DEFINITIONS AND TERMINOLOGY**

#### **SC 1.01.A.19**

Add the following language at the end of the definition entitled “ENGINEER”:  
Whenever the word ARCHITECT is used in the Specifications, it shall have the same meaning as the word ENGINEER as defined.

### **ARTICLE 2. PRELIMINARY MATTERS.**

#### **SC 2.01.B**

Delete paragraph 2.01.B of the General Conditions in its entirety and replace with the following:

Delivery of evidence of insurance:

2.01.B When CONTRACTOR delivers the executed Agreement to ENGINEER, CONTRACTOR shall also deliver to ENGINEER, with a copy to each additional insured identified, certificates of insurance (and other evidence of insurance which OWNER or any additional insured may reasonably request) which CONTRACTOR is required to purchase and maintain in accordance with Article 5 of the General Conditions.

Before any Work at the site is started, OWNER will deliver to CONTRACTOR certificates of insurance (and any other evidence of insurance which CONTRACTOR or any additional insured may reasonably request), which OWNER is required to purchase and maintain in accordance with Article 5 of the General Conditions.

#### **SC 2.03**

Delete Subsection 2.03 of the General Conditions in its entirety and insert the following in its place:

#### **SC 2.03.A**

The Contract times will commence to run on the date indicated in the Notice to Proceed.

#### **SC 2.04**

Delete Subsection 2.04.A of the General Conditions in its entirety and insert the following in its place:

#### **SC 2.04.A**

CONTRACTOR shall start to perform the Work in accordance with the dates established in the Notice to Proceed.

#### **SC 2.05.A.3**

Amend the first sentence of paragraph 2.05.A.3 of the General Conditions by inserting the words “Except for Unit Price Work”, at the beginning of the sentence.

**SC 2.06.A**

Add new paragraphs immediately after paragraph 2.06 of the General Conditions which are to read as follows:

- 2.06.A.1 The conference will be held at a location selected by OWNER. The conference shall be attended by:
  - 2.06.A.1.a CONTRACTOR'S Office Representative.
  - 2.06.A.1.b CONTRACTOR'S Resident Superintendent.
  - 2.06.A.1.c CONTRACTOR'S Safety Representative
  - 2.06.A.1.d Any Subcontractors' or Suppliers' representative who CONTRACTOR may desire to invite or ENGINEER may request.
  - 2.06.A.1.e OWNER'S Representative
  - 2.06.A.1.f ENGINEER'S Representatives and any ENGINEER'S Consultants ENGINEER may invite.
  - 2.06.A.1.g Local Utilities' Representative.
  
- 2.06.A.2 A suggested format would include, but not be limited to the following subjects:
  - 2.06.A.2.a Project Safety.
  - 2.06.A.2.b Presentation of the preliminary progress schedule in accordance with the Special Provisions or General Requirements.
  - 2.06.A.2.c Liquidated damages.
  - 2.06.A.2.d Procedures for handling submittals such as Shop Drawings and other submittals.
  - 2.06.A.2.e Direction of correspondence and coordinating responsibility between CONTRACTORS.
  - 2.06.A.2.f Project meetings.
  - 2.06.A.2.g Laboratory testing of material requirements.
  - 2.06.A.2.h Procedures for inventory of material and equipment stored on-site or off-site, if off-site storage is authorized.
  - 2.06.A.2.i Review schedule of values, application for progress payment, and progress payment procedures.
  - 2.06.A.2.j Change Order procedures.
  - 2.06.A.2.k CONTRACTOR'S proposed Erosion Control Plan.

**ARTICLE 3. CONTRACT DOCUMENTS: INTENT, AMENDING, REUSE**

No noted changes.

**ARTICLE 4. AVAILABILITY OF LANDS; SUBSURFACE AND PHYSICAL CONDITIONS; REFERENCE POINTS**

**SC 4.02**

In the preparation of Drawings and Specifications, ENGINEER or ENGINEER'S Consultant have relied upon:

- 4.02.A.1.a No reports of subsurface investigations were prepared for this project.
  
- 4.02.A.2.a No reports or drawings of physical conditions of existing surface and subsurface structures (except Underground Facilities) were prepared for or utilized in the design of this project.

**SC 4.04**

Delete the last sentence of paragraph 4.04.B.2 of the General Conditions and insert the following in its place:

ENGINEER'S decision shall be final.

**SC 4.05**

Add the following sub-paragraph to paragraph 4.05.A of the General Conditions:

4.05.A.1 ENGINEER will provide a one time staking of the project at no expense to CONTRACTOR. Additional staking will be performed by ENGINEER at a per hour charge-out rate. Notification of at least three (3) working days is required when making periodic request for line and grade.

**ARTICLE 5. BONDS AND INSURANCE**

**SC 5.01**

Delete the term "becomes due" from the second sentence of paragraph 5.01.A. of the General Conditions and insert the term "is made".

Add the following language at the end of paragraph 5.01.C. of the General Conditions:

In addition, no further progress payments under the Agreement will be made by OWNER until CONTRACTOR complies with the provisions of this paragraph.

Add a paragraph 5.01.D. following paragraph 5.01.C. of the General Conditions which is to read as follows:

- 5.01D.(1) The Bonds required herein shall be approved as to form by the OWNER'S Attorney.
- 5.01.D.(2) No assignment, modification or change in the Work covered thereby or extension of time for the completion of the contract may release the sureties on the Bonds required herein.

**SC 5.03.A.**

5.03.A CONTRACTOR shall deliver to ENGINEER, with copies to each additional insured identified in the Supplementary Conditions, certificates of insurance (and other evidence of insurance requested by OWNER or any other additional insured) which CONTRACTOR is required to purchase and maintain in accordance with paragraphs 5.04, hereof.

The follow entities shall be listed as insured or additional insured:

- (1) Village of Pleasant Prairie
- (2) Clark Dietz, Inc..

**SC. 5.03B.**

Delete paragraph 5.03B of the General Conditions in its entirety.

**CONTRACTOR'S LIABILITY INSURANCE**

**SC 5.04**

Add the following new paragraph immediately after paragraph 5.04.B:

- C. The limits of liability for the insurance required by paragraph 5.04 of the General Conditions shall provide coverage for not less than the following amounts, or greater where required by Laws and Regulations:
1. Workers' Compensation, and related coverages under paragraphs 5.04.A.1 and A.2 of the General Conditions:
    - a. State: Statutory
    - b. Applicable Federal (e.g., Longshoreman's): Statutory
    - c. Employer's Liability: \$100,000
  2. CONTRACTOR'S General Liability under paragraphs 5.04.A.3 through A.6 of the General Conditions which shall include completed operations and product liability coverages and eliminate the exclusion with respect to property under the care, custody and control of CONTRACTOR:
    - a. General Aggregate \$2,000,000
    - b. Products - Completed Operations Aggregate: \$2,000,000
    - c. Personal and Advertising Injury \$2,000,000
    - d. Each Occurrence (Bodily Injury and Property Damage) \$2,000,000
    - e. Property Damage liability insurance will provide Explosion, Collapse, and Underground coverages where applicable.
    - f. Excess or Umbrella Liability
      - 1) General Aggregate \$1,000,000
      - 2) Each Occurrence \$1,000,000
      - 3) Automobile under paragraph 5.04.A.6 of the General Conditions:
        - a. Bodily Injury:  
Each Accident \$2,000,000  
Annual Aggregate \$2,000,000
        - b. Property Damage  
Each Accident \$2,000,000  
Annual Aggregate \$2,000,000

PROPERTY INSURANCE — PROVIDED BY CONTRACTOR



#### **SC 5.06.A**

Delete paragraph 5.06.A of the General Conditions in its entirety and insert the following in its place:

- A. CONTRACTOR shall purchase and maintain property insurance upon the Work at the Site in the amount of the full replacement cost thereof. This insurance shall:
1. include the interests of OWNER, CONTRACTOR, Subcontractors, ENGINEER, ENGINEER'S Consultants and any other individuals or entities identified in the Supplementary Conditions, and the officers, directors, partners, employees, agents and other consultants and subcontractors of any of them, each of whom is deemed to have an insurable interest and shall be listed as an insured or additional Insured;
    - a. Include those entities listed in Section 5.03.A above;
  2. include expenses incurred in the repair or replacement of any insured property (including but not limited to fees and charges of engineers and architects);
  3. cover materials and equipment stored at the Site or at another location that was agreed to in writing by OWNER prior to being incorporated in the Work, provided that such materials and equipment have been included in an Application for Payment recommended by ENGINEER;
  4. allow for partial utilization of the Work by OWNER;
  5. include testing and startup; and
  6. be maintained in effect until final payment is made unless otherwise agreed to in writing by OWNER, CONTRACTOR and ENGINEER with 30 days written notice to each other additional insured to whom a certificate of insurance has been issued.

#### **SC 5.06.B**

Delete paragraph 5.06.B of the General Conditions in its entirety.

#### **SC 5.06.D**

Delete paragraph 5.06.D of the General Conditions in its entirety.

#### **SC 5.06.E**

Delete paragraph 5.06.E of the General Conditions in its entirety.

### **ARTICLE 6. CONTRACTOR'S RESPONSIBILITIES**

#### **SC 6.02**

Insert the following sentence after Subsection 6.02.A:

In addition, and to the extent practicable, the CONTRACTOR shall maintain a list of all subcontractors and suppliers performing labor or furnishing materials under the Contract. Such list shall be provided to the ENGINEER or OWNER upon request.

#### **SC 6.03.A.**

Delete the term "General Documents" from the first sentence of paragraph 6.03.A General Conditions and insert the term "Special Provisions"

**SC 6.05.A.**

Delete paragraph 6.05.A of the General Conditions in its entirety and replace with following:

- 6.05.A Whenever an item of material or equipment is specified or described in the Contract Documents by using the name of a proprietary item or the name of a particular Supplier, the specification or description is intended to establish the type, function, appearance, and quality required, and unless followed by the term “or equal” also establishes the OWNER’S established standard of such material or equipment and no substitution is allowed.

Delete subparagraph 6.05.A.1 of the General Conditions in its entirety and replace with the following:

6.05.A.1 “Or Equal”: CONTRACTOR may furnish alternate materials in place of those specified in the following Special Provisions where “or equal” is stated and the following provisions have been complied with.

- a. If CONTRACTOR wishes to substitute an alternate material as an “equal” to the material specified, it shall first submit a written detailed description of such to ENGINEER with additional copy for OWNER for their review and approval/disapproval. CONTRACTOR shall not install any alternate materials prior to receiving written approval of OWNER for their use. Only those materials listed in the Special Provisions or approved as alternates may be used on this Project.

Add the following paragraphs to paragraph 6.05.A.2.d of the General Conditions:

The application for review of a substitute shall be on the CONTRACTOR’S Application for Consideration of Substitution form provided by the CONTRACTOR and included with the submittal. The Installation List included with the Application shall include only Installations of the proposed substitute in applications of approximately the same size and complexity, and the same design as those to be furnished for the Project. Included in the Installation List, at a minimum, shall be the OWNER’S name, address, and telephone number; location and name of project; installation date, startup date, and date of final acceptance by OWNER; and application of material or equipment.

If the experience indicated by the Installation List does not demonstrate at least five years of successful operation of the proposed substitute item, OWNER may require CONTRACTOR and Supplier to furnish, at CONTRACTOR’S expense, a special performance guarantee with surety bond as required by paragraph 6.05.C of the General Conditions with respect to the substitute.

Only the time period between final acceptance of the proposed material or equipment on the referenced project and the Bid date for this Project will count towards the required satisfactory experience of the proposed substitute item. ENGINEER will be the sole judge of acceptability of experience, time credited, and whether the special performance guarantee will be required for a substitute item. ENGINEER will notify CONTRACTOR which proposed substitute(s) will require a special performance guarantee with surety bond.

**SC 6.05.E.**

Add a new paragraph immediately after paragraph 6.05.e. of the General Conditions which is to read as follows:

- 6.05.E.1 When a substitute item of material or equipment is proposed by CONTRACTOR and accepted by ENGINEER, and the substitution will require a change in any the Contract Documents to adapt the design to the proposed substitute, CONTRACTOR shall notify ENGINEER of the changes and be responsible for the

costs involved to revise the design and to make modifications or changes to the construction, including the costs associated with the Work of other contractors due to such variance in design or space requirement.

Redesign and drawing revisions will be prepared by ENGINEER and CONTRACTOR shall reimburse OWNER for the charges of ENGINEER and ENGINEER'S Consultants for redesign and drawing preparation.

Reimbursement of ENGINEER shall be based on ENGINEER'S direct labor costs, indirect labor costs, profit on the total labor, and any direct nonlabor expenses such as travel or per diem.

#### **SC 6.06.B**

Delete the words "Supplementary Conditions" in two places and replace with the words "Instructions to Bidders" in paragraph 6.06.B of the General Conditions.

#### **SC 6.06.C**

Delete paragraph 6.06.C in its entirety and recreate paragraph 6.06.C to read as follows:

- C. CONTRACTOR shall be fully responsible to OWNER and ENGINEER for all acts and omissions of its Subcontractors, Suppliers and other individuals or entities performing or furnishing any of the Work, just as CONTRACTOR is responsible for CONTRACTOR'S own acts and omissions. Nothing in the Contract Documents shall create any obligation on the part of Owner or Subcontractor, Supplier, or other individual or entity except as may otherwise be required by laws and regulations, such as secs.779.15 or 779.155, Wis. Stats. OWNER is an intended third-party beneficiary of all subcontracts and material supply contracts of whatever tier, with the right to directly, both during and after the construction period, enforce the obligations of Subcontractors and material suppliers to comply with the Contract Documents, including but not limited to all applicable express and implied warranties. During the Construction period, these rights shall only be exercised in cooperation with CONTRACTOR.

#### **SC 6.08.A**

Delete the term "Supplementary Conditions" in the first sentence in paragraph 6.08A of the General Conditions and insert the term "Special Provisions" in its place.

Delete the last sentence in paragraph 6.08.A of the General Conditions and replace with the following:

Unless otherwise specified in the Special Provisions or Specifications, CONTRACTOR shall pay all charges of utility owners for connections to the Work, and OWNER shall pay all charges of such utility owners for capital costs related thereto such as plant investment fees.

#### **SC 6.16**

Add a new paragraph immediately after paragraph 6.16.A of the General Conditions which is to read as follows:

- 6.16.B In emergencies affecting the safety or protection of persons or property or maintenance of temporary construction at the site or adjacent thereto, and CONTRACTOR cannot be reached, OWNER may act to attempt to prevent threatened damage, injury, or loss. OWNER will give CONTRACTOR and ENGINEER prompt written notice of such action and the cost of the correction or remedy shall be charged against CONTRACTOR. A Change Order will be issued to document the change in Contract Price.

**SC 6.17.D.**

Add a new subparagraph immediately after paragraph 6.17.D.3 of the General Conditions which shall read as follows:

6.17.D.4 After ENGINEER has reviewed and approved a Shop Drawing or Sample, CONTRACTOR shall provide the material or equipment approved. ENGINEER will not review subsequent submittals of a different manufacturer or Supplier unless CONTRACTOR provides sufficient information to ENGINEER that the approved material or equipment is unavailable, time of delivery will delay the construction progress, or OWNER request a different manufacturer or Supplier.

**SC 6.19**

Add a new subparagraph 6.19.C which reads as follows:

Additional express warranties are subject to written acceptance by OWNER, and will not be accepted if they place any contractual limits on OWNER’S contractual, common law and/or statutory rights to relief for CONTRACTOR’S failure to use property workmanship, failure to comply with contract requirements or implied warranties of fitness for a particular purpose or of merchantability, or limit any of the damages that are the natural and, probable consequence of any such failure.

**SC 6.20.A.**

In paragraph 6.20.A. delete the last 6 lines and insert in its place:

,including without limitation, the loss of use resulting therefrom, to the extent is caused in whole or in part by any negligent act, any intentional, reckless or willful act, or an omission of CONTRACTOR, any Subcontractor, any Supplier, or any individual or entity directly or indirectly employed by any of them to perform

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any of the Work or anyone for whose acts any of them may be liable, regardless of whether or not caused in part by any intentional, reckless, willful or negligent act or omission of an individual or entity indemnified hereunder or whether liability is imposed upon such indemnified party by Laws and Regulations regardless of the negligent, intentional, reckless or willful act or any omission of any such individual or entity.

**SC 6.20.C**

Delete the last word in subparagraph 6.20.C.1. of the General Conditions and place a period after the word “Specifications”.

Delete subparagraph 6.20.C.2 of the General Conditions in its entirety.

**ARTICLE 7. OTHER WORK**

**SC 7.02**

Delete Section 7.02 of the General Conditions in its entirety.

**ARTICLE 8. OWNER’S RESPONSIBILITIES**

**SC 8.11**

Delete the term “Supplementary Conditions” and insert the term “Agreement” in its place.

**SC. 8.12**

Add a new paragraph immediately after paragraph 8.11 of the General Conditions which is to read as follows:

- 8.12 ENGINEER will furnish a Site Representative(s) in accordance with Article 9 of the General Conditions.

**ARTICLE 9. ENGINEER'S STATUS DURING CONSTRUCTION**

**SC 9.03**

Delete paragraph 9.03 of the General Conditions in its entirety and replace with the following:

Project Representation:

- 9.03.A ENGINEER will furnish a Resident Project Representative (RPR), assistants and other field staff to assist ENGINEER in observing performance of the Work of CONTRACTOR.

Through more extensive on-site observations of the Work in progress and field checks of materials and equipment by the RPR and assistants, ENGINEER shall endeavor to provide further protection for OWNER against defects and deficiencies in the Work; but, the furnishing of such services will not make ENGINEER responsible for or give ENGINEER control over construction means, methods, techniques, sequences or procedures or for safety precautions or programs, or make ENGINEER responsible for CONTRACTOR'S failure to perform the Work in accordance with the Contract Documents.

The responsibilities, authority, and limitations of the RPR are limited to those of ENGINEER in ENGINEER'S agreement with OWNER, paragraph 9.10 of the General Conditions, and the Contract Documents, and are further limited and described as follows:

9.03.A.1 General:

RPR is ENGINEER'S agent at the site, will act as directed by and under the supervision of ENGINEER, and will confer with ENGINEER regarding RPR'S actions. RPR'S dealings in matters pertaining to the on-site work shall in general be with ENGINEER and CONTRACTOR, keeping OWNER advised as necessary. RPR'S dealings with Subcontractors shall only be through or with the full knowledge and approval of CONTRACTOR. RPR shall generally communicate with OWNER with the knowledge of and under the direction of ENGINEER.

- 9.03.B Duties and responsibilities of the Resident Project Representative:

- 9.03.B.1 Conduct a preconstruction conference with OWNER, CONTRACTOR(S), Utilities, and other appropriate parties affected by the Project. This meeting will allow all parties to the Project the opportunity to develop specific guidelines of involvement, establish timetable of events, and define Project requirements.

- 9.03.B.2 Review Applications for Payment submitted by CONTRACTOR. Evaluate applications against work observed as being completed. Forward applications to OWNER for approval and payment after revision, when necessary.
- 9.03.B.3 Provide direction for the assistants and coordinate observation activities.
- 9.03.B.4 Direct visiting inspectors representing public or other agencies having jurisdiction over the Project to OWNER or CONTRACTOR as appropriate.
- 9.03B.5 Administer all required Written Amendments and other documents amending, modifying or supplementing the Contract Documents as the Project proceeds.
- 9.03.B.6. Disapprove or reject Work which is observed to be “defective”. Require inspection or testing of Work as provided in Article 13 of the General Conditions when it is deemed necessary.
- 9.03.B.7. Review the testing of equipment and systems provided by CONTRACTOR and assess its compliance with the Contract Documents.
- 9.03.B.8. Determine final quantities for Work installed which will serve as the basis for the final payment to CONTRACTOR.
- 9.03.B.9. Coordinate efforts required to prepare record drawings showing those changes made during construction, based on the marked-up prints, drawings, and other data furnished by CONTRACTOR to ENGINEER and which ENGINEER considers significant.

**SC 9.09E**

Add a new paragraph immediately after paragraph 9.09.E. of the General Conditions:

- 9.09.F. When ENGINEER is on the Project site to perform the duties and responsibilities as set forth in the Contract Documents, ENGINEER will comply with CONTRACTOR’S safety plans, programs, and procedures. In the event ENGINEER determines that CONTRACTOR’S safety plans, programs and procedures do not provide adequate protection for ENGINEER, ENGINEER may direct its employees to leave the Project site or implement additional safeguards for ENGINEER’S protection. If taken, these actions will be in furtherance of ENGINEER’S responsibility to its own employees only, and ENGINEER will not assume any responsibility for protection of any other persons affected by the Work. In the event ENGINEER observes situations which appear to have potential for immediate and serious injury to persons, ENGINEER may warn the persons who appear to be affected by such situations. Such warnings, if issued, shall be given based on general humanitarian concerns, and ENGINEER will not by the issuance of any such warning, assume any responsibility to issue future warnings or any general responsibility for protections of persons affected by the Work.

## **ARTICLE 10. CHANGES IN THE WORK; CLAIMS**

### **SC 10.01B**

Add the following paragraph immediately after paragraph 10.01.B of the General Conditions:

10.01.C Notice of the amount or extent of the claim shall include the following certifications:

CONTRACTOR certifies that this claim is made in good faith, that the supporting data are accurate and complete to the best of CONTRACTOR'S knowledge and belief, and that the amount or time required accurately reflects the Contract adjustment for which CONTRACTOR believes OWNER is liable.

## **ARTICLE 11. COST OF THE WORK; CASH ALLOWANCES; UNIT PRICE WORK**

### **SC. 11.01.A**

Delete subparagraph 11.01.A.5.f of the General Conditions in its entirety and insert the following in its place:

- f. Losses and damages (and related expenses) caused by damage to the Work, not compensated by insurance or otherwise, sustained by CONTRACTOR in connection with the performance of the Work (except losses and damages within the deductible amounts of property insurance established in accordance with paragraph 5.06.D), provided such losses and damages have resulted from causes other than any negligence, intentional, reckless or willful act(s), or any omission of CONTRACTOR, any Subcontractor, or anyone directly or indirectly employed by any of them or for whose acts any of them may be liable. Such losses shall include settlements made with the written consent and approval of OWNER. No such losses, damages, and expenses shall be included in the Cost of the Work for the purpose of determining CONTRACTOR'S fee.

### **SC. 11.01.B.4.**

Delete paragraph 11.01.B.4 of the General Conditions in its entirety and insert the following in its place:

4. Costs due in whole or in part to the negligence, intentional, reckless or willful act(s), or any omission of CONTRACTOR, any Subcontractor, or anyone directly or indirectly employed by any of them or for whose acts any of them may be liable, including but not limited to, the correction of defective Work, disposal of materials or equipment wrongly supplied, and making good any damage to property.

### **SC 11.03.D**

Delete paragraph 11.03.D of the General Conditions in its entirety and insert the following in its place.

11.03.C Additions or deductions need not be accepted by the CONTRACTOR if the total cost of the additions or deductions exceeds fifteen percent (15%) of the total cost of the project as originally bid by the CONTRACTOR. The value of the Work so added or omitted shall be added or deducted from the amount otherwise due the CONTRACTOR, as the case may be, and shall be determined in accordance with the methods described in Section 11.03.E.

11.03.E BASIS OF PAYMENT OR CREDIT FOR ALTERED WORK. The method of determining the basis of payment or credit resulting from such altered work shall be:

11.03.D.1 Unit bid prices for the particular item as established in the original Contract or the Schedule of Supplemental Unit Prices.

11.03.D.2 For such items for which unit prices have not been established in the Contract, by agreement with the CONTRACTOR following a request by the ENGINEER for a written quotation for the item of work to be performed or the elimination of an item of Work.

11.03.D.3 If an agreement cannot be reached between the CONTRACTOR and the ENGINEER for items of work for which unit prices are not set forth in the Contract, then the value shall be determined by using the actual cost of labor, materials and insurance plus fifteen (15%) for superintendence, general expenses and profit plus equipment rental at fair market rates.

Claims for such work will not be considered unless the CONTRACTOR presents to the ENGINEER'S representative a daily itemized statement in duplicate of the hours of labor, quantities of materials, etc. upon, which payment is to be based. The ENGINEERS representative on the Work will check such amounts daily and will retain the original for the ENGINEER and return the copy to the CONTRACTOR. The

approval of such items by the ENGINEER'S representative, shall not in itself, however, be construed as authorizing or accepting such claims. No claims will be considered until the original bills, receipts or vouchers have been furnished to the ENGINEER by the CONTRACTOR

## **ARTICLE 12. CHANGE OF CONTRACT PRICE; CHANGE OF CONTRACT TIMES**

### **SC 12.01**

Delete paragraph 12.01.B.2 of the General Conditions in its entirety and insert the following in its place:

12.01.B.2 Where the Work involved is not covered by unit prices contained in the Contract Documents, by a mutually agreed lump sum which includes an allowance for overhead and profit in accordance with paragraph 12.01.C2.

### **SC 12.03.A.**

Add the following at the end of paragraph 12.03.A of the General Conditions:

Time extensions provided under paragraph 12.03 of the General Conditions will be only allowed for controlling items of Work (critical path).

### **SC 12.03.B.**

Delete paragraph 12.03.B in its entirety and replace it with the following:

12.06.B Except for delays caused by the OWNER'S default in making payments or by complete suspension of the Work, CONTRACTOR'S sole remedy in the event of any delay caused by the OWNER, or any other excusable or compensable delay, shall be an extension of time. There shall be no adjustments of compensation for delay or constructive acceleration.



## **ARTICLE 13. TESTS AND INSPECTIONS; CORRECTION, REMOVAL OR ACCEPTANCE OF DEFECTIVE WORK**

### **SC 13.03.C.**

Add a new sentence at the end of paragraph 13.03.C of the General Conditions which is to read as follows:

It is not the intent of this paragraph to require CONTRACTOR to be responsible for the cost of OWNER or ENGINEER to witness inspections or tests unless otherwise set forth in the Specifications or Special Provisions.

### **SC 13.04.A.**

Delete paragraph 13.04.A of the General Conditions in its entirety and replace with:

13.04.A If any Work is covered without the ENGINEER having reasonable opportunity to observe it, it must be uncovered if requested by ENGINEER for ENGINEER'S observation and replaced at CONTRACTOR'S expense.

### **SC 13.07.A**

Amend paragraph 13.07.A of the General Conditions by deleting the words "Substantial Completion" from the first sentence and inserting the term "final acceptance by OWNER".

### **SC 13.07.C**

Delete paragraph 13.07.C. of the General Conditions in its entirety.

## **ARTICLE 14. PAYMENTS TO CONTRACTOR AND COMPLETION**

### **SC 14.02.A**

Amend the first sentence of paragraph 14.02.A of the General Conditions by striking the words "twenty days" and inserting the words "thirty days" in their place.

### **SC 14.03**

Delete paragraph 14.03.A. of the General Conditions in its entirety and insert the following in its place:

14.03.A. CONTRACTOR warrants and guarantees that title to all Work materials, and equipment covered by any Application for Payment, whether incorporated in the Project or not, will pass to OWNER at the time of final payment free and clear of all Liens.

### **SC 14.04.C.**

Amend paragraph 14.04.C. by striking out the words "seven days" and inserting in their place "thirty days" and striking out the words "14 days" and inserting the words "forty days", wherever they appear in that paragraph 14.04.C.

### **SC 14.04.E.**

Add new paragraphs immediately after paragraph 14.04.E of the General Conditions which read as follows:

14.04.F CONTRACTOR'S request for issuance of a Certificate of Substantial Completion shall include schedules, guarantees, Bonds, certificates or other evidence of insurance required by paragraph 5.04, certificates of inspection, affidavit of wage rate compliance, marked-up record documents (as provided in paragraph GC 6.12) and other documents.

14.04.G The following work need not be complete at the time of Substantial Completion:

Lawn or vegetative cover restoration.

**SC 14.07.A**

Amend the first sentence of paragraph 14.07.A.1 of the General Conditions by striking out the following words: “and has delivered, in accordance with the Contract Documents, all maintenance and operating instructions, schedules, guarantees, Bonds, certificates or other evidence of insurance, certificates of inspection, marked up record documents (as provided in paragraph 6.12), and other documents.”

**SC 14.10**

Add a new paragraph immediately after paragraph 14.09.A.2 of the General Conditions which is to read as follows:

SC 14.10 Additional Engineering Costs:

- A. In addition to the liquidated damages set forth in the Agreement, CONTRACTOR shall be liable for all additional costs attributable to the delay for ENGINEER’S services beyond Substantial and Final Completion dates. OWNER will deduct these costs from any monies due or that may become due CONTRACTOR or Surety and pay ENGINEER for said services. Costs shall include but not be limited to: Additional construction observation, site visits, meetings related to Contractor’s delay, and other costs directly attributable to the delay.

**ARTICLE 15. SUSPENSION OF WORK AND TERMINATION**

**SC 15.04.B.**

Amend paragraph 15.04 of the General Conditions by striking out the words “thirty days” in four places and inserting the following words in their place, “sixty days”, and by striking out the words “seven days” in two places and inserting the words in their place “ten days.”

**ARTICLE 16. DISPUTE RESOLUTION**

**SC16.01**

Paragraph 16.01 of the General Conditions is deleted in its entirety and replaced with the following:

16.06 OWNER and CONTRACTOR may exercise such rights and remedies as either may have under the Contract Documents or by Laws or Regulations in respect of any dispute.

**ARTICLE 17. MISCELLANEOUS**

**SC 17.01**

Delete paragraph 17.01.A of the General Conditions and insert the following in its place:

- A. Whenever any provision of the Contract Documents requires the giving of a written notice or the delivery of any Bond, Agreement, Certificate of Insurance or any other item, it shall be deemed to have been validly delivered if given in person to the individual, to a member of the firm or to an officer of the corporation for whom it is intended, or if given at or sent by first class mail, postage prepaid, to the last business address known to the giver of the notice or article.

**SC 17.07**

Add a new paragraph immediately after paragraph 17.06 of the General Conditions which is to read as follows:

**17.06 Lien Waivers:**

- A. OWNER may at any time require CONTRACTOR to furnish lien waivers for labor and materials covered by specified Applications for Payment.

**SC 17.08**

Add a new paragraph immediately after paragraph 17.07 of the General Conditions which is to read as follows:

**17.08 Construction:**

The parties intend that the General Conditions and the Supplementary Conditions do not conflict and can be read together as one agreement. In the event of a conflict between the terms of the General Conditions and the terms of the Supplementary Conditions, the terms of the Supplementary Conditions shall control. In the event of a conflict between the terms of the Agreement or Special Provisions and the General Conditions, the terms of the Agreement or Special Provisions shall control. The language used in all Contract Documents shall be deemed to be the language mutually chosen by the parties to express their intent. No rule of strict construction shall apply to any party.

**SC 17.09**

Attorney's Fees:

In addition to all other rights and remedies available to OWNER under the Contract Documents, any Law or Regulations, CONTRACTOR agrees to pay all reasonable attorneys fees and other costs of OWNER arising out of, or relating to, any default by CONTRACTOR (or anyone for whom CONTRACTOR is responsible under the Contract Documents) under any Contract Documents.

END OF SUPPLEMENTARY CONDITIONS

# PERFORMANCE BOND

Any singular reference to Contractor, Surety, Owner, or other party shall be considered plural where applicable.

---

CONTRACTOR (Name and Address):

SURETY (Name and Address of Principal Place of Business):

OWNER (Name and Address):

## CONTRACT

Date:

Amount:

Description (Name and Location):

## BOND

Bond Number:

Date (Not earlier than Contract Date):

Amount:

Modifications to this Bond Form:

Surety and Contractor, intending to be legally bound hereby, subject to the terms printed on the reverse side hereof, do each cause this Performance Bond to be duly executed on its behalf by its authorized officer, agent, or representative.

### CONTRACTOR AS PRINCIPAL

Company:

Signature \_\_\_\_\_ (Seal)

:  
Name and Title: \_\_\_\_\_

(Space is provided below for signatures of additional parties, if required.)

### CONTRACTOR AS PRINCIPAL

Company:

Signature: \_\_\_\_\_ (Seal)

Name and Title: \_\_\_\_\_

### SURETY

\_\_\_\_\_  
(Seal)

Surety's Name and Corporate Seal

By: \_\_\_\_\_  
Signature and Title  
(Attach Power of Attorney)

Attest: \_\_\_\_\_  
Signature and Title

### SURETY

\_\_\_\_\_  
(Seal)

Surety's Name and Corporate Seal

By: \_\_\_\_\_  
Signature and Title  
(Attach Power of Attorney)

Attest: \_\_\_\_\_  
Signature and Title:

**EJCDC No. C-610 (2002 Edition)**

**Originally prepared through the joint efforts of the Surety Association of America, Engineers Joint Contract Documents Committee, the Associated General Contractors of America, and the American Institute of Architects.**

1. Contractor and Surety, jointly and severally, bind themselves, their heirs, executors, administrators, successors, and assigns to Owner for the performance of the Contract, which is incorporated herein by reference.
2. If Contractor performs the Contract, Surety and Contractor have no obligation under this Bond, except to participate in conferences as provided in Paragraph 3.1.
3. If there is no Owner Default, Surety's obligation under this Bond shall arise after:
  - 3.1. Owner has notified Contractor and Surety, at the addresses described in Paragraph 10 below, that Owner is considering declaring a Contractor Default and has requested and attempted to arrange a conference with Contractor and Surety to be held not later than 15 days after receipt of such notice to discuss methods of performing the Contract. If Owner, Contractor and Surety agree, Contractor shall be allowed a reasonable time to perform the Contract, but such an agreement shall not waive Owner's right, if any, subsequently to declare a Contractor Default; and
  - 3.2. Owner has declared a Contractor Default and formally terminated Contractor's right to complete the Contract. Such Contractor Default shall not be declared earlier than 20 days after Contractor and Surety have received notice as provided in Paragraph 3.1; and
  - 3.3. Owner has agreed to pay the Balance of the Contract Price to:
    1. Surety in accordance with the terms of the Contract;
    2. Another contractor selected pursuant to Paragraph 4.3 to perform the Contract.
4. When Owner has satisfied the conditions of Paragraph 3, Surety shall promptly and at Surety's expense take one of the following actions:
  - 4.1. Arrange for Contractor, with consent of Owner, to perform and complete the Contract; or
  - 4.2. Undertake to perform and complete the Contract itself, through its agents or through independent contractors; or
  - 4.3. Obtain bids or negotiated proposals from qualified contractors acceptable to Owner for a contract for performance and completion of the Contract, arrange for a contract to be prepared for execution by Owner and Contractor selected with Owner's concurrence, to be secured with performance and payment bonds executed by a qualified surety equivalent to the bonds issued on the Contract, and pay to Owner the amount of damages as described in Paragraph 6 in excess of the Balance of the Contract Price incurred by Owner resulting from Contractor Default; or
  - 4.4. Waive its right to perform and complete, arrange for completion, or obtain a new contractor and with reasonable promptness under the circumstances:
    1. After investigation, determine the amount for which it may be liable to Owner and, as soon as practicable after the amount is determined, tender payment therefor to Owner; or
    2. Deny liability in whole or in part and notify Owner citing reasons therefor.
5. If Surety does not proceed as provided in Paragraph 4 with reasonable promptness, Surety shall be deemed to be in default on this Bond 15 days after receipt of an additional written notice from Owner to Surety demanding that Surety perform its obligations under this Bond, and Owner shall be entitled to enforce any remedy available to Owner. If Surety proceeds as provided in Paragraph 4.4, and Owner refuses the payment tendered or Surety has denied liability, in whole or in part, without further notice Owner shall be entitled to enforce any remedy available to Owner.
6. After Owner has terminated Contractor's right to complete the Contract, and if Surety elects to act under Paragraph 4.1, 4.2, or 4.3 above, then the responsibilities of Surety to Owner shall not be greater than those of Contractor under the Contract, and the responsibilities of Owner to Surety shall not be greater than those of Owner under the Contract. To a limit of the amount of this Bond, but subject to commitment by Owner of the Balance of the Contract Price to mitigation of costs and damages on the Contract, Surety is obligated without duplication for:
  - 6.1. The responsibilities of Contractor for correction of defective Work and completion of the Contract;
  - 6.2. Additional legal, design professional, and delay costs resulting from Contractor's Default, and resulting from the actions or failure to act of Surety under Paragraph 4; and
  - 6.3. Liquidated damages, or if no liquidated damages are specified in the Contract, actual damages caused by delayed performance or non-performance of Contractor.
7. Surety shall not be liable to Owner or others for obligations of Contractor that are unrelated to the Contract, and the Balance of the Contract Price shall not be reduced or set off on account of any such unrelated obligations. No right of action shall accrue on this Bond to any person or entity other than Owner or its heirs, executors, administrators, or successors.
8. Surety hereby waives notice of any change, including changes of time, to Contract or to related subcontracts, purchase orders, and other obligations.
9. Any proceeding, legal or equitable, under this Bond may be instituted in any court of competent jurisdiction in the location in which the Work or part of the Work is located and shall be instituted within two years after Contractor Default or within two years after Contractor ceased working or within two years after Surety refuses or fails to perform its obligations under this Bond, whichever occurs first. If the provisions of this paragraph are void or prohibited by law, the minimum period of limitation available to sureties as a defense in the jurisdiction of the suit shall be applicable.
10. Notice to Surety, Owner, or Contractor shall be mailed or delivered to the address shown on the signature page.
11. When this Bond has been furnished to comply with a statutory requirement in the location where the Contract was to be performed, any provision in this Bond conflicting with said statutory requirement shall be deemed deleted herefrom and provisions conforming to such statutory requirement shall be deemed incorporated herein. The intent is that this Bond shall be construed as a statutory bond and not as a common law bond.
12. Definitions.
  - 12.1 Balance of the Contract Price: The total amount payable by Owner to Contractor under the Contract after all proper adjustments have been made, including allowance to Contractor of any amounts received or to be received by Owner in settlement of insurance or other Claims for damages to which Contractor is entitled, reduced by all valid and proper payments made to or on behalf of Contractor under the Contract.
  - 12.2. Contract: The agreement between Owner and Contractor identified on the signature page, including all Contract Documents and changes thereto.
  - 12.3. Contractor Default: Failure of Contractor, which has neither been remedied nor waived, to perform or otherwise to comply with the terms of the Contract.
  - 12.4. Owner Default: Failure of Owner, which has neither been remedied nor waived, to pay Contractor as required by the Contract or to perform and complete or comply with the other terms thereof.

# PAYMENT BOND

Any singular reference to Contractor, Surety, Owner, or other party shall be considered plural where applicable.

---

CONTRACTOR (Name and Address):

SURETY (Name and Address of Principal Place of Business):

OWNER (Name and Address):

## CONTRACT

Date:

Amount:

Description (Name and Location):

## BOND

Bond Number:

Date (Not earlier than Contract Date):

Amount:

Modifications to this Bond Form:

Surety and Contractor, intending to be legally bound hereby, subject to the terms printed on the reverse side hereof, do each cause this Payment Bond to be duly executed on its behalf by its authorized officer, agent, or representative.

CONTRACTOR AS PRINCIPAL

Company:

Signature \_\_\_\_\_ (Seal)

:  
Name and Title: \_\_\_\_\_

(Space is provided below for signatures of additional parties, if required.)

CONTRACTOR AS PRINCIPAL

Company:

Signature: \_\_\_\_\_ (Seal)

Name and Title: \_\_\_\_\_

SURETY

(Seal)

\_\_\_\_\_  
Surety's Name and Corporate Seal

By: \_\_\_\_\_  
Signature and Title  
(Attach Power of Attorney)

Attest: \_\_\_\_\_  
Signature and Title

SURETY

(Seal)

\_\_\_\_\_  
Surety's Name and Corporate Seal

By: \_\_\_\_\_  
Signature and Title  
(Attach Power of Attorney)

Attest: \_\_\_\_\_  
Signature and Title:

EJCDC No. C-615 (2002 Edition)

Originally prepared through the joint efforts of the Surety Association of America, Engineers Joint Contract Documents Committee, the Associated General Contractors of America, the American Institute of Architects, the American Subcontractors Association, and the Associated Specialty Contractors.

1. Contractor and Surety, jointly and severally, bind themselves, their heirs, executors, administrators, successors, and assigns to Owner to pay for labor, materials, and equipment furnished by Claimants for use in the performance of the Contract, which is incorporated herein by reference.
2. With respect to Owner, this obligation shall be null and void if Contractor:
  - 2.1. Promptly makes payment, directly or indirectly, for all sums due Claimants, and
  - 2.2. Defends, indemnifies, and holds harmless Owner from all claims, demands, liens, or suits alleging non-payment by Contractor by any person or entity who furnished labor, materials, or equipment for use in the performance of the Contract, provided Owner has promptly notified Contractor and Surety (at the addresses described in Paragraph 12) of any claims, demands, liens, or suits and tendered defense of such claims, demands, liens, or suits to Contractor and Surety, and provided there is no Owner Default.
3. With respect to Claimants, this obligation shall be null and void if Contractor promptly makes payment, directly or indirectly, for all sums due.
4. Surety shall have no obligation to Claimants under this Bond until:
  - 4.1. Claimants who are employed by or have a direct contract with Contractor have given notice to Surety (at the addresses described in Paragraph 12) and sent a copy, or notice thereof, to Owner, stating that a claim is being made under this Bond and, with substantial accuracy, the amount of the claim.
  - 4.2. Claimants who do not have a direct contract with Contractor:
    1. Have furnished written notice to Contractor and sent a copy, or notice thereof, to Owner, within 90 days after having last performed labor or last furnished materials or equipment included in the claim stating, with substantial accuracy, the amount of the claim and the name of the party to whom the materials or equipment were furnished or supplied, or for whom the labor was done or performed; and
    2. Have either received a rejection in whole or in part from Contractor, or not received within 30 days of furnishing the above notice any communication from Contractor by which Contractor had indicated the claim will be paid directly or indirectly; and
    3. Not having been paid within the above 30 days, have sent a written notice to Surety and sent a copy, or notice thereof, to Owner, stating that a claim is being made under this Bond and enclosing a copy of the previous written notice furnished to Contractor.
5. If a notice by a Claimant required by Paragraph 4 is provided by Owner to Contractor or to Surety that is sufficient compliance.
6. When a Claimant has satisfied the conditions of Paragraph 4, the Surety shall promptly and at Surety's expense take the following actions:
  - 6.1. Send an answer to that Claimant, with a copy to Owner, within 45 days after receipt of the claim, stating the amounts that are undisputed and the basis for challenging any amounts that are disputed.
  - 6.2. Pay or arrange for payment of any undisputed amounts.
7. Surety's total obligation shall not exceed the amount of this Bond, and the amount of this Bond shall be credited for any payments made in good faith by Surety.
8. Amounts owed by Owner to Contractor under the Contract shall be used for the performance of the Contract and to satisfy claims, if any, under any performance bond. By Contractor furnishing and Owner accepting this Bond, they agree that all funds earned by Contractor in the performance of the Contract are dedicated to satisfy obligations of Contractor and Surety under this Bond, subject to Owner's priority to use the funds for the completion of the Work.
9. Surety shall not be liable to Owner, Claimants, or others for obligations of Contractor that are unrelated to the Contract. Owner shall not be liable for payment of any costs or expenses of any Claimant under this Bond, and shall have under this Bond no obligations to make payments to, give notices on behalf of, or otherwise have obligations to Claimants under this Bond.
10. Surety hereby waives notice of any change, including changes of time, to the Contract or to related Subcontracts, purchase orders and other obligations.
11. No suit or action shall be commenced by a Claimant under this Bond other than in a court of competent jurisdiction in the location in which the Work or part of the Work is located or after the expiration of one year from the date (1) on which the Claimant gave the notice required by Paragraph 4.1 or Paragraph 4.2.3, or (2) on which the last labor or service was performed by anyone or the last materials or equipment were furnished by anyone under the Construction Contract, whichever of (1) or (2) first occurs. If the provisions of this paragraph are void or prohibited by law, the minimum period of limitation available to sureties as a defense in the jurisdiction of the suit shall be applicable.
12. Notice to Surety, Owner, or Contractor shall be mailed or delivered to the addresses shown on the signature page. Actual receipt of notice by Surety, Owner, or Contractor, however accomplished, shall be sufficient compliance as of the date received at the address shown on the signature page.
13. When this Bond has been furnished to comply with a statutory requirement in the location where the Contract was to be performed, any provision in this Bond conflicting with said statutory requirement shall be deemed deleted herefrom and provisions conforming to such statutory requirement shall be deemed incorporated herein. The intent is that this Bond shall be construed as a statutory Bond and not as a common law bond.
14. Upon request of any person or entity appearing to be a potential beneficiary of this Bond, Contractor shall promptly furnish a copy of this Bond or shall permit a copy to be made.
15. DEFINITIONS
  - 15.1. Claimant: An individual or entity having a direct contract with Contractor, or with a first-tier subcontractor of Contractor, to furnish labor, materials, or equipment for use in the performance of the Contract. The intent of this Bond shall be to include without limitation in the terms "labor, materials or equipment" that part of water, gas, power, light, heat, oil, gasoline, telephone service, or rental equipment used in the Contract, architectural and engineering services required for performance of the Work of Contractor and Contractor's Subcontractors, and all other items for which a mechanic's lien may be asserted in the jurisdiction where the labor, materials, or equipment were furnished.
  - 15.2. Contract: The agreement between Owner and Contractor identified on the signature page, including all Contract Documents and changes thereto.
  - 15.3. Owner Default: Failure of Owner, which has neither been remedied nor waived, to pay Contractor as required by the Contract or to perform and complete or comply with the other terms thereof.

**APPENDIX A**

Notice of Award .....1 page

Notice to Proceed.....1 page





**NOTICE OF AWARD**

Dated:

TO: \_\_\_\_\_  
(CONTRACTOR)

ADDRESS:

PROJECT: **2012 Pleasant Prairie Sanitary Sewer Rehabilitation Program**

ENGINEER'S Project No.: **P0200051**

You are notified that your Bid dated \_\_\_\_\_, 20\_\_ for the above Contract has been considered. You are the apparent Successful Bidder and have been awarded a Contract for the \_\_\_\_\_ Project.

The Contract Price of your Contract is \_\_\_\_\_.

Three (3) copies of each of the proposed Contract Documents accompany this Notice of Award.

You must comply with the following conditions precedent within 15-days of the date you receive this Notice of Award.

1. Deliver to the ENGINEER three (3) fully executed counterparts of the Contract Documents. Each of the Contract Documents must bear your signature on (AG-\_\_\_\_, AG-\_\_\_\_, and AG-\_\_\_\_).
2. Deliver with the executed Contract Documents the Contract security (Bonds) as specified in the Instruction to Bidders (Article 16), General Conditions (paragraph 5.01), and Supplemental Conditions (paragraph SC-5.01)
3. Deliver with the executed Contract Documents the Certificates of Insurance as specified in the Supplementary Conditions (paragraph 2.05.C)
4. List of any other conditions.

Failure to comply with these conditions within the time specified will entitle Owner to consider your bid in default, to annul this Notice of Award and to declare your Bid Security forfeited.

Within 15-days after you comply with the above conditions, one fully executed counterpart of the Contract Documents will be returned to you.

Owner: Village of Pleasant Prairie

By: \_\_\_\_\_



**NOTICE TO PROCEED**

Dated:

TO:  
(CONTRACTOR)

ADDRESS:

PROJECT: **2012 Pleasant Prairie Sanitary Sewer Rehabilitation Program**

ENGINEER'S Project No.: **P0200051**

You are notified that the Contract Times under the above contract will commence to run on \_\_\_\_\_. By that date, you are to start performing your obligations under the Contract Documents. In accordance with Article 3 of the Agreement the date of Substantial Completion is \_\_\_\_\_ and the date of readiness for final payment is \_\_\_\_\_.

Before you may start any Work at the Site, you must post on site the project Wage Rate requirements.

Owner: Village of Pleasant Prairie

By: \_\_\_\_\_

**Village of Pleasant Prairie**  
**2012 Sanitary Sewer Rehabilitation**

Cooper Road from 76th Street to 79th Street

P0200051

BID TAB

No.	Item	Unit	Qty	Engineer's Estimate		VisuSewer		Terra Engineering		McCanns Underground	
				Unit Price	Total Cost	Unit Price	Total Cost	Unit Price	Total Cost	Unit Price	Total Cost
1	MOBILIZATION	LS	1	\$1,000.00	\$1,000.00	\$ 500.00	\$ 500.00	\$ 5,000.00	\$ 5,000.00	\$ 2,000.00	\$ 2,000.00
2	SEWER REHABILITATION WITH CIPP, 10"	LF	1,077	\$25.00	\$26,925.00	\$ 24.00	\$ 25,848.00	\$ 24.00	\$ 25,848.00	\$ 32.00	\$ 34,464.00
3	SEWER REHABILITATION WITH CIPP, 15"	LF	834	\$40.00	\$33,360.00	\$ 44.75	\$ 37,321.50	\$ 48.50	\$ 40,449.00	\$ 45.00	\$ 37,530.00
4	INTERIM CONVEYANCE	LS	1	\$500.00	\$500.00	\$ 500.00	\$ 500.00	\$ 500.00	\$ 500.00	\$ 3,000.00	\$ 3,000.00
5	OPEN SERVICE CONNECTION IN CIPP	EA	24	\$150.00	\$3,600.00	\$ 150.00	\$ 3,600.00	\$ 125.00	\$ 3,000.00	\$ 125.00	\$ 3,000.00
6	SEWER CLEANING AND ROOT REMOVAL	LF	1,911	\$1.00	\$1,911.00	\$ 0.50	\$ 955.50	\$ 3.00	\$ 5,733.00	\$ 1.00	\$ 1,911.00
7	MANHOLE REHABILITATION, (ASSUME 11 MANHOLES AT 9' DEEP	VF	99	\$125.00	\$12,375.00	\$ 125.00	\$ 12,375.00	\$ 132.00	\$ 13,068.00	\$ 150.00	\$ 14,850.00
8	POST CONSTRUCTION CCTV INSPECTION	LF	1,911	\$1.00	\$1,911.00	\$ 0.25	\$ 477.75	\$ 2.00	\$ 3,822.00	\$ 1.00	\$ 1,911.00
<b>Total</b>					<b>\$81,582.00</b>		<b>\$81,577.75</b>		<b>\$97,420.00</b>		<b>\$98,666.00</b>



November 13, 2012

John Steinbrink Jr.  
Director of Public Works  
Village of Pleasant Prairie  
8600 Green Bay Road  
Pleasant Prairie, WI 53158-2709

Re: 2012 Sanitary Sewer Rehabilitation  
Bid Evaluation and Report  
CDI # P0200051

Dear Mr. Steinbrink:

The bid opening for the 2012 Sanitary Sewer Rehabilitation Project was held at Public Works Facility on Tuesday, November 13<sup>th</sup>, 2012, at 10:00 AM. A total of four bids were received by the Village of Pleasant Prairie and read publically. Enclosed, please find a tabulation of the bids received. Based on our review of the bids received, we offer the following observations:

- The engineer's opinion of probable cost for this project was \$81,582.00.
- The following is a summary of the bids:
  - Visu-Sewer, Inc.: \$ 81,577.75
  - Terra Engineering & Construction: \$ 97,420.00
  - McCann's Rooter Sewer & Drain: \$ 98,666.00
  - Michels Corporation: \$ 125,926.25
- All bidders submitted the required bid bond.
- McCann's Rooter Sewer & Drain did not submit Addendum No. 1 or the Disclosure of Ownership form.
- We find the lowest bidder, Visu-Sewer, Inc., to be qualified to perform the project.

Based on our review of the bids received, we find Visu-Sewer, Inc. to be the lowest responsive and responsible bidder. Therefore, we recommend the Village accept the lowest base bid, submitted by Visu-Sewer, Inc. in the amount of \$81,577.75.

John Steinbrink Jr.  
November 13, 2012  
Page 2

Sincerely,

Clark Dietz, Inc.

A handwritten signature in blue ink, appearing to read 'M. Emir', with a long horizontal flourish extending to the right.

Mustafa Emir, PhD, P.E.  
Project Manager  
E-mail [mustafa.emir@clarkdietz.com](mailto:mustafa.emir@clarkdietz.com)

cc:

**Village of Pleasant Prairie  
2012 Sanitary Sewer Rehabilitation**

Cooper Road from 76th Street to 79th Street

Date: November 13, 2012

Project Number: P0200051

BID TAB

No.	Item	Unit	Qty	Engineer's Estimate		VisuSewer		Terra Engineering		McCanns Underground		Michels Pipe Corp	
				Unit Price	Total Cost	Unit Price	Total Cost	Unit Price	Total Cost	Unit Price	Total Cost	Unit Price	Total Cost
1	MOBILIZATION	LS	1	\$1,000.00	\$1,000.00	\$ 500.00	\$ 500.00	\$ 5,000.00	\$ 5,000.00	\$ 2,000.00	\$ 2,000.00	\$ 7,850.00	\$ 7,850.00
2	SEWER REHABILITATION WITH CIPP, 10"	LF	1,077	\$25.00	\$26,925.00	\$ 24.00	\$ 25,848.00	\$ 24.00	\$ 25,848.00	\$ 32.00	\$ 34,464.00	\$ 38.50	\$ 41,464.50
3	SEWER REHABILITATION WITH CIPP, 15"	LF	834	\$40.00	\$33,360.00	\$ 44.75	\$ 37,321.50	\$ 48.50	\$ 40,449.00	\$ 45.00	\$ 37,530.00	\$ 52.00	\$ 43,368.00
4	INTERIM CONVEYANCE	LS	1	\$500.00	\$500.00	\$ 500.00	\$ 500.00	\$ 500.00	\$ 500.00	\$ 3,000.00	\$ 3,000.00	\$ 5,400.00	\$ 5,400.00
5	OPEN SERVICE CONNECTION IN CIPP	EA	24	\$150.00	\$3,600.00	\$ 150.00	\$ 3,600.00	\$ 125.00	\$ 3,000.00	\$ 125.00	\$ 3,000.00	\$ 177.00	\$ 4,248.00
6	SEWER CLEANING AND ROOT REMOVAL	LF	1,911	\$1.00	\$1,911.00	\$ 0.50	\$ 955.50	\$ 3.00	\$ 5,733.00	\$ 1.00	\$ 1,911.00	\$ 4.50	\$ 8,599.50
7	MANHOLE REHABILITATION, (ASSUME 11 MANHOLES AT 9' DEPTH)	VF	99	\$125.00	\$12,375.00	\$ 125.00	\$ 12,375.00	\$ 132.00	\$ 13,068.00	\$ 150.00	\$ 14,850.00	\$ 137.00	\$ 13,563.00
8	POST CONSTRUCTION CCTV INSPECTION	LF	1,911	\$1.00	\$1,911.00	\$ 0.25	\$ 477.75	\$ 2.00	\$ 3,822.00	\$ 1.00	\$ 1,911.00	\$ 0.75	\$ 1,433.25
<b>Total</b>					<b>\$81,582.00</b>		<b>\$81,577.75</b>		<b>\$97,420.00</b>		<b>\$98,666.00</b>		<b>\$125,926.25</b>

**RESOLUTION #12-44**

**RESOLUTION AUTHORIZING THE PLACING OF  
UTILITIES AND SPECIAL CHARGES ON THE TAX ROLL  
VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WISCONSIN**

**WHEREAS**, there are various miscellaneous expense items which have not been paid as requested per invoices; and,

**WHEREAS**, pursuant to Section 66.0627 of the Wisconsin State Statutes, the Village of Pleasant Prairie is authorized to collect special charges.

**NOW, THEREFORE, BE IT RESOLVED**, that the Village Clerk of the Village of Pleasant Prairie, Kenosha County, Wisconsin is hereby directed to place certain utilities and special charges on the 2012 tax roll for collection, as per attached listing.

Passed and adopted this 19th day of November, 2012.

VILLAGE OF PLEASANT PRAIRIE

---

John P. Steinbrink, President

Attest:

---

Jane M. Romanowski, Clerk

Posted: \_\_\_\_\_

**Village of Pleasant Prairie  
2012 Tax Roll Summary**

Special Charges

Delinquent Invoices	\$10,767.00	
Delinquent Utilities	385,919.31	
Delinquent Kenosha Water Utility Bills	11,144.35	
	<hr/>	\$407,830.66

Special Assessments

Paving, Road Construction & Storm Sewer	\$10,093.26	
Clean Water	13,086.52	
Sewer	15,472.92	
TID	7,472.83	
Water	52,782.81	
	<hr/>	98,908.34

Total Special Assessments & Special Charges		<hr/> <hr/>
		\$506,739.00



Village of Pleasant Prairie  
2012 Tax Roll Invoices

Invoice#	Date	Parcel #	Account #	Description	Bill to Name	Owners Name	Amount	Tax Roll Interest	Amount Due	
20120457	06/05/12	92-4-122-302-0130	601-131430	Sanitary Sewer	RD&V	VIDHYA Corp VIII, Inc.	10.45	1.05	11.50	
20120574	06/25/12	92-4-122-302-0130	601-131430	Sanitary Sewer	RD&V	VIDHYA Corp VIII, Inc.	303.38	30.34	333.72	
20120735	08/06/12	92-4-122-302-0130	601-131430	Sanitary Sewer	RD&V	VIDHYA Corp VIII, Inc.	102.63	10.26	112.89	458.11
20120490	06/05/12	93-4-123-311-0275	601-131430	Sanitary Sewer	Ray Radigans	Michael Radigan	54.05	5.41	59.46	
20120607	06/25/12	93-4-123-311-0275	601-131430	Sanitary Sewer	Ray Radigans	Michael Radigan	228.33	22.83	251.16	
20120768	08/06/12	93-4-123-311-0275	601-131430	Sanitary Sewer	Ray Radigans	Michael Radigan	17.71	1.77	19.48	330.10
20120569	06/15/12	92-4-122-143-0082	602-131430	Flush Meter	Nava, Sabino	Nava, Sabino	140.54	14.05	154.59	
20110928	09/20/11	93-4-123-303-0113	100-131430	Weed	Kings Cove HOA	Kings Cove HOA	249.29	24.93	274.22	
20110928	09/20/11	93-4-123-303-0114	100-131430	Weed	Kings Cove HOA	Kings Cove HOA	249.29	24.93	274.22	
20110930	09/20/11	93-4-123-322-0545	100-131430	Weed	Robbins, Joshua	Robbins, Joshua	177.00	17.70	194.70	
20111265	12/08/11	93-4-123-322-0545	100-131430	Clean Up yard	Robbins, Joshua	Robbins, Joshua	4411.86	441.19	4,853.05	5,047.75
20110931	09/20/11	91-4-122-104-0602	100-131430	Weed	Lakeshore Developer	Lakeshore Developers	212.15	21.22	233.37	
20120378	05/08/12	91-4-122-104-0602	100-131430	Street Lighting	Lakeshore Developer	Lakeshore Developers	22.08	2.21	24.29	257.65
20110932	09/20/11	92-4-122-351-0625	100-131430	Weed	Black, Ronald	Black, Ronald	188.93	18.89	207.82	
20111135	11/17/11	92-4-122-351-0625	100-131430	Weed	Black, Ronald	Black, Ronald	187.62	18.76	206.38	414.21
20110939	09/21/11	92-4-122-254-0165	100-131430	Weed	Flagstar Bank	Flagstar Bank	359.48	35.95	395.43	
20111262	12/08/11	93-4-123-184-0150	100-131430	Weed	Traba, Michael	Traba, Michael	309.26	30.93	340.19	
20111263	12/08/11	91-4-122-133-0108	100-131430	Weed	Lindsay, Johns	Lindsay, Johns	195.86	19.59	215.45	
20111348	01/04/12	93-4-123-314-0225	100-131430	Comm Development Fees	De Santiago, Jose	Lyons, George	238.54	23.85	262.39	
20111366	01/05/12	93-4-123-314-0225	100-131430	Comm Development Fees	De Santiago, Jose	Lyons, George	134.49	13.45	147.94	
20111426	01/17/12	93-4-123-314-0225	100-131430	Comm Development Fees	De Santiago, Jose	Lyons, George	497.25	49.73	546.98	957.31
20111427	01/17/12	93-4-123-314-0050	100-131430	Engineering	Holst, Larry	Holst, Larry	298.35	29.84	328.19	
20120368	05/08/12	91-4-122-104-0615	100-131430	Street Lighting	Veith	Veith Properties, LLC	42.94	4.29	47.23	
20120429	05/14/12	92-4-122-303-0220	100-131430	PD False Alarm	Easy Spirit	Prime Outlets at PLPR II LLC	77.26	7.73	84.99	
20120553	06/14/12	92-4-122-303-0220	100-131430	PD False Alarm	Easy Spirit	Prime Outlets at PLPR II LLC	128.76	12.88	141.64	
20120436	05/16/12	92-4-122-303-0220	100-131430	PD False Alarm	Polo	Prime Outlets at PLPR II LLC	206.00	20.60	226.60	
20120442	05/16/12	92-4-122-303-0220	100-131430	PD False Alarm	Esprit	Prime Outlets at PLPR II LLC	206.00	20.60	226.60	
20120555	06/14/12	92-4-122-302-0126	100-131430	PD False Alarm	Aldo	Prime Outlets at PLPR II LLC	206.00	20.60	226.60	
20120562	06/14/12	92-4-122-303-0220	100-131430	PD False Alarm	Dress Barn	Prime Outlets at PLPR II LLC	128.76	12.88	141.64	1,048.06
20120549	06/14/12	91-4-122-113-0412	100-131430	Culvert	Easter, Keith	Easter, Keith	203.92	20.39	224.31	
							9,788.18	978.82	10,767.00	

Summary 2012 Prelim Utility Tax Roll

	Service Balance	Certification Penalty	Total Balance
Water	\$85,377.84	\$8,537.82	\$93,915.66
Sewer	\$156,105.99	\$15,610.69	\$171,716.68
Garbage	\$64,373.19	\$6,437.25	\$70,810.44
Clean Water Penalty	\$47,158.46	\$4,715.90	\$51,874.36
General	\$430.19	\$43.02	\$473.21
	<u>\$353,445.67</u>	<u>\$35,344.68</u>	<u>\$388,790.35</u>
Less Somers (Sewer)	-\$2,610.03	-\$261.01	-\$2,871.04
<b>Total PP Tax Roll</b>	<b>\$350,835.64</b>	<b>\$35,083.67</b>	<b>\$385,919.31</b>
Plus Kenosha (Water)	\$10,131.23	\$1,013.12	\$11,144.35
<b>Total Tax Roll</b>	<b>\$360,966.87</b>	<b>\$36,096.79</b>	<b>\$397,063.66</b>

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
13200.00 DIBBLE, DAVID & SUSAN				92-4-122-151-0015
Sewer	756.36	75.64	832.00	
Clean Water	100.71	10.07	110.78	
Water	633.10	63.31	696.41	
Garbage	203.27	20.33	223.60	
	<u>1,693.44</u>	<u>169.35</u>	<u>1,862.79</u>	
13500.00 THOMAS, STEVE				91-4-122-103-0300
Garbage	248.66	24.87	273.53	
Clean Water	100.21	10.02	110.23	
Sewer	603.14	60.31	663.45	
Water	31.92	3.19	35.11	
	<u>983.93</u>	<u>98.39</u>	<u>1,082.32</u>	
13510.01 WHITE, JOHN				92-4-122-152-0050
Sewer	291.02	29.10	320.12	
Clean Water	57.59	5.76	63.35	
Water	21.74	2.17	23.91	
Garbage	95.37	9.54	104.91	
	<u>465.72</u>	<u>46.57</u>	<u>512.29</u>	
13550.01 MANGOLD, EDWARD				91-4-122-103-0210
Water	325.40	32.54	357.94	
Sewer	409.54	40.95	450.49	
Clean Water	57.42	5.74	63.16	
Garbage	140.58	14.06	154.64	
	<u>932.94</u>	<u>93.29</u>	<u>1,026.23</u>	
13672.03 WEICHERT REALTY				92-4-122-152-0422
Water	353.89	35.39	389.28	
Clean Water	44.11	4.41	48.52	
Sewer	425.83	42.58	468.41	
Garbage	201.89	20.19	222.08	
	<u>1,025.72</u>	<u>102.57</u>	<u>1,128.29</u>	
13810.00 LAMMINEN, JULIE				92-4-122-153-0060
Sewer	619.06	61.91	680.97	
Clean Water	316.06	31.61	347.67	
Garbage	224.12	22.41	246.53	
Water	52.42	5.24	57.66	
	<u>1,211.66</u>	<u>121.17</u>	<u>1,332.83</u>	
13850.03 BANK OF NEW YORK MELLON				92-4-122-153-0085
Sewer	672.56	67.26	739.82	
Garbage	220.84	22.08	242.92	
Water	39.27	3.93	43.20	
Clean Water	63.97	6.40	70.37	
	<u>996.64</u>	<u>99.67</u>	<u>1,096.31</u>	
14870.02 BANK OF NEW YORK MELLON				91-4-122-113-0190
Garbage	46.81	4.68	51.49	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Clean Water	9.94	0.99	10.93	
Water	37.51	3.75	41.26	
Sewer	39.59	3.96	43.55	
	<u>133.85</u>	<u>13.38</u>	<u>147.23</u>	
14903.00 OCCUPANT				92-4-122-142-0020
Garbage	225.40	22.54	247.94	
Clean Water	119.89	11.99	131.88	
Water	58.45	5.84	64.29	
Sewer	619.06	61.91	680.97	
	<u>1,022.80</u>	<u>102.28</u>	<u>1,125.08</u>	
14960.01 SILVA, MARTIN & LETICIA				91-4-122-113-0174
Water	529.10	52.91	582.01	
Clean Water	38.68	3.87	42.55	
Sewer	676.85	67.68	744.53	
Garbage	271.70	27.17	298.87	
	<u>1,516.33</u>	<u>151.63</u>	<u>1,667.96</u>	
14985.04 RASCH, DAVE				91-4-122-113-0456
Sewer	91.37	9.14	100.51	
Garbage	61.98	6.20	68.18	
Water	80.28	8.03	88.31	
Clean Water	15.92	1.59	17.51	
	<u>249.55</u>	<u>24.96</u>	<u>274.51</u>	
14992.00 DEROHAN, ERIC				92-4-122-142-0571
Water	330.04	33.00	363.04	
Garbage	202.06	20.21	222.27	
Sewer	424.05	42.40	466.45	
Clean Water	45.74	4.57	50.31	
	<u>1,001.89</u>	<u>100.18</u>	<u>1,102.07</u>	
15078.00 CIBRARIO, WILLIAM				92-4-122-151-0005
Sewer	479.71	47.97	527.68	
Water	433.49	43.35	476.84	
Garbage	199.20	19.92	219.12	
Clean Water	107.33	10.73	118.06	
	<u>1,219.73</u>	<u>121.97</u>	<u>1,341.70</u>	
15170.09 DARMAS, ERNESTO				92-4-122-142-0350
Clean Water	5.49	0.55	6.04	
Water	71.37	7.14	78.51	
Sewer	72.07	7.21	79.28	
Garbage	31.16	3.12	34.28	
	<u>180.09</u>	<u>18.02</u>	<u>198.11</u>	
15330.00 SEAL, ROBERT				92-4-122-142-0080
Sewer	220.45	22.04	242.49	
Water	233.07	23.31	256.38	
Clean Water	55.49	5.55	61.04	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Garbage	95.36	9.54	104.90	
	<u>604.37</u>	<u>60.44</u>	<u>664.81</u>	
15340.01 MOE, WILLIAM				92-4-122-142-0080
Garbage	199.37	19.94	219.31	
Sewer	259.85	25.98	285.83	
Water	218.48	21.85	240.33	
	<u>677.70</u>	<u>67.77</u>	<u>745.47</u>	
15390.01 BRUCE, THOMAS				92-4-122-142-0275
Garbage	203.31	20.33	223.64	
Clean Water	84.86	8.49	93.35	
Sewer	820.82	82.08	902.90	
Water	671.02	67.10	738.12	
	<u>1,780.01</u>	<u>178.00</u>	<u>1,958.01</u>	
15650.00 SCHNUCK, MARK				92-4-122-142-0334
Water	982.31	98.23	1,080.54	
Clean Water	66.25	6.62	72.87	
Garbage	204.23	20.42	224.65	
Sewer	440.95	44.10	485.05	
	<u>1,693.74</u>	<u>169.37</u>	<u>1,863.11</u>	
15690.00 KUTZLER, BRENDA				92-4-122-142-0329
Sewer	339.73	33.97	373.70	
Clean Water	22.06	2.21	24.27	
Garbage	98.43	9.84	108.27	
Water	275.50	27.55	303.05	
	<u>735.72</u>	<u>73.57</u>	<u>809.29</u>	
15710.01 CRISTIANO, ANDY				92-4-122-142-0325
Garbage	203.34	20.33	223.67	
Water	416.58	41.66	458.24	
Sewer	494.81	49.48	544.29	
Clean Water	69.25	6.92	76.17	
	<u>1,183.98</u>	<u>118.39</u>	<u>1,302.37</u>	
15870.03 SEPANSKI, AARON & JULIENNE				92-4-122-142-0374
Clean Water	47.49	4.75	52.24	
Water	822.91	82.29	905.20	
Sewer	676.68	67.67	744.35	
Garbage	203.31	20.33	223.64	
	<u>1,750.39</u>	<u>175.04</u>	<u>1,925.43</u>	
16024.02 BECKER, DARREN & ANGELA				92-4-122-142-0302
Clean Water	60.86	6.09	66.95	
Garbage	225.77	22.58	248.35	
Water	49.03	4.90	53.93	
Sewer	619.06	61.91	680.97	
	<u>954.72</u>	<u>95.48</u>	<u>1,050.20</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
16132.00 BARKS, SUE				92-4-122-142-0121
Sewer	416.61	41.66	458.27	
Garbage	203.27	20.33	223.60	
Water	349.24	34.92	384.16	
Clean Water	169.58	16.96	186.54	
	<u>1,138.70</u>	<u>113.87</u>	<u>1,252.57</u>	
16189.01 RICHIE, MICHAEL				92-4-122-142-0168
Garbage	203.10	20.31	223.41	
Clean Water	47.42	4.74	52.16	
Water	39.30	3.93	43.23	
Sewer	618.42	61.84	680.26	
	<u>908.24</u>	<u>90.82</u>	<u>999.06</u>	
16302.00 TSOGAS, JOHN				92-4-122-143-0204
Clean Water	261.43	26.14	287.57	
Garbage	197.66	19.77	217.43	
Water	55.62	5.56	61.18	
Sewer	603.27	60.33	663.60	
	<u>1,117.98</u>	<u>111.80</u>	<u>1,229.78</u>	
16322.00 NYBERG, JEFFREY				92-4-122-143-0181
Water	44.21	4.42	48.63	
Sewer	618.94	61.89	680.83	
Clean Water	95.20	9.52	104.72	
Garbage	203.27	20.33	223.60	
	<u>961.62</u>	<u>96.16</u>	<u>1,057.78</u>	
16332.12 DOUGLAS, RYAN				93-4-123-183-0515
Water	75.96	7.60	83.56	
Sewer	94.60	9.46	104.06	
Garbage	54.81	5.48	60.29	
	<u>225.37</u>	<u>22.54</u>	<u>247.91</u>	
16410.00 GROGAN, TIMOTHY				92-4-122-143-0226
Water	386.69	38.67	425.36	
Clean Water	61.00	6.10	67.10	
Sewer	495.57	49.56	545.13	
Garbage	200.75	20.08	220.83	
	<u>1,144.01</u>	<u>114.41</u>	<u>1,258.42</u>	
16422.00 ROANHAUS, DANIEL				92-4-122-143-0012
Garbage	203.67	20.37	224.04	
Clean Water	88.91	8.89	97.80	
Water	32.35	3.24	35.59	
Sewer	619.06	61.91	680.97	
	<u>943.99</u>	<u>94.41</u>	<u>1,038.40</u>	
16428.04 GALLAGHER/ACELLO				92-4-122-143-0232
Sewer	178.91	17.89	196.80	
Water	175.39	17.54	192.93	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Clean Water	44.09	4.41	48.50	
Garbage	205.04	20.50	225.54	
	<u>603.43</u>	<u>60.34</u>	<u>663.77</u>	
16484.00 P T ENTERPRISES				92-4-122-154-0100
Water	34.14	3.41	37.55	
Clean Water	63.76	6.38	70.14	
Garbage	203.31	20.33	223.64	
	<u>301.21</u>	<u>30.12</u>	<u>331.33</u>	
16497.01 NYQUIST, TIM				92-4-122-153-0150
Clean Water	127.76	12.78	140.54	
Garbage	203.31	20.33	223.64	
Water	44.22	4.42	48.64	
Sewer	619.06	61.91	680.97	
	<u>994.35</u>	<u>99.44</u>	<u>1,093.79</u>	
16667.00 MINNOCH, BONITA				92-4-122-144-0141
Garbage	203.18	20.32	223.50	
Clean Water	175.78	17.58	193.36	
Water	561.28	56.13	617.41	
	<u>940.24</u>	<u>94.03</u>	<u>1,034.27</u>	
16668.01 OBERG, CARMEN				91-4-122-133-0160
Sewer	680.11	68.01	748.12	
Water	579.12	57.91	637.03	
Clean Water	49.79	4.98	54.77	
Garbage	187.75	18.78	206.53	
	<u>1,496.77</u>	<u>149.68</u>	<u>1,646.45</u>	
16688.02 NAVA, SABINO				92-4-122-143-0082
Sewer	469.41	46.94	516.35	
Clean Water	101.25	10.12	111.37	
Water	462.02	46.20	508.22	
Garbage	161.74	16.17	177.91	
	<u>1,194.42</u>	<u>119.43</u>	<u>1,313.85</u>	
16691.00 QUELLO, QUINN				92-4-122-143-0080
Garbage	188.84	18.88	207.72	
Sewer	164.33	16.43	180.76	
Clean Water	85.30	8.53	93.83	
Water	162.49	16.25	178.74	
	<u>600.96</u>	<u>60.09</u>	<u>661.05</u>	
16701.00 ALGIERS, BARB				92-4-122-143-0074
Water	170.75	17.08	187.83	
Clean Water	87.88	8.79	96.67	
Sewer	198.54	19.85	218.39	
Garbage	116.91	11.69	128.60	
	<u>574.08</u>	<u>57.41</u>	<u>631.49</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
16703.02 DOUBLE D TWO INVESTMENTS I				232-1304A
Water	30.10	3.01	33.11	
Sewer	196.29	19.63	215.92	
Garbage	441.67	44.17	485.84	
	<u>668.06</u>	<u>66.81</u>	<u>734.87</u>	
16706.02 DOUBLE D TWO INVESTMENTS I				232-1304B
Water	1,512.84	151.28	1,664.12	
Sewer	2,641.88	264.19	2,906.07	
Garbage	220.83	22.08	242.91	
	<u>4,375.55</u>	<u>437.55</u>	<u>4,813.10</u>	
16780.01 TRUAX, DONNA				91-4-122-133-0145
Sewer	0.00	0.00	0.00	
Water	20.94	2.09	23.03	
Clean Water	102.60	10.26	112.86	
Garbage	224.17	22.42	246.59	
	<u>347.71</u>	<u>34.77</u>	<u>382.48</u>	
16870.03 LINDSAY, JOHN				91-4-122-133-0108
Clean Water	57.45	5.74	63.19	
Sewer	320.15	32.02	352.17	
Garbage	203.30	20.33	223.63	
Water	258.59	25.86	284.45	
	<u>839.49</u>	<u>83.95</u>	<u>923.44</u>	
17010.01 YOUNG, TROY				92-4-122-144-0050
Sewer	258.15	25.82	283.97	
Garbage	203.31	20.33	223.64	
Clean Water	29.37	2.94	32.31	
Water	217.51	21.75	239.26	
	<u>708.34</u>	<u>70.84</u>	<u>779.18</u>	
17037.00 RINTOUL, WAYNE				91-4-122-134-0860
Garbage	51.98	5.20	57.18	
Clean Water	26.00	2.60	28.60	
Sewer	158.60	15.86	174.46	
Water	11.10	1.11	12.21	
	<u>247.68</u>	<u>24.77</u>	<u>272.45</u>	
17098.00 EARLEY, NANCY				91-4-122-134-0120
Water	9.21	0.92	10.13	
Garbage	46.97	4.70	51.67	
Sewer	143.35	14.34	157.69	
Clean Water	20.09	2.01	22.10	
	<u>219.62</u>	<u>21.97</u>	<u>241.59</u>	
17310.09 SNOW, ERIC & RUTH				92-4-122-242-0020
Water	162.88	16.29	179.17	
Clean Water	94.68	9.47	104.15	
Garbage	91.96	9.20	101.16	
	<u>349.52</u>	<u>34.96</u>	<u>384.48</u>	

*92-4-122-232-1304*



VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
17310.10 ESTATE OF MICHAEL BRUST				92-4-122-242-0020
Clean Water	115.12	11.51	126.63	
Garbage	111.81	11.18	122.99	
Water	94.17	9.42	103.59	
	<u>321.10</u>	<u>32.11</u>	<u>353.21</u>	
17404.01 PAYTON, DANIEL				91-4-122-134-0885
Water	32.35	3.24	35.59	
Clean Water	40.67	4.07	44.74	
Garbage	240.22	24.02	264.24	
Sewer	619.06	61.91	680.97	
	<u>932.30</u>	<u>93.24</u>	<u>1,025.54</u>	
17405.00 MAROLT, JASON & ROBIN				91-4-122-134-0681
Garbage	203.24	20.32	223.56	
Clean Water	34.69	3.47	38.16	
Sewer	538.61	53.86	592.47	
Water	428.99	42.90	471.89	
	<u>1,205.53</u>	<u>120.55</u>	<u>1,326.08</u>	
17420.02 BORING, CAROL				91-4-122-134-0677
Sewer	397.76	39.78	437.54	
Water	321.43	32.14	353.57	
Clean Water	47.45	4.74	52.19	
Garbage	203.19	20.32	223.51	
	<u>969.83</u>	<u>96.98</u>	<u>1,066.81</u>	
17452.00 PAULSON, ELVIRA				91-4-122-134-0415
Water	27.77	2.78	30.55	
Sewer	619.06	61.91	680.97	
Clean Water	54.44	5.44	59.88	
Garbage	203.31	20.33	223.64	
	<u>904.58</u>	<u>90.46</u>	<u>995.04</u>	
17520.01 JUDEIKA, TROY				91-4-122-134-0475
Sewer	541.36	54.14	595.50	
Water	421.92	42.19	464.11	
Garbage	166.12	16.61	182.73	
Clean Water	40.07	4.01	44.08	
	<u>1,169.47</u>	<u>116.95</u>	<u>1,286.42</u>	
17540.01 KRISTIENSEN, ROBERT				91-4-122-134-0460
Water	116.47	11.65	128.12	
Garbage	15.50	1.55	17.05	
Clean Water	3.55	0.36	3.91	
Sewer	53.01	5.30	58.31	
	<u>188.53</u>	<u>18.86</u>	<u>207.39</u>	
17613.02 US BANK NATIONAL ASSOC				91-4-122-134-0158
Water	32.74	3.27	36.01	
Clean Water	36.41	3.64	40.05	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Sewer	613.87	61.39	675.26	
Garbage	201.60	20.16	221.76	
	<u>884.62</u>	<u>88.46</u>	<u>973.08</u>	
17644.00 PRICKETT, BEN & KELLEY				91-4-122-134-0125
Clean Water	103.10	10.31	113.41	
Sewer	709.14	70.91	780.05	
Garbage	203.31	20.33	223.64	
Water	614.33	61.43	675.76	
	<u>1,629.88</u>	<u>162.98</u>	<u>1,792.86</u>	
18522.00 PAISER, GREGG & SUZANNE				92-4-122-232-0322
Sewer	37.46	3.75	41.21	
Garbage	20.20	2.02	22.22	
Water	319.14	31.91	351.05	
Clean Water	3.38	0.34	3.72	
	<u>380.18</u>	<u>38.02</u>	<u>418.20</u>	
20013.00 HENRIKSON, JOHN				91-4-122-071-0265
Garbage	203.31	20.33	223.64	
Clean Water	61.78	6.18	67.96	
Sewer	571.74	57.17	628.91	
Water	461.57	46.16	507.73	
	<u>1,298.40</u>	<u>129.84</u>	<u>1,428.24</u>	
20204.00 REINDL JR., LEO				91-4-122-071-0646
Sewer	960.58	96.06	1,056.64	
Water	816.92	81.69	898.61	
Clean Water	116.88	11.69	128.57	
Garbage	203.31	20.33	223.64	
	<u>2,097.69</u>	<u>209.77</u>	<u>2,307.46</u>	
20608.01 BRAVO REALTY				91-4-122-071-0075
Clean Water	119.66	11.97	131.63	
Garbage	203.12	20.31	223.43	
Water	46.60	4.66	51.26	
	<u>369.38</u>	<u>36.94</u>	<u>406.32</u>	
20632.00 DORR, STEVEN				91-4-122-074-0335
Sewer	393.37	39.34	432.71	
Clean Water	53.58	5.36	58.94	
Garbage	128.93	12.89	141.82	
Water	37.83	3.78	41.61	
	<u>613.71</u>	<u>61.37</u>	<u>675.08</u>	
20640.01 MOHR, KIM				91-4-122-071-0105
Garbage	21.30	2.13	23.43	
Water	84.25	8.42	92.67	
Sewer	72.69	7.27	79.96	
Clean Water	7.51	0.75	8.26	
	<u>185.75</u>	<u>18.57</u>	<u>204.32</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
20646.00 CHICK, OLIVER				92-4-122-182-0020
Garbage	203.31	20.33	223.64	
Water	50.04	5.00	55.04	
Clean Water	211.83	21.18	233.01	
	<u>465.18</u>	<u>46.51</u>	<u>511.69</u>	
20650.00 SCHAFFER, ROBERT				92-4-122-192-0100
Clean Water	1,852.15	185.22	2,037.37	
Garbage	203.31	20.33	223.64	
Water	97.56	9.76	107.32	
	<u>2,153.02</u>	<u>215.31</u>	<u>2,368.33</u>	
20702.00 EUBANKS, WILLIAM				92-4-122-182-0070
Garbage	203.33	20.33	223.66	
Clean Water	50.48	5.05	55.53	
Water	558.39	55.84	614.23	
	<u>812.20</u>	<u>81.22</u>	<u>893.42</u>	
20703.00 EUBANKS, WILLIAM W				92-4-122-182-0080
Water	249.92	24.99	274.91	
Clean Water	420.49	42.05	462.54	
Garbage	203.29	20.33	223.62	
	<u>873.70</u>	<u>87.37</u>	<u>961.07</u>	
21020.00 MOLETTE, PATRICIA				91-4-122-074-0120
Water	236.40	23.64	260.04	
Sewer	277.62	27.76	305.38	
Clean Water	57.45	5.74	63.19	
Garbage	190.20	19.02	209.22	
	<u>761.67</u>	<u>76.16</u>	<u>837.83</u>	
21043.00 BLACKWOOD, BRIDGETT				91-4-122-074-0100
Clean Water	31.54	3.15	34.69	
Garbage	109.84	10.98	120.82	
Sewer	392.93	39.29	432.22	
Water	329.64	32.96	362.60	
	<u>863.95</u>	<u>86.38</u>	<u>950.33</u>	
21087.00 SAIPPA, JOHN				91-4-122-074-0170
Water	597.04	59.70	656.74	
Clean Water	153.05	15.30	168.35	
Sewer	789.71	78.97	868.68	
Garbage	194.32	19.43	213.75	
	<u>1,734.12</u>	<u>173.40</u>	<u>1,907.52</u>	
21099.00 OWENS, TERESA				91-4-122-074-0182
Water	221.29	22.13	243.42	
Sewer	269.57	26.96	296.53	
Clean Water	34.11	3.41	37.52	
Garbage	132.08	13.21	145.29	
	<u>657.05</u>	<u>65.71</u>	<u>722.76</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
21110.00 PAVELSKI, JOHN J.				91-4-122-074-0181
Clean Water	53.38	5.34	58.72	
Sewer	253.70	25.37	279.07	
Garbage	203.31	20.33	223.64	
Water	227.68	22.77	250.45	
	<u>738.07</u>	<u>73.81</u>	<u>811.88</u>	
21165.01 PUFONT, VICTOR & DEBORAH				91-4-122-073-0010
Sewer	601.36	60.14	661.50	
Clean Water	796.15	79.62	875.77	
Garbage	203.30	20.33	223.63	
Water	546.62	54.66	601.28	
	<u>2,147.43</u>	<u>214.75</u>	<u>2,362.18</u>	
21380.01 UHR, ANDREA				91-4-122-074-0430
Garbage	203.25	20.32	223.57	
Clean Water	64.77	6.48	71.25	
Water	351.57	35.16	386.73	
Sewer	453.24	45.32	498.56	
	<u>1,072.83</u>	<u>107.28</u>	<u>1,180.11</u>	
21407.03 NATIONSTART MORTGAGE				91-4-122-074-0460
Clean Water	50.72	5.07	55.79	
Water	321.89	32.19	354.08	
Sewer	429.32	42.93	472.25	
Garbage	198.53	19.85	218.38	
	<u>1,000.46</u>	<u>100.04</u>	<u>1,100.50</u>	
21411.00 WILLIS, MICHAEL				91-4-122-074-0470
Sewer	595.47	59.55	655.02	
Water	506.92	50.69	557.61	
Clean Water	142.43	14.24	156.67	
Garbage	196.74	19.67	216.41	
	<u>1,441.56</u>	<u>144.15</u>	<u>1,585.71</u>	
21419.00 SPENCER, BRIAN				91-4-122-074-0475
Water	227.48	22.75	250.23	
Sewer	244.62	24.46	269.08	
Clean Water	43.41	4.34	47.75	
Garbage	65.07	6.51	71.58	
	<u>580.58</u>	<u>58.06</u>	<u>638.64</u>	
21485.01 FLOOD, NELSON				91-4-122-074-0018
Clean Water	20.94	2.09	23.03	
Water	116.15	11.62	127.77	
Garbage	90.94	9.09	100.03	
Sewer	110.81	11.08	121.89	
	<u>338.84</u>	<u>33.88</u>	<u>372.72</u>	
21909.00 CROFT, DAVID & LIANNA				91-4-122-083-0626
Sewer	129.55	12.96	142.51	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Clean Water	9.05	0.90	9.95	
Water	107.23	10.72	117.95	
Garbage	31.22	3.12	34.34	
	<u>277.05</u>	<u>27.70</u>	<u>304.75</u>	
22288.00 ANDERSON, KENNETH				92-4-122-181-0080
Water	136.31	13.63	149.94	
Sewer	35.79	3.58	39.37	
Garbage	18.36	1.84	20.20	
Clean Water	8.13	0.81	8.94	
	<u>198.59</u>	<u>19.86</u>	<u>218.45</u>	
22443.00 CLARK				92-4-122-181-0623
Clean Water	38.78	3.88	42.66	
Garbage	197.99	19.80	217.79	
Sewer	583.74	58.37	642.11	
Water	618.43	61.84	680.27	
	<u>1,438.94</u>	<u>143.89</u>	<u>1,582.83</u>	
22444.00 ZENNER				92-4-122-181-0624
Water	716.08	71.61	787.69	
Garbage	179.28	17.93	197.21	
Clean Water	40.61	4.06	44.67	
Sewer	535.68	53.57	589.25	
	<u>1,471.65</u>	<u>147.17</u>	<u>1,618.82</u>	
22713.10 FOOTE, STEVEN				91-4-122-083-0330
Sewer	462.03	46.20	508.23	
Clean Water	59.45	5.94	65.39	
Garbage	189.57	18.96	208.53	
Water	369.18	36.92	406.10	
	<u>1,080.23</u>	<u>108.02</u>	<u>1,188.25</u>	
22751.02 PFEIFFER, PETER & CHERYL				92-4-122-172-0044
Clean Water	77.26	7.73	84.99	
Sewer	140.74	14.07	154.81	
Water	132.61	13.26	145.87	
Garbage	166.41	16.64	183.05	
	<u>517.02</u>	<u>51.70</u>	<u>568.72</u>	
22765.01 MCFARLAND, SCOTT & RENEE				92-4-122-172-0045
Sewer	376.89	37.69	414.58	
Water	283.19	28.32	311.51	
Clean Water	31.01	3.10	34.11	
Garbage	131.19	13.12	144.31	
	<u>822.28</u>	<u>82.23</u>	<u>904.51</u>	
22782.08 GREENWOOD, PAM				92-4-122-172-0090
Water	448.00	44.80	492.80	
Sewer	583.29	58.33	641.62	
Clean Water	60.88	6.09	66.97	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Garbage	198.65	19.86	218.51	
	<u>1,290.82</u>	<u>129.08</u>	<u>1,419.90</u>	
22851.00 RINEHART, ROBERT W.				92-4-122-181-0520
Water	356.72	35.67	392.39	
Sewer	476.19	47.62	523.81	
Garbage	174.46	17.45	191.91	
Clean Water	34.13	3.41	37.54	
	<u>1,041.50</u>	<u>104.15</u>	<u>1,145.65</u>	
22856.03 MCLEAN, JESSICA				92-4-122-181-0515
Water	100.73	10.07	110.80	
Sewer	104.80	10.48	115.28	
Clean Water	9.05	0.90	9.95	
Garbage	45.25	4.52	49.77	
	<u>259.83</u>	<u>25.97</u>	<u>285.80</u>	
22897.00 PAUKNER, GREG & KIM				92-4-122-181-0300
Garbage	203.31	20.33	223.64	
Sewer	1,010.22	101.02	1,111.24	
Clean Water	89.85	8.98	98.83	
Water	813.04	81.30	894.34	
	<u>2,116.42</u>	<u>211.63</u>	<u>2,328.05</u>	
23020.00 SALVA, PAUL				92-4-122-172-0075
Garbage	178.75	17.88	196.63	
Clean Water	44.88	4.49	49.37	
Sewer	514.88	51.49	566.37	
Water	449.67	44.97	494.64	
	<u>1,188.18</u>	<u>118.83</u>	<u>1,307.01</u>	
23034.00 LEITING, TOM				92-4-122-172-0071
Water	99.19	9.92	109.11	
Clean Water	26.03	2.60	28.63	
Sewer	115.65	11.56	127.21	
	<u>240.87</u>	<u>24.08</u>	<u>264.95</u>	
23085.00 BOHAT JR., EDWARD				91-4-122-083-0036
Water	502.00	50.20	552.20	
Sewer	580.43	58.04	638.47	
Garbage	230.39	23.04	253.43	
Clean Water	93.25	9.32	102.57	
	<u>1,406.07</u>	<u>140.60</u>	<u>1,546.67</u>	
23105.00 RANDLE, GARY				91-4-122-083-0055
Clean Water	5.15	0.52	5.67	
Garbage	23.12	2.31	25.43	
Sewer	39.34	3.93	43.27	
Water	33.40	3.34	36.74	
	<u>101.01</u>	<u>10.10</u>	<u>111.11</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
23132.01 MCFARLAND, SCOTT & RENEE				92-4-122-172-0050
Water	15.01	1.50	16.51	
Sewer	334.40	33.44	367.84	
Clean Water	23.00	2.30	25.30	
Garbage	109.56	10.96	120.52	
	<u>481.97</u>	<u>48.20</u>	<u>530.17</u>	
23225.00 BARTER, R. CRAIG				91-4-122-092-0275
Sewer	619.06	61.91	680.97	
Clean Water	1,059.37	105.94	1,165.31	
Water	73.21	7.32	80.53	
Garbage	203.31	20.33	223.64	
	<u>1,954.95</u>	<u>195.50</u>	<u>2,150.45</u>	
23243.01 HOLZ, LOUISE				92-4-122-171-0020
Garbage	179.81	17.98	197.79	
Water	260.08	26.01	286.09	
Clean Water	125.16	12.52	137.68	
	<u>565.05</u>	<u>56.51</u>	<u>621.56</u>	
23309.01 SPECK, JON & LORI				92-4-122-233-0109
Water	250.81	25.08	275.89	
Sewer	202.75	20.28	223.03	
Clean Water	27.57	2.76	30.33	
Garbage	94.46	9.45	103.91	
	<u>575.59</u>	<u>57.57</u>	<u>633.16</u>	
23311.01 MADRIGRANO, TAMMY				92-4-122-233-0111
Sewer	335.96	33.60	369.56	
Clean Water	30.71	3.07	33.78	
Water	883.59	88.36	971.95	
Garbage	100.17	10.02	110.19	
	<u>1,350.43</u>	<u>135.05</u>	<u>1,485.48</u>	
23322.03 SCHMIDT, ALLAN				92-4-122-233-0122
Sewer	517.99	51.80	569.79	
Water	471.75	47.18	518.93	
Garbage	158.02	15.80	173.82	
Clean Water	58.73	5.87	64.60	
	<u>1,206.49</u>	<u>120.65</u>	<u>1,327.14</u>	
23346.02 WEISS, MANDY & MATTHEW				92-4-122-233-0146
Water	0.00	0.00	0.00	
Sewer	0.00	0.00	0.00	
Garbage	0.00	0.00	0.00	
Clean Water	111.63	11.16	122.79	
	<u>111.63</u>	<u>11.16</u>	<u>122.79</u>	
23400.01 CARRIER, STEVEN				92-4-122-233-0200
Water	473.68	47.37	521.05	
Clean Water	31.80	3.18	34.98	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Sewer	365.73	36.57	402.30	
Garbage	119.87	11.99	131.86	
	<u>991.08</u>	<u>99.11</u>	<u>1,090.19</u>	
23494.00 HARVEY, GREGORY				92-4-122-233-0685
Clean Water	74.50	7.45	81.95	
Water	705.77	70.58	776.35	
Garbage	203.31	20.33	223.64	
Sewer	698.56	69.86	768.42	
	<u>1,682.14</u>	<u>168.22</u>	<u>1,850.36</u>	
23912.01 YULE, ANDREW				91-4-122-084-0065
Sewer	612.58	61.26	673.84	
Water	511.03	51.10	562.13	
Clean Water	107.48	10.75	118.23	
Garbage	203.19	20.32	223.51	
	<u>1,434.28</u>	<u>143.43</u>	<u>1,577.71</u>	
24023.01 COOPER, BRIAN & NICOLE				91-4-122-084-0173
Sewer	82.44	8.24	90.68	
Water	329.57	32.96	362.53	
Clean Water	6.82	0.68	7.50	
Garbage	27.25	2.72	29.97	
	<u>446.08</u>	<u>44.60</u>	<u>490.68</u>	
24051.01 HOUSTON, JASON & STACEY				91-4-122-084-0301
Clean Water	22.70	2.27	24.97	
Garbage	86.36	8.64	95.00	
Water	250.69	25.07	275.76	
Sewer	193.35	19.34	212.69	
	<u>553.10</u>	<u>55.32</u>	<u>608.42</u>	
26014.00 NEUENDORF, RICHARD				91-4-122-054-0014
Water	30.60	3.06	33.66	
Garbage	202.53	20.25	222.78	
Sewer	616.93	61.69	678.62	
Clean Water	46.92	4.69	51.61	
	<u>896.98</u>	<u>89.69</u>	<u>986.67</u>	
26015.00 STAKUSEK, MARTIN				91-4-122-054-0036
Garbage	29.45	2.94	32.39	
Water	9.75	0.98	10.73	
Clean Water	8.56	0.86	9.42	
Sewer	89.87	8.99	98.86	
	<u>137.63</u>	<u>13.77</u>	<u>151.40</u>	
26026.01 ROSENBERG, STEVEN & CHRIST				91-4-122-054-0090
Clean Water	56.37	5.64	62.01	
Sewer	619.06	61.91	680.97	
Garbage	203.31	20.33	223.64	
Water	32.64	3.26	35.90	
	<u>911.38</u>	<u>91.14</u>	<u>1,002.52</u>	



VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
26028.04 CUMMINGS, THOMAS				91-4-122-054-0095
Clean Water	80.46	8.05	88.51	
Garbage	203.30	20.33	223.63	
Water	40.18	4.02	44.20	
Sewer	619.04	61.90	680.94	
	<u>942.98</u>	<u>94.30</u>	<u>1,037.28</u>	
26066.02 SANCHEZ, ARMANDO				91-4-122-043-0100
Clean Water	61.55	6.16	67.71	
Garbage	202.51	20.25	222.76	
Sewer	616.86	61.69	678.55	
Water	42.99	4.30	47.29	
	<u>923.91</u>	<u>92.40</u>	<u>1,016.31</u>	
26096.01 SHERLIN, ADDISON				91-4-122-043-0051
Clean Water	75.70	7.57	83.27	
Garbage	285.28	28.53	313.81	
Water	40.54	4.05	44.59	
Sewer	620.04	62.00	682.04	
	<u>1,021.56</u>	<u>102.15</u>	<u>1,123.71</u>	
27539.00 ANDERSON, MARK & JULIE				91-4-122-083-0441
Water	703.09	70.31	773.40	
Sewer	750.36	75.04	825.40	
Clean Water	54.95	5.50	60.45	
Garbage	203.31	20.33	223.64	
	<u>1,711.71</u>	<u>171.18</u>	<u>1,882.89</u>	
30023.00 GARZA, ANTHONY				93-4-123-172-0051
Garbage	203.31	20.33	223.64	
Clean Water	19.55	1.96	21.51	
Water	507.09	50.71	557.80	
	<u>729.95</u>	<u>73.00</u>	<u>802.95</u>	
30059.07 KLOPP, MICHAEL				93-4-123-172-0545
Water	370.51	37.05	407.56	
Clean Water	11.87	1.19	13.06	
Garbage	112.30	11.23	123.53	
	<u>494.68</u>	<u>49.47</u>	<u>544.15</u>	
30068.00 BRAGG				93-4-123-172-0810
Water	400.40	40.04	440.44	
Clean Water	14.83	1.48	16.31	
Garbage	128.43	12.84	141.27	
	<u>543.66</u>	<u>54.36</u>	<u>598.02</u>	
30152.00 FREDERKING, RICHARD JR.				93-4-123-172-0065
Garbage	203.31	20.33	223.64	
Clean Water	17.59	1.76	19.35	
Water	549.09	54.91	604.00	
	<u>769.99</u>	<u>77.00</u>	<u>846.99</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
30176.00 COTTO, GABRIEL				93-4-123-172-0450
Garbage	205.04	20.50	225.54	
Clean Water	17.59	1.76	19.35	
Water	660.45	66.04	726.49	
	<u>883.08</u>	<u>88.30</u>	<u>971.38</u>	
30180.01 ADE, THOMAS				93-4-123-172-0460
Clean Water	12.77	1.28	14.05	
Garbage	120.43	12.04	132.47	
Water	261.88	26.19	288.07	
	<u>395.08</u>	<u>39.51</u>	<u>434.59</u>	
30194.04 BYRD, SHAVYEA				93-4-123-172-0490
Garbage	43.93	4.39	48.32	
Water	113.70	11.37	125.07	
Clean Water	4.55	0.46	5.01	
	<u>162.18</u>	<u>16.22</u>	<u>178.40</u>	
30217.01 MILLER, DAVID				93-4-123-184-0240
Water	333.18	33.32	366.50	
Clean Water	17.06	1.71	18.77	
Garbage	203.31	20.33	223.64	
	<u>553.55</u>	<u>55.36</u>	<u>608.91</u>	
30249.00 ZOERNER, DAVID				92-4-122-264-0439
Garbage	41.26	4.13	45.39	
Sewer	106.55	10.66	117.21	
Clean Water	9.74	0.97	10.71	
Water	147.57	14.76	162.33	
	<u>305.12</u>	<u>30.52</u>	<u>335.64</u>	
30393.00 HANSON, WALLACE				93-4-123-172-0625
Water	261.76	26.18	287.94	
Garbage	117.76	11.78	129.54	
Clean Water	11.35	1.14	12.49	
	<u>390.87</u>	<u>39.10</u>	<u>429.97</u>	
30463.01 BOYKIN, STEVEN				93-4-123-184-0965
Clean Water	15.70	1.57	17.27	
Water	143.84	14.38	158.22	
Sewer	171.49	17.15	188.64	
Garbage	73.93	7.39	81.32	
	<u>404.96</u>	<u>40.49</u>	<u>445.45</u>	
30488.02 HUGHES, DEREK & KATIE				93-4-123-184-0995
Sewer	619.01	61.90	680.91	
Clean Water	36.18	3.62	39.80	
Water	467.13	46.71	513.84	
Garbage	203.31	20.33	223.64	
	<u>1,325.63</u>	<u>132.56</u>	<u>1,458.19</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
30495.00 HENDERLIETER, MARK				93-4-123-184-1030
Sewer	140.11	14.01	154.12	
Clean Water	10.49	1.05	11.54	
Water	119.34	11.93	131.27	
Garbage	62.95	6.30	69.25	
	<u>332.89</u>	<u>33.29</u>	<u>366.18</u>	
30618.01 BROWN, WILLIAM				92-4-122-343-0350
Garbage	228.65	22.86	251.51	
Water	593.82	59.38	653.20	
Sewer	768.04	76.80	844.84	
Clean Water	32.77	3.28	36.05	
	<u>1,623.28</u>	<u>162.32</u>	<u>1,785.60</u>	
30620.01 ROSENBERG, BRIAN				92-4-122-343-0360
Garbage	203.31	20.33	223.64	
Clean Water	39.22	3.92	43.14	
Sewer	1,056.55	105.66	1,162.21	
Water	798.96	79.90	878.86	
	<u>2,098.04</u>	<u>209.81</u>	<u>2,307.85</u>	
30622.00 KOSIDOWSKI, GORDON & KARE				92-4-122-343-0370
Garbage	203.30	20.33	223.63	
Sewer	456.13	45.61	501.74	
Clean Water	40.14	4.01	44.15	
Water	353.57	35.36	388.93	
	<u>1,053.14</u>	<u>105.31</u>	<u>1,158.45</u>	
30628.01 KRISOR, TIMOTHY				92-4-122-343-0435
Garbage	25.03	2.50	27.53	
Clean Water	4.91	0.49	5.40	
Sewer	75.93	7.59	83.52	
Water	75.35	7.54	82.89	
	<u>181.22</u>	<u>18.12</u>	<u>199.34</u>	
30648.01 LABELLE, DARRIN & SARAH				92-4-122-343-0560
Water	593.75	59.38	653.13	
Sewer	782.31	78.23	860.54	
Clean Water	29.81	2.98	32.79	
Garbage	197.63	19.76	217.39	
	<u>1,603.50</u>	<u>160.35</u>	<u>1,763.85</u>	
30660.00 HARRISON, RANDALL & PAMEL				92-4-122-343-0610
Garbage	294.27	29.43	323.70	
Clean Water	30.31	3.03	33.34	
Water	731.93	73.19	805.12	
Sewer	897.02	89.70	986.72	
	<u>1,953.53</u>	<u>195.35</u>	<u>2,148.88</u>	
30670.04 BLOWERS, LYNNDEE				92-4-122-343-0660
Garbage	134.07	13.41	147.48	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Sewer	180.80	18.08	198.88	
Clean Water	10.66	1.07	11.73	
Water	146.83	14.68	161.51	
	<u>472.36</u>	<u>47.24</u>	<u>519.60</u>	
30672.01 FREEMAN, KEVIN				92-4-122-343-0670
Sewer	591.85	59.18	651.03	
Clean Water	27.95	2.80	30.75	
Garbage	203.31	20.33	223.64	
Water	446.91	44.69	491.60	
	<u>1,270.02</u>	<u>127.00</u>	<u>1,397.02</u>	
30722.08 WINTHROP HARBOR LLC				92-4-122-343-0950
Garbage	47.24	4.72	51.96	
Clean Water	6.04	0.60	6.64	
Sewer	85.69	8.57	94.26	
Water	75.30	7.53	82.83	
	<u>214.27</u>	<u>21.42</u>	<u>235.69</u>	
30748.00 MCCAFFERTY, SEAN				92-4-122-343-1100
Water	444.52	44.45	488.97	
Clean Water	32.79	3.28	36.07	
Sewer	561.73	56.17	617.90	
Garbage	203.31	20.33	223.64	
	<u>1,242.35</u>	<u>124.23</u>	<u>1,366.58</u>	
30766.00 STOUT, JAMES				92-4-122-343-1200
Sewer	553.15	55.32	608.47	
Garbage	207.60	20.76	228.36	
Water	553.19	55.32	608.51	
Clean Water	29.08	2.91	31.99	
	<u>1,343.02</u>	<u>134.31</u>	<u>1,477.33</u>	
30780.07 FALLS, VICTORIA				92-4-122-343-1270
Sewer	71.66	7.17	78.83	
Water	68.40	6.84	75.24	
Clean Water	12.35	1.24	13.59	
Garbage	77.48	7.75	85.23	
	<u>229.89</u>	<u>23.00</u>	<u>252.89</u>	
30809.00 LAKEVIEW CHILDCARE				92-4-122-281-0120
Water	1,187.05	118.70	1,305.75	
Clean Water	122.69	12.27	134.96	
General (SL & Bentz)	48.96	4.90	53.86	
Sewer	634.19	63.42	697.61	
	<u>1,992.89</u>	<u>199.29</u>	<u>2,192.18</u>	
30956.01 GRUNDY, SCOTT				92-4-122-262-0266
Water	50.87	5.09	55.96	
Clean Water	4.82	0.48	5.30	
Sewer	46.87	4.69	51.56	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Garbage	12.43	1.24	13.67	
	<u>114.99</u>	<u>11.50</u>	<u>126.49</u>	
30963.00 CLARK, SHARON, JOSEPH				92-4-122-262-0273
Garbage	100.42	10.04	110.46	
Sewer	357.90	35.79	393.69	
Clean Water	34.68	3.47	38.15	
Water	500.40	50.04	550.44	
	<u>993.40</u>	<u>99.34</u>	<u>1,092.74</u>	
31007.07 FIERKE, AMBER				92-4-122-261-0530
Clean Water	64.15	6.42	70.57	
Sewer	593.85	59.38	653.23	
Garbage	179.46	17.95	197.41	
Water	998.67	99.87	1,098.54	
	<u>1,836.13</u>	<u>183.62</u>	<u>2,019.75</u>	
31050.03 JACKSON, JOE				92-4-122-234-0380
Water	274.18	27.42	301.60	
Sewer	322.73	32.27	355.00	
Clean Water	110.34	11.03	121.37	
Garbage	131.82	13.18	145.00	
	<u>839.07</u>	<u>83.90</u>	<u>922.97</u>	
31101.01 PAGLIA, MR & MRS				92-4-122-264-0436
Water	52.74	5.27	58.01	
Garbage	15.50	1.55	17.05	
Sewer	64.41	6.44	70.85	
Clean Water	5.24	0.52	5.76	
	<u>137.89</u>	<u>13.78</u>	<u>151.67</u>	
31107.00 DRUCKS, ERIC & KELLY				92-4-122-264-0428
Clean Water	67.68	6.77	74.45	
Sewer	544.48	54.45	598.93	
Garbage	203.31	20.33	223.64	
Water	479.69	47.97	527.66	
	<u>1,295.16</u>	<u>129.52</u>	<u>1,424.68</u>	
31200.00 FORREST, ALLEN				92-4-122-261-0153
Water	784.47	78.45	862.92	
Sewer	736.53	73.65	810.18	
Clean Water	69.29	6.93	76.22	
Garbage	179.28	17.93	197.21	
	<u>1,769.57</u>	<u>176.96</u>	<u>1,946.53</u>	
31296.03 RUFFOLO, ERIC & JESSICA				92-4-122-252-0543
Water	211.97	21.20	233.17	
Sewer	233.64	23.36	257.00	
Clean Water	30.20	3.02	33.22	
Garbage	86.84	8.68	95.52	
	<u>562.65</u>	<u>56.26</u>	<u>618.91</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
31332.00 O'BOYLE, DONALD & BETHANY				92-4-122-252-0565
Water	63.95	6.40	70.35	
Sewer	61.59	6.16	67.75	
Clean Water	5.77	0.58	6.35	
Garbage	20.21	2.02	22.23	
	<u>151.52</u>	<u>15.16</u>	<u>166.68</u>	
31460.01 DEWOLF, KAREN				92-4-122-243-0090
Garbage	113.31	11.33	124.64	
Water	249.66	24.97	274.63	
Sewer	308.63	30.86	339.49	
Clean Water	42.74	4.27	47.01	
	<u>714.34</u>	<u>71.43</u>	<u>785.77</u>	
31620.00 TRECROCI, FRANK				92-4-122-243-0200
Water	443.95	44.40	488.35	
Sewer	470.94	47.09	518.03	
Garbage	162.16	16.22	178.38	
Clean Water	55.60	5.56	61.16	
	<u>1,132.65</u>	<u>113.27</u>	<u>1,245.92</u>	
31640.01 JUGA, DOUG				92-4-122-243-0210
Sewer	293.98	29.40	323.38	
Clean Water	26.97	2.70	29.67	
Garbage	82.39	8.24	90.63	
Water	233.51	23.35	256.86	
	<u>636.85</u>	<u>63.69</u>	<u>700.54</u>	
31650.00 COPE, JAMES				92-4-122-243-0215
Water	156.14	15.61	171.75	
Garbage	35.18	3.52	38.70	
Clean Water	12.33	1.23	13.56	
Sewer	106.97	10.70	117.67	
	<u>310.62</u>	<u>31.06</u>	<u>341.68</u>	
32060.02 HOLLAND, SCOTT & JODI				92-4-122-243-0776
Garbage	15.98	1.60	17.58	
Clean Water	5.45	0.54	5.99	
Sewer	43.10	4.31	47.41	
Water	35.47	3.55	39.02	
	<u>100.00</u>	<u>10.00</u>	<u>110.00</u>	
32160.02 JACKSON, REGINALD				92-4-122-243-0707
Water	347.22	34.72	381.94	
Clean Water	51.51	5.15	56.66	
Sewer	429.70	42.97	472.67	
Garbage	131.43	13.14	144.57	
	<u>959.86</u>	<u>95.98</u>	<u>1,055.84</u>	
32210.00 COX, GREGG				92-4-122-243-0575
Garbage	203.64	20.36	224.00	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Sewer	803.34	80.33	883.67	
Clean Water	72.77	7.28	80.05	
Water	601.48	60.15	661.63	
	<u>1,681.23</u>	<u>168.12</u>	<u>1,849.35</u>	
32350.00 HUXHOLD, JOHN				92-4-122-252-0602
Water	231.94	23.19	255.13	
Sewer	665.45	66.54	731.99	
Clean Water	151.78	15.18	166.96	
Garbage	203.29	20.33	223.62	
	<u>1,252.46</u>	<u>125.24</u>	<u>1,377.70</u>	
32480.00 KOSUP, JAMES				92-4-122-243-0770
Sewer	108.71	10.87	119.58	
Water	88.89	8.89	97.78	
Clean Water	12.28	1.23	13.51	
Garbage	33.81	3.38	37.19	
	<u>243.69</u>	<u>24.37</u>	<u>268.06</u>	
32560.00 RJW 30802 LIVING TRUST				92-4-122-243-0630
Clean Water	68.92	6.89	75.81	
Garbage	203.31	20.33	223.64	
Water	256.06	25.61	281.67	
Sewer	283.27	28.33	311.60	
	<u>811.56</u>	<u>81.16</u>	<u>892.72</u>	
32740.00 FREEMAN, LEO				92-4-122-351-0475
Water	352.27	35.23	387.50	
Clean Water	39.62	3.96	43.58	
Sewer	419.98	42.00	461.98	
Garbage	145.44	14.54	159.98	
	<u>957.31</u>	<u>95.73</u>	<u>1,053.04</u>	
32840.02 CASILLAS, DAWN				92-4-122-351-0540
Clean Water	51.55	5.16	56.71	
Sewer	594.88	59.49	654.37	
Garbage	179.70	17.97	197.67	
Water	557.10	55.71	612.81	
	<u>1,383.23</u>	<u>138.33</u>	<u>1,521.56</u>	
32850.01 SAUER, PEGGY				92-4-122-351-0545
Clean Water	30.85	3.08	33.93	
Water	394.23	39.42	433.65	
Sewer	297.69	29.77	327.46	
Garbage	114.11	11.41	125.52	
	<u>836.88</u>	<u>83.68</u>	<u>920.56</u>	
33000.00 ESTATE OF RONALD BLACK				92-4-122-351-0625
Garbage	203.15	20.32	223.47	
Clean Water	53.34	5.33	58.67	
Sewer	297.00	29.70	326.70	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Water	247.43	24.74	272.17	
	<u>800.92</u>	<u>80.09</u>	<u>881.01</u>	
33020.05 JENSEN, CLAUDE				92-4-122-351-0635
Water	173.47	17.35	190.82	
Sewer	176.77	17.68	194.45	
Clean Water	39.30	3.93	43.23	
Garbage	145.32	14.53	159.85	
	<u>534.86</u>	<u>53.49</u>	<u>588.35</u>	
33110.00 GIRAGOSIAN, DAVID & DEBRA				92-4-122-351-0685
Water	563.64	56.36	620.00	
Sewer	499.58	49.96	549.54	
Clean Water	59.27	5.93	65.20	
Garbage	203.31	20.33	223.64	
	<u>1,325.80</u>	<u>132.58</u>	<u>1,458.38</u>	
33160.00 RUHLE, CYNTHIA				92-4-122-351-0710
Garbage	51.56	5.16	56.72	
Water	182.79	18.28	201.07	
Sewer	93.05	9.30	102.35	
Clean Water	13.18	1.32	14.50	
	<u>340.58</u>	<u>34.06</u>	<u>374.64</u>	
33200.00 FLORES, MIGUEL & NELDA				92-4-122-351-0730
Sewer	47.34	4.73	52.07	
Water	39.47	3.95	43.42	
Clean Water	6.01	0.60	6.61	
Garbage	21.41	2.14	23.55	
	<u>114.23</u>	<u>11.42</u>	<u>125.65</u>	
33375.01 COURTIER, LANCE				92-4-122-354-0700
Sewer	678.33	67.83	746.16	
Clean Water	65.70	6.57	72.27	
Water	556.33	55.63	611.96	
Garbage	203.32	20.33	223.65	
	<u>1,503.68</u>	<u>150.36</u>	<u>1,654.04</u>	
33660.00 ARENA, MARY				92-4-122-354-0250
Water	394.81	39.48	434.29	
Sewer	484.93	48.49	533.42	
Clean Water	36.18	3.62	39.80	
Garbage	203.30	20.33	223.63	
	<u>1,119.22</u>	<u>111.92</u>	<u>1,231.14</u>	
33720.01 MEDINA, ALICIA				92-4-122-354-0280
Water	336.17	33.62	369.79	
Clean Water	42.39	4.24	46.63	
Garbage	202.12	20.21	222.33	
Sewer	430.73	43.07	473.80	
	<u>1,011.41</u>	<u>101.14</u>	<u>1,112.55</u>	



VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
34100.00 FITCH, WAYNE				92-4-122-354-0570
Water	468.26	46.83	515.09	
Clean Water	21.93	2.19	24.12	
Sewer	452.42	45.24	497.66	
Garbage	123.28	12.33	135.61	
	<u>1,065.89</u>	<u>106.59</u>	<u>1,172.48</u>	
34110.02 PIERANGELI, DEAN & DIANNE				92-4-122-354-0575
Sewer	287.06	28.71	315.77	
Water	304.46	30.45	334.91	
Clean Water	12.35	1.24	13.59	
Garbage	68.36	6.84	75.20	
	<u>672.23</u>	<u>67.24</u>	<u>739.47</u>	
34200.02 CANTRELL, STEVE				92-4-122-354-0180
Sewer	46.88	4.69	51.57	
Clean Water	5.75	0.58	6.33	
Garbage	30.54	3.05	33.59	
Water	48.35	4.84	53.19	
	<u>131.52</u>	<u>13.16</u>	<u>144.68</u>	
34220.00 HALSTEAD, ELOISE				92-4-122-354-0175
Sewer	568.60	56.86	625.46	
Water	495.74	49.57	545.31	
Clean Water	35.70	3.57	39.27	
Garbage	200.28	20.03	220.31	
	<u>1,300.32</u>	<u>130.03</u>	<u>1,430.35</u>	
34290.00 KALINOSKI, MICHAEL D.				92-4-122-354-0140
Garbage	186.38	18.64	205.02	
Water	505.40	50.54	555.94	
Clean Water	35.06	3.51	38.57	
Sewer	625.70	62.57	688.27	
	<u>1,352.54</u>	<u>135.26</u>	<u>1,487.80</u>	
34400.02 ANZALDUA, RICARDO				92-4-122-363-0315
Garbage	203.31	20.33	223.64	
Sewer	365.93	36.59	402.52	
Water	297.89	29.79	327.68	
Clean Water	33.31	3.33	36.64	
	<u>900.44</u>	<u>90.04</u>	<u>990.48</u>	
34446.01 DRAINVILLE, UGO & SARAH				92-4-122-363-0420
Water	396.74	39.67	436.41	
Clean Water	31.74	3.17	34.91	
Sewer	475.29	47.53	522.82	
Garbage	203.31	20.33	223.64	
	<u>1,107.08</u>	<u>110.70</u>	<u>1,217.78</u>	
34660.00 LANG, DALE				92-4-122-363-0618
Water	789.47	78.95	868.42	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Clean Water	47.08	4.71	51.79	
Sewer	943.94	94.39	1,038.33	
Garbage	203.31	20.33	223.64	
	<u>1,983.80</u>	<u>198.38</u>	<u>2,182.18</u>	
34705.00 DEROSE, R.D.				92-4-122-363-0560
Clean Water	2.99	0.30	3.29	
Garbage	15.86	1.59	17.45	
Water	140.93	14.09	155.02	
Sewer	48.06	4.81	52.87	
	<u>207.84</u>	<u>20.79</u>	<u>228.63</u>	
34790.01 HELGESEN, TIMOTHY				92-4-122-363-0061
Water	91.99	9.20	101.19	
Clean Water	3.36	0.34	3.70	
Sewer	35.91	3.59	39.50	
Garbage	45.50	4.55	50.05	
	<u>176.76</u>	<u>17.68</u>	<u>194.44</u>	
34970.00 LAKESHORE DEVELOPERS LLC				92-4-122-362-0125
Clean Water	143.48	14.35	157.83	
Sewer	171.56	17.16	188.72	
Water	172.32	17.23	189.55	
	<u>487.36</u>	<u>48.74</u>	<u>536.10</u>	
35040.00 MIKUS, GLEE				92-4-122-362-0045
Water	240.29	24.03	264.32	
Sewer	297.88	29.79	327.67	
Clean Water	70.09	7.01	77.10	
Garbage	150.23	15.02	165.25	
	<u>758.49</u>	<u>75.85</u>	<u>834.34</u>	
35050.00 MARTENS, CARL				92-4-122-362-0030
Water	421.81	42.18	463.99	
Clean Water	99.69	9.97	109.66	
Sewer	471.90	47.19	519.09	
Garbage	203.31	20.33	223.64	
	<u>1,196.71</u>	<u>119.67</u>	<u>1,316.38</u>	
35063.04 JOHN, JOSEPH M				92-4-122-253-0501
Sewer	317.73	31.77	349.50	
Water	282.17	28.22	310.39	
Garbage	199.63	19.96	219.59	
Clean Water	60.08	6.01	66.09	
	<u>859.61</u>	<u>85.96</u>	<u>945.57</u>	
35068.01 LETVEN, TODD				92-4-122-253-0507
Water	351.76	35.18	386.94	
Garbage	203.31	20.33	223.64	
Clean Water	56.40	5.64	62.04	
Sewer	343.83	34.38	378.21	
	<u>955.30</u>	<u>95.53</u>	<u>1,050.83</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
35080.00 DUTY				92-4-122-361-0360
Clean Water	51.02	5.10	56.12	
Garbage	203.30	20.33	223.63	
Sewer	276.35	27.64	303.99	
Water	318.18	31.82	350.00	
	<u>848.85</u>	<u>84.89</u>	<u>933.74</u>	
35150.01 WILLIAMS, JOEL				93-4-123-184-0884
Garbage	33.56	3.36	36.92	
Water	72.26	7.23	79.49	
Clean Water	9.05	0.90	9.95	
Sewer	75.29	7.53	82.82	
	<u>190.16</u>	<u>19.02</u>	<u>209.18</u>	
35180.00 SCHULTZ, DOROTHY				93-4-123-304-1475
Clean Water	41.59	4.16	45.75	
Water	374.85	37.48	412.33	
Sewer	419.10	41.91	461.01	
Garbage	230.93	23.09	254.02	
	<u>1,066.47</u>	<u>106.64</u>	<u>1,173.11</u>	
35210.01 PATE, KENNETH				93-4-123-304-1155
Water	542.22	54.22	596.44	
Sewer	656.95	65.70	722.65	
Clean Water	46.53	4.65	51.18	
Garbage	199.20	19.92	219.12	
	<u>1,444.90</u>	<u>144.49</u>	<u>1,589.39</u>	
35282.00 KERN, BILL & DIANE				93-4-123-304-1596
Water	283.54	28.35	311.89	
Sewer	334.24	33.42	367.66	
Garbage	203.31	20.33	223.64	
Clean Water	20.46	2.05	22.51	
	<u>841.55</u>	<u>84.15</u>	<u>925.70</u>	
35610.01 GOROSKI				93-4-123-304-1455
Garbage	201.66	20.17	221.83	
Water	325.63	32.56	358.19	
Clean Water	41.24	4.12	45.36	
Sewer	312.17	31.22	343.39	
	<u>880.70</u>	<u>88.07</u>	<u>968.77</u>	
35697.00 MOHR, DAVID				93-4-123-304-1390
Garbage	190.26	19.03	209.29	
Water	811.34	81.13	892.47	
Clean Water	19.55	1.96	21.51	
Sewer	1,074.63	107.46	1,182.09	
	<u>2,095.78</u>	<u>209.58</u>	<u>2,305.36</u>	
35810.01 PTAK, CHRISTINA				93-4-123-304-1290
Water	475.25	47.52	522.77	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Sewer	614.31	61.43	675.74	
Clean Water	41.18	4.12	45.30	
Garbage	213.22	21.32	234.54	
	<u>1,343.96</u>	<u>134.39</u>	<u>1,478.35</u>	
35847.00 HULSE, SCOTT R				92-4-122-363-0041
Clean Water	26.73	2.67	29.40	
Garbage	110.81	11.08	121.89	
Water	397.48	39.75	437.23	
Sewer	303.47	30.35	333.82	
	<u>838.49</u>	<u>83.85</u>	<u>922.34</u>	
35900.00 THOMPSON, MICHAEL				93-4-123-304-1205
Sewer	312.20	31.22	343.42	
Water	418.77	41.88	460.65	
Clean Water	35.97	3.60	39.57	
Garbage	201.97	20.20	222.17	
	<u>968.91</u>	<u>96.90</u>	<u>1,065.81</u>	
36000.01 NELSON & MALSACK				93-4-123-304-1055
Garbage	202.31	20.23	222.54	
Water	558.73	55.87	614.60	
Clean Water	39.94	3.99	43.93	
Sewer	708.06	70.81	778.87	
	<u>1,509.04</u>	<u>150.90</u>	<u>1,659.94</u>	
36010.00 FERGUSON, SHANNON				93-4-123-304-1050
Sewer	166.28	16.63	182.91	
Water	154.04	15.40	169.44	
Clean Water	38.80	3.88	42.68	
Garbage	218.44	21.84	240.28	
	<u>577.56</u>	<u>57.75</u>	<u>635.31</u>	
36110.03 WEICHERT REALTY				93-4-123-304-0995
Clean Water	30.96	3.10	34.06	
Water	95.76	9.58	105.34	
Sewer	95.66	9.57	105.23	
Garbage	112.60	11.26	123.86	
	<u>334.98</u>	<u>33.51</u>	<u>368.49</u>	
36210.02 EDWARDS, JOSEPH				93-4-123-304-0750
Garbage	203.29	20.33	223.62	
Water	631.53	63.15	694.68	
Clean Water	41.19	4.12	45.31	
Sewer	759.30	75.93	835.23	
	<u>1,635.31</u>	<u>163.53</u>	<u>1,798.84</u>	
36220.01 SHAMBERG, GREGORY & SUSAN				93-4-123-304-0745
Water	118.04	11.80	129.84	
Sewer	133.37	13.34	146.71	
Garbage	97.06	9.71	106.77	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Clean Water	18.71	1.87	20.58	
	<u>367.18</u>	<u>36.72</u>	<u>403.90</u>	
36325.00 PETERS, SCOTT & KAREN				93-4-123-304-0810
Water	359.02	35.90	394.92	
Sewer	349.71	34.97	384.68	
Clean Water	42.81	4.28	47.09	
Garbage	201.74	20.17	221.91	
	<u>953.28</u>	<u>95.32</u>	<u>1,048.60</u>	
36401.02 NUR				93-4-123-303-0241
Sewer	438.62	43.86	482.48	
Clean Water	51.54	5.15	56.69	
Water	398.28	39.83	438.11	
Garbage	199.72	19.97	219.69	
	<u>1,088.16</u>	<u>108.81</u>	<u>1,196.97</u>	
36416.01 ROSCIOLI, MICHAEL E.				93-4-123-303-0255
Water	529.32	52.93	582.25	
Garbage	121.53	12.15	133.68	
Sewer	260.03	26.00	286.03	
Clean Water	38.13	3.81	41.94	
	<u>949.01</u>	<u>94.89</u>	<u>1,043.90</u>	
36428.01 ROSCIOLI, JOHN & JESSICA				93-4-123-303-0266
Water	856.39	85.64	942.03	
Clean Water	48.49	4.85	53.34	
Sewer	341.59	34.16	375.75	
Garbage	203.19	20.32	223.51	
	<u>1,449.66</u>	<u>144.97</u>	<u>1,594.63</u>	
36590.01 CHASE BANK				93-4-123-304-1120
Water	154.68	15.47	170.15	
Clean Water	36.00	3.60	39.60	
Sewer	168.42	16.84	185.26	
Garbage	199.21	19.92	219.13	
	<u>558.31</u>	<u>55.83</u>	<u>614.14</u>	
36600.00 ANDERSON, JOHN				93-4-123-304-1125
Clean Water	41.19	4.12	45.31	
Garbage	213.40	21.34	234.74	
Sewer	277.93	27.79	305.72	
Water	229.58	22.96	252.54	
	<u>762.10</u>	<u>76.21</u>	<u>838.31</u>	
36644.01 RAMOS				93-4-123-304-0641
Garbage	132.42	13.24	145.66	
Water	265.30	26.53	291.83	
Sewer	329.71	32.97	362.68	
Clean Water	38.81	3.88	42.69	
	<u>766.24</u>	<u>76.62</u>	<u>842.86</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
36670.02 OWENS, DAVID				93-4-123-304-0660
Water	276.48	27.65	304.13	
Clean Water	37.70	3.77	41.47	
Sewer	354.99	35.50	390.49	
Garbage	198.16	19.82	217.98	
	<u>867.33</u>	<u>86.74</u>	<u>954.07</u>	
37002.09 JUNE, RACHAEL				92-4-122-224-0150
Water	282.20	28.22	310.42	
Clean Water	89.65	8.96	98.61	
Sewer	344.49	34.45	378.94	
Garbage	173.44	17.34	190.78	
	<u>889.78</u>	<u>88.97</u>	<u>978.75</u>	
37006.01 SMITH, ALLISON				92-4-122-224-0215
Sewer	606.21	60.62	666.83	
Water	23.01	2.30	25.31	
Clean Water	159.73	15.97	175.70	
Garbage	198.65	19.86	218.51	
	<u>987.60</u>	<u>98.75</u>	<u>1,086.35</u>	
37007.00 FRASER, WILLIAM				92-4-122-224-0215
Garbage	203.31	20.33	223.64	
Water	23.58	2.36	25.94	
Sewer	619.06	61.91	680.97	
	<u>845.95</u>	<u>84.60</u>	<u>930.55</u>	
37078.01 LANGRMAN, AMBER				92-4-122-242-0072
Water	381.65	38.16	419.81	
Garbage	95.36	9.54	104.90	
Sewer	250.05	25.00	275.05	
Clean Water	31.50	3.15	34.65	
	<u>758.56</u>	<u>75.85</u>	<u>834.41</u>	
37094.00 NILES				92-4-122-244-0010
Water	19.52	1.95	21.47	
Clean Water	25.95	2.60	28.55	
Garbage	132.33	13.23	145.56	
Sewer	403.83	40.38	444.21	
	<u>581.63</u>	<u>58.16</u>	<u>639.79</u>	
37131.01 ESTATE OF EMMA BRUECHERT				92-4-122-244-0107
Garbage	32.26	3.23	35.49	
Clean Water	13.81	1.38	15.19	
Water	9.19	0.92	10.11	
Sewer	98.41	9.84	108.25	
	<u>153.67</u>	<u>15.37</u>	<u>169.04</u>	
37135.00 KRAMER, ROGER				92-4-122-244-0125
Garbage	198.83	19.88	218.71	
Clean Water	231.69	23.17	254.86	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Water	46.04	4.60	50.64	
Sewer	606.70	60.67	667.37	
	<u>1,083.26</u>	<u>108.32</u>	<u>1,191.58</u>	
37152.01 WASHAKC & SCHNEIDER				92-4-122-244-0155
Water	34.32	3.43	37.75	
Sewer	619.05	61.90	680.95	
Clean Water	85.40	8.54	93.94	
Garbage	203.31	20.33	223.64	
	<u>942.08</u>	<u>94.20</u>	<u>1,036.28</u>	
37154.00 YULE, JOHN				92-4-122-244-0160
Garbage	203.31	20.33	223.64	
Clean Water	117.39	11.74	129.13	
Water	55.21	5.52	60.73	
Sewer	619.06	61.91	680.97	
	<u>994.97</u>	<u>99.50</u>	<u>1,094.47</u>	
37179.01 KAMMER, CLARENCE				92-4-122-244-0232
Sewer	143.35	14.34	157.69	
Clean Water	18.03	1.80	19.83	
Garbage	72.47	7.25	79.72	
Water	12.09	1.21	13.30	
	<u>245.94</u>	<u>24.60</u>	<u>270.54</u>	
37186.00 STOKES, ORALIA FLORES				92-4-122-244-0240
Clean Water	5.14	0.51	5.65	
Garbage	24.70	2.47	27.17	
Water	3.70	0.37	4.07	
Sewer	75.37	7.54	82.91	
	<u>108.91</u>	<u>10.89</u>	<u>119.80</u>	
37190.00 MOELLER, JAMES				92-4-122-244-0250
Sewer	618.94	61.89	680.83	
Clean Water	67.16	6.72	73.88	
Garbage	203.27	20.33	223.60	
Water	29.78	2.98	32.76	
	<u>919.15</u>	<u>91.92</u>	<u>1,011.07</u>	
37192.03 CHAMBERLIN, FRANK & ROSIE				92-4-122-244-0265
Clean Water	85.77	8.58	94.35	
Garbage	202.28	20.23	222.51	
Water	42.62	4.26	46.88	
Sewer	616.21	61.62	677.83	
	<u>946.88</u>	<u>94.69</u>	<u>1,041.57</u>	
37218.00 SCHILTS, LARRY				92-4-122-244-0335
Water	36.18	3.62	39.80	
Garbage	203.31	20.33	223.64	
Clean Water	73.07	7.31	80.38	
Sewer	619.06	61.91	680.97	
	<u>931.62</u>	<u>93.17</u>	<u>1,024.79</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
37234.03 CREAMER, AARON				92-4-122-244-0371
Garbage	34.55	3.46	38.01	
Clean Water	14.11	1.41	15.52	
Water	5.32	0.53	5.85	
Sewer	105.42	10.54	115.96	
	<u>159.40</u>	<u>15.94</u>	<u>175.34</u>	
37248.00 CALIENDO, DONNA S.				92-4-122-244-0400
Sewer	619.06	61.91	680.97	
Water	43.27	4.33	47.60	
Garbage	204.17	20.42	224.59	
Clean Water	163.17	16.32	179.49	
	<u>1,029.67</u>	<u>102.98</u>	<u>1,132.65</u>	
37256.00 BASTRUP, LANCE				92-4-122-244-0511
Water	36.57	3.66	40.23	
Clean Water	65.95	6.60	72.55	
Sewer	599.99	60.00	659.99	
Garbage	196.57	19.66	216.23	
	<u>899.08</u>	<u>89.92</u>	<u>989.00</u>	
37274.00 FONK, PENNY & KIM				92-4-122-251-0070
Sewer	871.18	87.12	958.30	
Water	680.70	68.07	748.77	
Garbage	230.87	23.09	253.96	
Clean Water	121.82	12.18	134.00	
	<u>1,904.57</u>	<u>190.46</u>	<u>2,095.03</u>	
37292.00 PAPPENFUS, GEORGE				92-4-122-251-0170
Clean Water	114.90	11.49	126.39	
Sewer	619.04	61.90	680.94	
Garbage	204.16	20.42	224.58	
Water	43.05	4.30	47.35	
	<u>981.15</u>	<u>98.11</u>	<u>1,079.26</u>	
37314.00 BARNES, DEBORRA				92-4-122-252-0080
Water	5.56	0.56	6.12	
Clean Water	27.96	2.80	30.76	
Sewer	71.71	7.17	78.88	
Garbage	23.52	2.35	25.87	
	<u>128.75</u>	<u>12.88</u>	<u>141.63</u>	
37332.00 MILLER, STEVEN				92-4-122-252-0155
Water	14.37	1.44	15.81	
Sewer	201.34	20.13	221.47	
Clean Water	22.63	2.26	24.89	
Garbage	65.99	6.60	72.59	
	<u>304.33</u>	<u>30.43</u>	<u>334.76</u>	
37358.00 ADKINS, BOBBY				92-4-122-252-0200
Water	47.72	4.77	52.49	



VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Garbage	203.31	20.33	223.64	
Clean Water	94.84	9.48	104.32	
Sewer	619.06	61.91	680.97	
	<u>964.93</u>	<u>96.49</u>	<u>1,061.42</u>	
37458.01 STAHL, MATTHEW				92-4-122-253-0172
Clean Water	150.03	15.00	165.03	
Water	23.99	2.40	26.39	
Garbage	110.01	11.00	121.01	
	<u>284.03</u>	<u>28.40</u>	<u>312.43</u>	
37464.02 MONTERO				92-4-122-253-0208
Sewer	619.06	61.91	680.97	
Clean Water	149.41	14.94	164.35	
Garbage	203.31	20.33	223.64	
Water	55.82	5.58	61.40	
	<u>1,027.60</u>	<u>102.76</u>	<u>1,130.36</u>	
37492.00 MAHON, RONALD				92-4-122-254-0100
Clean Water	274.43	27.44	301.87	
Garbage	74.50	7.45	81.95	
Water	24.13	2.41	26.54	
Sewer	227.34	22.73	250.07	
	<u>600.40</u>	<u>60.03</u>	<u>660.43</u>	
37690.00 BRUNEAU, CAROL & TOM				92-4-122-262-0035
Sewer	370.47	37.05	407.52	
Clean Water	60.31	6.03	66.34	
Water	347.48	34.75	382.23	
Garbage	143.53	14.35	157.88	
	<u>921.79</u>	<u>92.18</u>	<u>1,013.97</u>	
37694.00 KISNER D. & REINDL T.				92-4-122-262-0045
Garbage	203.31	20.33	223.64	
Clean Water	99.68	9.97	109.65	
Sewer	592.85	59.28	652.13	
Water	510.63	51.06	561.69	
	<u>1,406.47</u>	<u>140.64</u>	<u>1,547.11</u>	
37695.00 TRICOLI, JENNY				92-4-122-262-0802
Garbage	7.55	0.76	8.31	
Sewer	36.81	3.68	40.49	
Clean Water	2.64	0.26	2.90	
Water	83.00	8.30	91.30	
	<u>130.00</u>	<u>13.00</u>	<u>143.00</u>	
37700.01 ALWARDT, LEE				92-4-122-262-0102
Garbage	183.23	18.32	201.55	
Clean Water	117.61	11.76	129.37	
Water	58.37	5.84	64.21	
Sewer	558.24	55.82	614.06	
	<u>917.45</u>	<u>91.74</u>	<u>1,009.19</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
37774.00 SMITH, SUSAN				92-4-122-262-0400
Clean Water	18.60	1.86	20.46	
Garbage	46.97	4.70	51.67	
Water	11.34	1.13	12.47	
Sewer	143.35	14.34	157.69	
	<u>220.26</u>	<u>22.03</u>	<u>242.29</u>	
37810.01 GRAHAM, JEREMY & SABRINA				92-4-122-262-0485
Garbage	203.31	20.33	223.64	
Clean Water	48.52	4.85	53.37	
Water	31.03	3.10	34.13	
Sewer	619.06	61.91	680.97	
	<u>901.92</u>	<u>90.19</u>	<u>992.11</u>	
37814.04 CHRISTENSEN, TIMOTHY				92-4-122-262-0490
Clean Water	41.84	4.18	46.02	
Sewer	494.95	49.50	544.45	
Water	34.01	3.40	37.41	
Garbage	217.16	21.72	238.88	
	<u>787.96</u>	<u>78.80</u>	<u>866.76</u>	
37844.00 GUSTAVUS, CHRISTOPHER				92-4-122-262-0555
Sewer	280.37	28.04	308.41	
Clean Water	33.87	3.39	37.26	
Water	16.86	1.69	18.55	
Garbage	91.88	9.19	101.07	
	<u>422.98</u>	<u>42.31</u>	<u>465.29</u>	
37878.01 ASANIN, SLAVICA				92-4-122-263-0208
Clean Water	224.33	22.43	246.76	
Garbage	202.16	20.22	222.38	
Water	90.90	9.09	99.99	
	<u>517.39</u>	<u>51.74</u>	<u>569.13</u>	
37886.01 GUIDO, TED M.				92-4-122-263-0220
Garbage	203.61	20.36	223.97	
Clean Water	103.60	10.36	113.96	
Water	384.28	38.43	422.71	
	<u>691.49</u>	<u>69.15</u>	<u>760.64</u>	
37954.00 BURLESON, DENNIS				92-4-122-264-0235
Sewer	370.53	37.05	407.58	
Clean Water	67.80	6.78	74.58	
Garbage	121.45	12.14	133.59	
Water	37.47	3.75	41.22	
	<u>597.25</u>	<u>59.72</u>	<u>656.97</u>	
37976.00 ROUSE, ARNOLD				92-4-122-271-0055
Water	39.37	3.94	43.31	
Clean Water	66.25	6.62	72.87	
Sewer	619.06	61.91	680.97	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Garbage	205.48	20.55	226.03	
	<u>930.16</u>	<u>93.02</u>	<u>1,023.18</u>	
38028.03 HOOVER, CHRISTOPHER				92-4-122-271-0165
Clean Water	138.33	13.83	152.16	
Water	16.95	1.70	18.65	
Garbage	27.96	2.80	30.76	
	<u>183.24</u>	<u>18.33</u>	<u>201.57</u>	
38060.00 CAPUTO, EUGENE				92-4-122-271-0221
Garbage	160.32	16.03	176.35	
Clean Water	75.52	7.55	83.07	
Water	43.05	4.30	47.35	
Sewer	489.04	48.90	537.94	
	<u>767.93</u>	<u>76.78</u>	<u>844.71</u>	
38114.01 SCALZO & HOLST				92-4-122-272-0023
Clean Water	72.15	7.22	79.37	
Water	24.62	2.46	27.08	
Garbage	203.31	20.33	223.64	
	<u>300.08</u>	<u>30.01</u>	<u>330.09</u>	
38126.01 MERCADO, JORGE				92-4-122-272-0150
Garbage	202.82	20.28	223.10	
Clean Water	120.14	12.01	132.15	
Water	35.14	3.51	38.65	
Sewer	617.72	61.77	679.49	
	<u>975.82</u>	<u>97.57</u>	<u>1,073.39</u>	
38225.01 MILLER, KEN				92-4-122-264-0441
Clean Water	10.16	1.02	11.18	
Sewer	68.90	6.89	75.79	
Garbage	34.07	3.41	37.48	
Water	64.76	6.48	71.24	
	<u>177.89</u>	<u>17.80</u>	<u>195.69</u>	
38276.00 TATRO, TIMOTHY				92-4-122-273-0115
Clean Water	146.89	14.69	161.58	
Garbage	203.31	20.33	223.64	
Water	59.29	5.93	65.22	
	<u>409.49</u>	<u>40.95</u>	<u>450.44</u>	
38316.00 FREDERICK, RICHARD				92-4-122-274-0160
Clean Water	100.72	10.07	110.79	
Water	42.59	4.26	46.85	
Garbage	203.27	20.33	223.60	
	<u>346.58</u>	<u>34.66</u>	<u>381.24</u>	
38370.00 BARCLAY, JOHN & DEBORAH				92-4-122-274-0350
Clean Water	91.97	9.20	101.17	
Garbage	95.36	9.54	104.90	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Water	41.06	4.11	45.17	
	<u>228.39</u>	<u>22.85</u>	<u>251.24</u>	
38498.00 MENDINO, JOSEPH				92-4-122-323-0300
Clean Water	367.78	36.78	404.56	
Water	71.69	7.17	78.86	
Garbage	203.31	20.33	223.64	
	<u>642.78</u>	<u>64.28</u>	<u>707.06</u>	
38526.03 REEVES, RICHARD				92-4-122-341-0010
Water	61.12	6.11	67.23	
Clean Water	121.92	12.19	134.11	
Garbage	231.68	23.17	254.85	
	<u>414.72</u>	<u>41.47</u>	<u>456.19</u>	
38580.00 KAZUMURA, JEFFREY & DANIEL				92-4-122-342-0015
Water	60.75	6.08	66.83	
Clean Water	141.65	14.16	155.81	
Garbage	203.31	20.33	223.64	
	<u>405.71</u>	<u>40.57</u>	<u>446.28</u>	
38784.00 GELBUDAS, JOSEPH				92-4-122-361-0050
Clean Water	115.95	11.60	127.55	
Water	42.85	4.28	47.13	
Sewer	619.06	61.91	680.97	
Garbage	203.31	20.33	223.64	
	<u>981.17</u>	<u>98.12</u>	<u>1,079.29</u>	
38806.01 CAMPILLO, PATRICIA				92-4-122-361-0135
Water	49.33	4.93	54.26	
Sewer	619.06	61.91	680.97	
Clean Water	144.94	14.49	159.43	
Garbage	203.31	20.33	223.64	
	<u>1,016.64</u>	<u>101.66</u>	<u>1,118.30</u>	
38812.00 FREDERICKSON, BRUCE				92-4-122-361-0145
Sewer	613.74	61.37	675.11	
Clean Water	152.80	15.28	168.08	
Water	37.59	3.76	41.35	
Garbage	188.39	18.84	207.23	
	<u>992.52</u>	<u>99.25</u>	<u>1,091.77</u>	
38844.00 JENTINK, ROGER				92-4-122-361-0220
Water	31.32	3.13	34.45	
Sewer	619.06	61.91	680.97	
Clean Water	57.45	5.74	63.19	
Garbage	203.31	20.33	223.64	
	<u>911.14</u>	<u>91.11</u>	<u>1,002.25</u>	
38846.01 REENER, GERALDINE				92-4-122-361-0225
Clean Water	47.49	4.75	52.24	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Garbage	203.31	20.33	223.64	
Water	28.29	2.83	31.12	
Sewer	619.06	61.91	680.97	
	<u>898.15</u>	<u>89.82</u>	<u>987.97</u>	
38972.00 MACK, DANIEL				92-4-122-271-0045
Water	33.77	3.38	37.15	
Garbage	203.31	20.33	223.64	
Sewer	619.06	61.91	680.97	
Clean Water	83.03	8.30	91.33	
	<u>939.17</u>	<u>93.92</u>	<u>1,033.09</u>	
39010.00 SALITURO, SANDRA				93-4-123-184-0745
Sewer	111.57	11.16	122.73	
Clean Water	12.37	1.24	13.61	
Garbage	59.08	5.91	64.99	
Water	92.77	9.28	102.05	
	<u>275.79</u>	<u>27.59</u>	<u>303.38</u>	
39024.00 BELL, HARVEY				93-4-123-184-0826
Clean Water	44.08	4.41	48.49	
Sewer	618.98	61.90	680.88	
Garbage	203.28	20.33	223.61	
	<u>866.34</u>	<u>86.64</u>	<u>952.98</u>	
39045.02 GIAMPIETRO				93-4-123-184-1025
Water	624.76	62.48	687.24	
Sewer	778.65	77.86	856.51	
Garbage	203.31	20.33	223.64	
Clean Water	34.77	3.48	38.25	
	<u>1,641.49</u>	<u>164.15</u>	<u>1,805.64</u>	
39050.01 BAILEY, JOHN				93-4-123-184-1061
Garbage	203.24	20.32	223.56	
Clean Water	40.65	4.06	44.71	
Sewer	690.07	69.01	759.08	
Water	551.79	55.18	606.97	
	<u>1,485.75</u>	<u>148.57</u>	<u>1,634.32</u>	
39074.00 FLOREANI				93-4-123-184-1185
Water	285.00	28.50	313.50	
Sewer	341.88	34.19	376.07	
Garbage	201.00	20.10	221.10	
Clean Water	35.77	3.58	39.35	
	<u>863.65</u>	<u>86.37</u>	<u>950.02</u>	
39095.00 GOVANNONI, PHYLLIS				93-4-123-184-1343
Water	50.57	5.06	55.63	
Garbage	21.91	2.19	24.10	
Clean Water	4.03	0.40	4.43	
Sewer	50.78	5.08	55.86	
	<u>127.29</u>	<u>12.73</u>	<u>140.02</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
39112.03 PRISK, SUBSANA				93-4-123-191-0015
Clean Water	15.05	1.50	16.55	
Water	83.95	8.40	92.35	
Sewer	94.11	9.41	103.52	
Garbage	82.12	8.21	90.33	
	<u>275.23</u>	<u>27.52</u>	<u>302.75</u>	
39112.04 DANIEL, SOLENID				93-4-123-191-0015
Sewer	267.26	26.73	293.99	
Water	235.69	23.57	259.26	
Clean Water	22.25	2.22	24.47	
Garbage	121.46	12.15	133.61	
	<u>646.66</u>	<u>64.67</u>	<u>711.33</u>	
39120.00 ZOERNER, CHRIS & BRENDA				93-4-123-191-0081
Water	327.61	32.76	360.37	
Garbage	201.10	20.11	221.21	
Sewer	337.45	33.74	371.19	
Clean Water	60.21	6.02	66.23	
	<u>926.37</u>	<u>92.63</u>	<u>1,019.00</u>	
39122.00 KREHBEL, KERRY				93-4-123-184-1270
Clean Water	34.77	3.48	38.25	
Sewer	713.51	71.35	784.86	
Garbage	203.34	20.33	223.67	
Water	567.03	56.70	623.73	
	<u>1,518.65</u>	<u>151.86</u>	<u>1,670.51</u>	
39124.03 RAMER, NANCY & ANTON				93-4-123-191-0156
Sewer	643.52	64.35	707.87	
Water	510.12	51.01	561.13	
Clean Water	68.11	6.81	74.92	
Garbage	218.58	21.86	240.44	
	<u>1,440.33</u>	<u>144.03</u>	<u>1,584.36</u>	
39167.03 DAVID BRAUN C/O REMAX				93-4-123-191-0756
Water	66.20	6.62	72.82	
Sewer	616.70	61.67	678.37	
Clean Water	60.11	6.01	66.12	
Garbage	202.52	20.25	222.77	
	<u>945.53</u>	<u>94.55</u>	<u>1,040.08</u>	
39196.01 WALTERS, JERRY				93-4-123-191-0690
Water	9.91	0.99	10.90	
Clean Water	19.36	1.94	21.30	
Sewer	95.09	9.51	104.60	
Garbage	31.16	3.12	34.28	
	<u>155.52</u>	<u>15.56</u>	<u>171.08</u>	
39206.00 HAUSER, FREDERICK				93-4-123-191-0765
Garbage	140.38	14.04	154.42	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Clean Water	76.35	7.64	83.99	
Water	27.78	2.78	30.56	
Sewer	428.30	42.83	471.13	
	<u>672.81</u>	<u>67.29</u>	<u>740.10</u>	
39208.03 SCHMIDT/LESSMAN				93-4-123-191-0770
Sewer	602.68	60.27	662.95	
Clean Water	107.76	10.78	118.54	
Garbage	262.64	26.26	288.90	
Water	43.29	4.33	47.62	
	<u>1,016.37</u>	<u>101.64</u>	<u>1,118.01</u>	
39238.00 PULERA, SAMUEL				93-4-123-192-0001
Clean Water	140.36	14.04	154.40	
Garbage	197.60	19.76	217.36	
Water	493.10	49.31	542.41	
Sewer	607.86	60.79	668.65	
	<u>1,438.92</u>	<u>143.90</u>	<u>1,582.82</u>	
39272.02 MATTSON, DANIEL				93-4-123-194-0450
Clean Water	195.11	19.51	214.62	
Garbage	200.28	20.03	220.31	
Sewer	610.68	61.07	671.75	
Water	57.79	5.78	63.57	
	<u>1,063.86</u>	<u>106.39</u>	<u>1,170.25</u>	
39285.00 GRIFFIN, ROBERT				93-4-123-191-0750
Clean Water	23.71	2.37	26.08	
Sewer	194.66	19.47	214.13	
Water	19.81	1.98	21.79	
Garbage	63.80	6.38	70.18	
	<u>301.98</u>	<u>30.20</u>	<u>332.18</u>	
39297.02 KIRCHNER				93-4-123-194-0680
Garbage	203.31	20.33	223.64	
Clean Water	42.10	4.21	46.31	
Sewer	619.06	61.91	680.97	
Water	50.95	5.10	56.05	
	<u>915.42</u>	<u>91.55</u>	<u>1,006.97</u>	
39303.03 NEUNER, MARK				93-4-123-194-1320
Garbage	203.21	20.32	223.53	
Clean Water	43.52	4.35	47.87	
Water	41.90	4.19	46.09	
Sewer	618.71	61.87	680.58	
	<u>907.34</u>	<u>90.73</u>	<u>998.07</u>	
39314.00 MATHEE III, WILLIAM				93-4-123-194-0740
Garbage	204.18	20.42	224.60	
Clean Water	38.68	3.87	42.55	
Water	45.43	4.54	49.97	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Sewer	619.06	61.91	680.97	
	<u>907.35</u>	<u>90.74</u>	<u>998.09</u>	
39318.00 PERALTA, MARIO				93-4-123-194-0791
Sewer	619.04	61.90	680.94	
Clean Water	51.54	5.15	56.69	
Water	45.71	4.57	50.28	
Garbage	203.30	20.33	223.63	
	<u>919.59</u>	<u>91.95</u>	<u>1,011.54</u>	
39322.00 PELOQUIN, ROGER & DEANNA				93-4-123-194-0851
Sewer	618.72	61.87	680.59	
Garbage	203.21	20.32	223.53	
Water	51.73	5.17	56.90	
Clean Water	64.76	6.48	71.24	
	<u>938.42</u>	<u>93.84</u>	<u>1,032.26</u>	
39331.02 INMAN, NADINE				93-4-123-194-0735
Clean Water	44.06	4.41	48.47	
Sewer	618.87	61.89	680.76	
Garbage	203.25	20.32	223.57	
Water	38.14	3.81	41.95	
	<u>904.32</u>	<u>90.43</u>	<u>994.75</u>	
39336.05 SAVAGLIO, JOHN				93-4-123-194-0995
Sewer	653.28	65.33	718.61	
Clean Water	45.85	4.58	50.43	
Water	36.81	3.68	40.49	
Garbage	235.29	23.53	258.82	
	<u>971.23</u>	<u>97.12</u>	<u>1,068.35</u>	
39338.00 GOROSKI, TIM				93-4-123-194-1060
Clean Water	41.59	4.16	45.75	
Water	34.36	3.44	37.80	
Garbage	203.31	20.33	223.64	
	<u>279.26</u>	<u>27.93</u>	<u>307.19</u>	
39353.02 SKLEPOVYY, VAFIL				93-4-123-194-0804
Water	48.11	4.81	52.92	
Clean Water	47.08	4.71	51.79	
Garbage	203.31	20.33	223.64	
Sewer	619.04	61.90	680.94	
	<u>917.54</u>	<u>91.75</u>	<u>1,009.29</u>	
39504.00 RIELLY, WILLIAM				92-4-122-223-0259
Clean Water	58.89	5.89	64.78	
Garbage	203.31	20.33	223.64	
Sewer	719.31	71.93	791.24	
Water	653.93	65.39	719.32	
	<u>1,635.44</u>	<u>163.54</u>	<u>1,798.98</u>	



VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
39507.01 ANDERSON, MARK				92-4-122-223-0252
Sewer	460.73	46.07	506.80	
Garbage	203.13	20.31	223.44	
Clean Water	63.29	6.33	69.62	
Water	409.14	40.91	450.05	
	<u>1,136.29</u>	<u>113.62</u>	<u>1,249.91</u>	
39628.02 WRIGHT, KENNETH & JENNIFER				93-4-123-303-0329
Garbage	202.61	20.26	222.87	
Sewer	485.49	48.55	534.04	
Clean Water	51.77	5.18	56.95	
Water	523.65	52.36	576.01	
	<u>1,263.52</u>	<u>126.35</u>	<u>1,389.87</u>	
39674.00 ZIGIC, DRAGOSLAV				93-4-123-302-0490
Water	38.11	3.81	41.92	
Clean Water	54.04	5.40	59.44	
Garbage	156.56	15.66	172.22	
Sewer	477.58	47.76	525.34	
	<u>726.29</u>	<u>72.63</u>	<u>798.92</u>	
39734.01 MUELLER, ROBERT C				93-4-123-304-1625
Sewer	414.63	41.46	456.09	
Clean Water	16.42	1.64	18.06	
Water	321.11	32.11	353.22	
Garbage	189.53	18.95	208.48	
	<u>941.69</u>	<u>94.16</u>	<u>1,035.85</u>	
39741.01 DIGIROLAMO				93-4-123-194-1030
Water	500.60	50.06	550.66	
Sewer	636.95	63.70	700.65	
Clean Water	40.67	4.07	44.74	
Garbage	203.31	20.33	223.64	
	<u>1,381.53</u>	<u>138.16</u>	<u>1,519.69</u>	
39744.00 DRAUDT, LAWRENCE				93-4-123-311-0240
Water	215.32	21.53	236.85	
Sewer	252.61	25.26	277.87	
Clean Water	59.27	5.93	65.20	
Garbage	203.33	20.33	223.66	
	<u>730.53</u>	<u>73.05</u>	<u>803.58</u>	
39748.00 RADIGANS, RAY				93-4-123-311-0275
Water	552.96	55.30	608.26	
Sewer	694.49	69.45	763.94	
Clean Water	91.11	9.11	100.22	
	<u>1,338.56</u>	<u>133.86</u>	<u>1,472.42</u>	
39765.02 GESTALT				93-4-123-311-0205
Water	626.03	62.60	688.63	
Clean Water	209.04	20.90	229.94	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Sewer	737.65	73.76	811.41	
Garbage	162.16	16.22	178.38	
	<u>1,734.88</u>	<u>173.48</u>	<u>1,908.36</u>	
39770.02 DORAU, ROBERT				93-4-123-314-0005
Water	1,003.76	100.38	1,104.14	
Sewer	1,397.12	139.71	1,536.83	
Clean Water	75.18	7.52	82.70	
Garbage	203.31	20.33	223.64	
	<u>2,679.37</u>	<u>267.94</u>	<u>2,947.31</u>	
39784.01 BEHRENDT & SAKOWICZ				93-4-123-314-0030
Water	239.25	23.92	263.17	
Sewer	250.32	25.03	275.35	
Garbage	128.43	12.84	141.27	
Clean Water	80.03	8.00	88.03	
	<u>698.03</u>	<u>69.79</u>	<u>767.82</u>	
39787.03 ZAID INVESTMENT GROUP INC				93-4-123-314-0350
Clean Water	187.48	18.75	206.23	
Water	18.15	1.82	19.97	
	<u>205.63</u>	<u>20.57</u>	<u>226.20</u>	
39794.00 LEINDECKER, GARY				93-4-123-314-0100
Water	21.69	2.17	23.86	
Clean Water	31.35	3.14	34.49	
Garbage	203.31	20.33	223.64	
	<u>256.35</u>	<u>25.64</u>	<u>281.99</u>	
39795.01 LYONS, GEORGE				93-4-123-314-0225
Water	176.54	17.65	194.19	
Clean Water	150.27	15.03	165.30	
Sewer	171.53	17.15	188.68	
	<u>498.34</u>	<u>49.83</u>	<u>548.17</u>	
39798.00 MEEK, EDWARD				93-4-123-314-0298
Sewer	83.43	8.34	91.77	
Clean Water	4.65	0.46	5.11	
Water	66.18	6.62	72.80	
Garbage	59.67	5.97	65.64	
	<u>213.93</u>	<u>21.39</u>	<u>235.32</u>	
39820.03 JENSEN, JESSICA				92-4-122-333-0315
Garbage	145.21	14.52	159.73	
Sewer	443.21	44.32	487.53	
Water	32.30	3.23	35.53	
	<u>620.72</u>	<u>62.07</u>	<u>682.79</u>	
39833.00 SIMONOVICH, MEL & SUE				92-4-122-333-0225
Garbage	203.31	20.33	223.64	
Clean Water	104.54	10.45	114.99	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Water	84.78	8.48	93.26	
Sewer	619.06	61.91	680.97	
	<u>1,011.69</u>	<u>101.17</u>	<u>1,112.86</u>	
39834.01 SPARKS, RUSSELL				92-4-122-333-0250
Sewer	481.29	48.13	529.42	
Water	55.58	5.56	61.14	
Clean Water	85.84	8.58	94.42	
Garbage	157.75	15.78	173.53	
	<u>780.46</u>	<u>78.05</u>	<u>858.51</u>	
39852.01 POPE, CYNTHIA				92-4-122-334-0250
Clean Water	85.07	8.51	93.58	
Sewer	184.81	18.48	203.29	
Garbage	60.57	6.06	66.63	
Water	18.97	1.90	20.87	
	<u>349.42</u>	<u>34.95</u>	<u>384.37</u>	
39914.02 STEIN, ANNE				91-4-122-104-0601
Water	515.05	51.50	566.55	
Clean Water	45.12	4.51	49.63	
Sewer	541.94	54.19	596.13	
Garbage	203.30	20.33	223.63	
	<u>1,305.41</u>	<u>130.53</u>	<u>1,435.94</u>	
41010.00 PEREZ, VINCENT				93-4-123-074-0465
Sewer	78.80	7.88	86.68	
Clean Water	4.44	0.44	4.88	
Garbage	25.84	2.58	28.42	
	<u>109.08</u>	<u>10.90</u>	<u>119.98</u>	
41040.00 STEINSEIFER, CARL				93-4-123-183-0025
Clean Water	44.60	4.46	49.06	
Garbage	203.31	20.33	223.64	
Sewer	619.06	61.91	680.97	
	<u>866.97</u>	<u>86.70</u>	<u>953.67</u>	
41095.01 BARRERA, ADRIAN				93-4-123-183-0020
Garbage	54.34	5.43	59.77	
Clean Water	15.61	1.56	17.17	
Sewer	165.81	16.58	182.39	
	<u>235.76</u>	<u>23.57</u>	<u>259.33</u>	
41100.01 DIVELBISS, LYNDA				91-4-122-134-0025
Clean Water	39.75	3.98	43.73	
Sewer	619.06	61.91	680.97	
Garbage	229.59	22.96	252.55	
Water	28.55	2.86	31.41	
	<u>916.95</u>	<u>91.71</u>	<u>1,008.66</u>	
41145.02 PICCOLO, MARGARET				91-4-122-134-0060

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Water	41.17	4.12	45.29	
Sewer	616.83	61.68	678.51	
Clean Water	52.27	5.23	57.50	
Garbage	202.50	20.25	222.75	
	<u>912.77</u>	<u>91.28</u>	<u>1,004.05</u>	
41150.06 MEYERS, JOHN				91-4-122-134-0065
Sewer	192.71	19.27	211.98	
Clean Water	17.84	1.78	19.62	
Garbage	63.14	6.31	69.45	
Water	12.83	1.28	14.11	
	<u>286.52</u>	<u>28.64</u>	<u>315.16</u>	
41225.02 NEWKIRK, MAURICE & SUSAN				91-4-122-134-0225
Garbage	203.19	20.32	223.51	
Sewer	469.37	46.94	516.31	
Clean Water	55.19	5.52	60.71	
Water	389.78	38.98	428.76	
	<u>1,117.53</u>	<u>111.76</u>	<u>1,229.29</u>	
41275.00 GODFREY, LISA				91-4-122-134-0285
Garbage	203.31	20.33	223.64	
Clean Water	55.87	5.59	61.46	
Water	208.14	20.81	228.95	
Sewer	244.67	24.47	269.14	
	<u>711.99</u>	<u>71.20</u>	<u>783.19</u>	
41305.02 FISH, JOANN				91-4-122-134-0185
Clean Water	48.30	4.83	53.13	
Garbage	196.41	19.64	216.05	
Sewer	298.47	29.85	328.32	
Water	253.93	25.39	279.32	
	<u>797.11</u>	<u>79.71</u>	<u>876.82</u>	
41335.01 MAZMANIAN, MICHAEL				91-4-122-134-0494
Clean Water	49.34	4.93	54.27	
Garbage	203.31	20.33	223.64	
Water	22.12	2.21	24.33	
Sewer	619.06	61.91	680.97	
	<u>893.83</u>	<u>89.38</u>	<u>983.21</u>	
41385.01 PARHAM, JOHN				91-4-122-134-0520
Clean Water	55.35	5.54	60.89	
Garbage	203.31	20.33	223.64	
Water	31.57	3.16	34.73	
Sewer	2,730.25	273.02	3,003.27	
	<u>3,020.48</u>	<u>302.05</u>	<u>3,322.53</u>	
41420.01 SIRKS, GERADIUS				91-4-122-134-0580
Water	31.00	3.10	34.10	
Sewer	618.95	61.90	680.85	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Garbage	203.28	20.33	223.61	
Clean Water	49.04	4.90	53.94	
	<u>902.27</u>	<u>90.23</u>	<u>992.50</u>	
41460.01 COUSINS, TRACY J				91-4-122-134-0484
Clean Water	35.82	3.58	39.40	
Garbage	190.21	19.02	209.23	
Water	22.93	2.29	25.22	
Sewer	619.09	61.91	681.00	
	<u>868.05</u>	<u>86.80</u>	<u>954.85</u>	
41470.02 BEAN, DARRICK				91-4-122-134-0610
Sewer	618.67	61.87	680.54	
Clean Water	47.45	4.74	52.19	
Garbage	190.08	19.01	209.09	
Water	25.20	2.52	27.72	
	<u>881.40</u>	<u>88.14</u>	<u>969.54</u>	
41475.00 GOROSKI, JAMIE				91-4-122-134-0480
Water	34.91	3.49	38.40	
Clean Water	92.87	9.29	102.16	
Garbage	203.31	20.33	223.64	
Sewer	619.06	61.91	680.97	
	<u>950.15</u>	<u>95.02</u>	<u>1,045.17</u>	
41480.00 KRISTON, SUE R.				91-4-122-134-0615
Clean Water	46.04	4.60	50.64	
Garbage	203.31	20.33	223.64	
Water	27.91	2.79	30.70	
Sewer	619.06	61.91	680.97	
	<u>896.32</u>	<u>89.63</u>	<u>985.95</u>	
41490.01 LUPI, DONALD				91-4-122-134-0625
Sewer	619.04	61.90	680.94	
Clean Water	40.14	4.01	44.15	
Garbage	203.31	20.33	223.64	
Water	20.34	2.03	22.37	
	<u>882.83</u>	<u>88.27</u>	<u>971.10</u>	
41505.00 CANTRELL, RICHARD				91-4-122-134-0784
Garbage	224.12	22.41	246.53	
Clean Water	63.76	6.38	70.14	
Sewer	619.06	61.91	680.97	
	<u>906.94</u>	<u>90.70</u>	<u>997.64</u>	
41555.01 OCCUPANT				91-4-122-134-0935
Sewer	619.06	61.91	680.97	
Clean Water	168.15	16.82	184.97	
Garbage	203.31	20.33	223.64	
	<u>990.52</u>	<u>99.06</u>	<u>1,089.58</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
41559.00 SUMMERS, DANIEL & KATHLEEI				91-4-122-134-0805
Sewer	619.06	61.91	680.97	
Clean Water	135.26	13.53	148.79	
Garbage	203.31	20.33	223.64	
	<u>957.63</u>	<u>95.77</u>	<u>1,053.40</u>	
41635.00 CANDEE, MICHAEL				91-4-122-134-0825
Clean Water	241.11	24.11	265.22	
Garbage	139.46	13.95	153.41	
Sewer	425.55	42.56	468.11	
	<u>806.12</u>	<u>80.62</u>	<u>886.74</u>	
41690.02 SERJERN, JOHN				91-4-122-133-0470
Sewer	394.97	39.50	434.47	
Clean Water	173.35	17.34	190.69	
Garbage	129.42	12.94	142.36	
	<u>697.74</u>	<u>69.78</u>	<u>767.52</u>	
41725.00 WICKS, JAMES R.				91-4-122-133-0510
Clean Water	68.29	6.83	75.12	
Sewer	391.94	39.19	431.13	
Water	29.15	2.92	32.07	
Garbage	128.44	12.84	141.28	
	<u>617.82</u>	<u>61.78</u>	<u>679.60</u>	
41730.01 HICKS, JOANN				91-4-122-133-0520
Sewer	619.06	61.91	680.97	
Clean Water	75.56	7.56	83.12	
Garbage	203.31	20.33	223.64	
Water	44.73	4.47	49.20	
	<u>942.66</u>	<u>94.27</u>	<u>1,036.93</u>	
41745.00 KLINKHAMMER, ALVIN & KATH				91-4-122-133-0525
Clean Water	95.64	9.56	105.20	
Garbage	203.12	20.31	223.43	
Water	32.04	3.20	35.24	
Sewer	618.43	61.84	680.27	
	<u>949.23</u>	<u>94.91</u>	<u>1,044.14</u>	
41885.00 RHUTASEL				91-4-122-114-0144
Clean Water	69.25	6.92	76.17	
Garbage	203.31	20.33	223.64	
Sewer	619.06	61.91	680.97	
	<u>891.62</u>	<u>89.16</u>	<u>980.78</u>	
41940.02 DILOSA				92-4-122-141-0042
Sewer	203.40	20.34	223.74	
Clean Water	17.05	1.70	18.75	
Garbage	66.65	6.66	73.31	
	<u>287.10</u>	<u>28.70</u>	<u>315.80</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
42040.00 CUTLER, CINDY				91-4-122-024-0024
Sewer	547.19	54.72	601.91	
Clean Water	26.73	2.67	29.40	
Garbage	254.29	25.43	279.72	
	<u>828.21</u>	<u>82.82</u>	<u>911.03</u>	
42075.07 OCCUPANT				91-4-122-112-0070
Sewer	109.00	10.90	119.90	
Clean Water	5.33	0.53	5.86	
Garbage	35.73	3.57	39.30	
	<u>150.06</u>	<u>15.00</u>	<u>165.06</u>	
42100.03 AUTRY, AAISHA				91-4-122-111-0286
Clean Water	19.81	1.98	21.79	
Garbage	91.34	9.13	100.47	
Sewer	278.71	27.87	306.58	
	<u>389.86</u>	<u>38.98</u>	<u>428.84</u>	
42490.04 WELLS FARGO BANK VA LOAN (				91-4-122-023-0438
Sewer	667.71	66.77	734.48	
Garbage	218.86	21.89	240.75	
Clean Water	54.36	5.44	59.80	
	<u>940.93</u>	<u>94.10</u>	<u>1,035.03</u>	
42570.00 FREDERICK, ALAN V.				91-4-122-112-0206
Sewer	381.33	38.13	419.46	
Garbage	124.99	12.50	137.49	
Clean Water	31.70	3.17	34.87	
	<u>538.02</u>	<u>53.80</u>	<u>591.82</u>	
42580.00 JOHNSON, LARRY L.				91-4-122-112-0204
Sewer	618.94	61.89	680.83	
Clean Water	32.27	3.23	35.50	
Garbage	203.31	20.33	223.64	
	<u>854.52</u>	<u>85.45</u>	<u>939.97</u>	
42950.07 UNIVERSAL C/O BEST ASSETS				91-4-122-112-0242
Sewer	619.06	61.91	680.97	
Clean Water	110.04	11.00	121.04	
Garbage	203.31	20.33	223.64	
	<u>932.41</u>	<u>93.24</u>	<u>1,025.65</u>	
42990.09 SIGMAN, ALYSSA				91-4-122-112-0252
Clean Water	83.94	8.39	92.33	
Sewer	604.93	60.49	665.42	
Garbage	198.65	19.86	218.51	
	<u>887.52</u>	<u>88.74</u>	<u>976.26</u>	
43020.03 KRAY, LINDA				91-4-122-112-0302
Clean Water	46.48	4.65	51.13	
Sewer	493.62	49.36	542.98	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Garbage	161.90	16.19	178.09	
	<u>702.00</u>	<u>70.20</u>	<u>772.20</u>	
43260.00 BAYLESS, MARVIN				91-4-122-023-0633
Garbage	214.34	21.43	235.77	
Clean Water	64.79	6.48	71.27	
Sewer	619.06	61.91	680.97	
	<u>898.19</u>	<u>89.82</u>	<u>988.01</u>	
43280.00 COOPER, JERRY				91-4-122-023-0362
Clean Water	53.79	5.38	59.17	
Sewer	603.14	60.31	663.45	
Garbage	207.70	20.77	228.47	
	<u>864.63</u>	<u>86.46</u>	<u>951.09</u>	
43428.03 GOLL, DENISE				91-4-122-023-0549
Garbage	214.13	21.41	235.54	
Sewer	619.04	61.90	680.94	
Clean Water	42.10	4.21	46.31	
	<u>875.27</u>	<u>87.52</u>	<u>962.79</u>	
43445.00 STROUF, JAMES				92-4-122-143-0180
Clean Water	55.99	5.60	61.59	
Garbage	165.57	16.56	182.13	
Water	31.88	3.19	35.07	
Sewer	504.80	50.48	555.28	
	<u>758.24</u>	<u>75.83</u>	<u>834.07</u>	
43740.03 ARRIOLA, KARL & PATRICIA				91-4-122-112-0331
Clean Water	9.80	0.98	10.78	
Garbage	40.29	4.03	44.32	
Sewer	122.89	12.29	135.18	
	<u>172.98</u>	<u>17.30</u>	<u>190.28</u>	
43810.04 VARGAS, TRIVIA				91-4-122-104-0351
Clean Water	18.82	1.88	20.70	
Garbage	69.58	6.96	76.54	
Sewer	211.80	21.18	232.98	
	<u>300.20</u>	<u>30.02</u>	<u>330.22</u>	
44440.02 ANDERSON, SANDRA				80-4-122-031-0482
Sewer	301.82	30.18	332.00	
	<u>301.82</u>	<u>30.18</u>	<u>332.00</u>	
44480.00 AMANN, SUSAN				80-4-122-031-0486
Sewer	770.67	77.07	847.74	
	<u>770.67</u>	<u>77.07</u>	<u>847.74</u>	
44565.00 CURRENT OCCUPANT				80-4-122-031-0434
Sewer	770.66	77.07	847.73	
	<u>770.66</u>	<u>77.07</u>	<u>847.73</u>	



VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
44630.01 NIELSON, MATTHEW Sewer	<u>766.88</u>	<u>76.69</u>	<u>843.57</u>	80-4-122-031-0620
	<u>766.88</u>	<u>76.69</u>	<u>843.57</u>	
44740.04 PASCH, MICHAEL Clean Water	30.98	3.10	34.08	91-4-122-023-0592
Sewer	257.46	25.75	283.21	
Garbage	<u>84.36</u>	<u>8.44</u>	<u>92.80</u>	
	<u>372.80</u>	<u>37.29</u>	<u>410.09</u>	
44775.05 BH MGT Clean Water	83.68	8.37	92.05	91-4-122-023-0584
Garbage	253.09	25.31	278.40	
Sewer	<u>653.30</u>	<u>65.33</u>	<u>718.63</u>	
	<u>990.07</u>	<u>99.01</u>	<u>1,089.08</u>	
44780.00 VARNELL, DAVID Clean Water	94.30	9.43	103.73	91-4-122-023-0582
Sewer	619.06	61.91	680.97	
Garbage	<u>203.31</u>	<u>20.33</u>	<u>223.64</u>	
	<u>916.67</u>	<u>91.67</u>	<u>1,008.34</u>	
44820.00 MICHALEK, RAYMOND Sewer	246.99	24.70	271.69	91-4-122-024-0104
Garbage	93.93	9.39	103.32	
Clean Water	<u>11.34</u>	<u>1.13</u>	<u>12.47</u>	
	<u>352.26</u>	<u>35.22</u>	<u>387.48</u>	
44825.10 GONZALES, CHRISTINA Clean Water	5.27	0.53	5.80	91-4-122-024-0022
Garbage	31.64	3.16	34.80	
Sewer	<u>93.65</u>	<u>9.36</u>	<u>103.01</u>	
	<u>130.56</u>	<u>13.05</u>	<u>143.61</u>	
44855.00 IGNATOVIC Sewer	1,036.44	103.64	1,140.08	91-4-122-023-0540
Clean Water	<u>427.53</u>	<u>42.75</u>	<u>470.28</u>	
	<u>1,463.97</u>	<u>146.39</u>	<u>1,610.36</u>	
44860.00 IGNATOVIC Sewer	<u>653.30</u>	<u>65.33</u>	<u>718.63</u>	91-4-122-023-0540
	<u>653.30</u>	<u>65.33</u>	<u>718.63</u>	
44875.01 DEJNO, LARRY Clean Water	388.69	38.87	427.56	91-4-122-091-0011
Garbage	<u>162.16</u>	<u>16.22</u>	<u>178.38</u>	
	<u>550.85</u>	<u>55.09</u>	<u>605.94</u>	
45055.00 PALMER, DOUGLAS Garbage	203.31	20.33	223.64	91-4-122-112-0309
Sewer	<u>619.06</u>	<u>61.91</u>	<u>680.97</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Clean Water	49.08	4.91	53.99	
	<u>871.45</u>	<u>87.15</u>	<u>958.60</u>	
45120.02 TCF NATIONAL BANK				91-4-122-113-0252
Sewer	597.09	59.71	656.80	
Clean Water	42.90	4.29	47.19	
Garbage	195.61	19.56	215.17	
	<u>835.60</u>	<u>83.56</u>	<u>919.16</u>	
45170.01 MUNNS, JAMES				91-4-122-113-0237
Garbage	203.67	20.37	224.04	
Clean Water	53.90	5.39	59.29	
Sewer	581.39	58.14	639.53	
	<u>838.96</u>	<u>83.90</u>	<u>922.86</u>	
45230.00 CAIRO, LISA				93-4-123-074-0435
Garbage	129.44	12.94	142.38	
Clean Water	9.94	0.99	10.93	
Sewer	394.94	39.49	434.43	
	<u>534.32</u>	<u>53.42</u>	<u>587.74</u>	
45255.00 CIELENSKI, CHRISTINE & AMY				91-4-122-113-0322
Clean Water	49.08	4.91	53.99	
Garbage	203.31	20.33	223.64	
Sewer	619.06	61.91	680.97	
	<u>871.45</u>	<u>87.15</u>	<u>958.60</u>	
45260.00 SCHMITZ, BARBARA				91-4-122-113-0320
Sewer	241.32	24.13	265.45	
Garbage	79.07	7.91	86.98	
Clean Water	17.34	1.73	19.07	
	<u>337.73</u>	<u>33.77</u>	<u>371.50</u>	
45485.00 KULIN, DORIS				91-4-122-113-0106
Sewer	192.09	19.21	211.30	
Garbage	62.94	6.29	69.23	
Clean Water	17.46	1.75	19.21	
	<u>272.49</u>	<u>27.25</u>	<u>299.74</u>	
45515.03 MICHAUD, DAMIEN & SANDRA				91-4-122-113-0142
Sewer	102.96	10.30	113.26	
Clean Water	7.73	0.77	8.50	
Garbage	33.74	3.37	37.11	
	<u>144.43</u>	<u>14.44</u>	<u>158.87</u>	
45643.00 BUCKO, DANIEL & SANDRA				91-4-122-113-0066
Garbage	113.69	11.37	125.06	
Clean Water	31.55	3.16	34.71	
Sewer	346.95	34.70	381.65	
Water	0.00	0.00	0.00	
	<u>492.19</u>	<u>49.23</u>	<u>541.42</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
45735.00 MASON, WILLIAM				91-4-122-114-0080
Clean Water	16.09	1.61	17.70	
Garbage	30.26	3.03	33.29	
Sewer	92.26	9.23	101.49	
	<u>138.61</u>	<u>13.87</u>	<u>152.48</u>	
45800.00 NEWMAN, MARY				91-4-122-113-0504
Garbage	138.54	13.85	152.39	
Clean Water	36.39	3.64	40.03	
Sewer	422.76	42.28	465.04	
	<u>597.69</u>	<u>59.77</u>	<u>657.46</u>	
45875.00 CYGAN, JUDITH				91-4-122-113-0420
Sewer	619.06	61.91	680.97	
Clean Water	61.78	6.18	67.96	
Garbage	203.31	20.33	223.64	
	<u>884.15</u>	<u>88.42</u>	<u>972.57</u>	
45880.00 STAADEN, ROBERT				91-4-122-113-0432
Garbage	34.11	3.41	37.52	
Clean Water	9.38	0.94	10.32	
Sewer	104.04	10.40	114.44	
	<u>147.53</u>	<u>14.75</u>	<u>162.28</u>	
45895.01 GRUNDY/ZACKER				91-4-122-113-0430
Clean Water	38.68	3.87	42.55	
Garbage	221.93	22.19	244.12	
Sewer	435.25	43.52	478.77	
	<u>695.86</u>	<u>69.58</u>	<u>765.44</u>	
46030.00 RIVERA , ISRAEL & AMBER				91-4-122-113-0037
Sewer	618.79	61.88	680.67	
Garbage	203.27	20.33	223.60	
Clean Water	44.06	4.41	48.47	
	<u>866.12</u>	<u>86.62</u>	<u>952.74</u>	
46060.01 SOENS & ZACKER LLC				91-4-122-113-0041
Garbage	203.15	20.32	223.47	
Clean Water	56.37	5.64	62.01	
Sewer	618.54	61.85	680.39	
	<u>878.06</u>	<u>87.81</u>	<u>965.87</u>	
46110.01 SOENS & ZACKER LLC				91-4-122-113-0048
Garbage	204.86	20.49	225.35	
Clean Water	184.76	18.48	203.24	
	<u>389.62</u>	<u>38.97</u>	<u>428.59</u>	
46170.02 AYERS				91-4-122-113-0061
Clean Water	71.90	7.19	79.09	
Garbage	198.65	19.86	218.51	
Sewer	606.21	60.62	666.83	
	<u>876.76</u>	<u>87.67</u>	<u>964.43</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
46195.00 BECKER, ROBERT				91-4-122-113-0073
Water	0.00	0.00	0.00	
Sewer	618.82	61.88	680.70	
Clean Water	54.93	5.49	60.42	
Garbage	203.24	20.32	223.56	
	<u>876.99</u>	<u>87.69</u>	<u>964.68</u>	
46300.03 SAVIC, MILAN				93-4-123-183-0185
Sewer	541.79	54.18	595.97	
Clean Water	37.74	3.77	41.51	
Garbage	177.72	17.77	195.49	
	<u>757.25</u>	<u>75.72</u>	<u>832.97</u>	
46370.00 JEWELL, MARY				93-4-123-183-0125
Garbage	103.50	10.35	113.85	
Clean Water	21.17	2.12	23.29	
Sewer	315.83	31.58	347.41	
	<u>440.50</u>	<u>44.05</u>	<u>484.55</u>	
46685.02 WILSON, TOYNA				91-4-122-023-0486
Sewer	383.42	38.34	421.76	
Clean Water	25.23	2.52	27.75	
Garbage	151.08	15.11	166.19	
	<u>559.73</u>	<u>55.97</u>	<u>615.70</u>	
48130.00 ELIA, SERGIO F.				92-4-122-141-0118
Clean Water	47.43	4.74	52.17	
Garbage	203.16	20.32	223.48	
Sewer	618.58	61.86	680.44	
	<u>869.17</u>	<u>86.92</u>	<u>956.09</u>	
51115.01 GONZALEZ, FILBERTO				93-4-123-323-0305
Water	101.77	10.18	111.95	
Clean Water	10.78	1.08	11.86	
Garbage	179.28	17.93	197.21	
	<u>291.83</u>	<u>29.19</u>	<u>321.02</u>	
51140.06 ELLMAN, SHIRLEY				93-4-123-323-0260
Clean Water	19.90	1.99	21.89	
Garbage	125.17	12.52	137.69	
Water	20.26	2.03	22.29	
	<u>165.33</u>	<u>16.54</u>	<u>181.87</u>	
51160.02 MOORE, THOMAS				93-4-123-293-0625
Water	48.07	4.81	52.88	
Garbage	202.51	20.25	222.76	
Clean Water	18.03	1.80	19.83	
	<u>268.61</u>	<u>26.86</u>	<u>295.47</u>	
51170.01 HASSAN, RAFAEL				93-4-123-293-0465
Clean Water	15.61	1.56	17.17	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Garbage	231.21	23.12	254.33	
Water	41.39	4.14	45.53	
	<u>288.21</u>	<u>28.82</u>	<u>317.03</u>	
51175.00 GURGOL				93-4-123-293-0610
Water	50.90	5.09	55.99	
Clean Water	22.27	2.23	24.50	
Garbage	249.94	24.99	274.93	
	<u>323.11</u>	<u>32.31</u>	<u>355.42</u>	
51180.04 CLARK, SHERRI				93-4-123-293-0510
Garbage	203.31	20.33	223.64	
Clean Water	17.59	1.76	19.35	
Water	32.24	3.22	35.46	
	<u>253.14</u>	<u>25.31</u>	<u>278.45</u>	
51185.01 SILVA, DAVID				93-4-123-293-0500
Water	26.56	2.66	29.22	
Clean Water	15.98	1.60	17.58	
Garbage	196.57	19.66	216.23	
	<u>239.11</u>	<u>23.92</u>	<u>263.03</u>	
51190.02 ROBBINS, JOSHUA				93-4-123-322-0545
Water	10.72	1.07	11.79	
Clean Water	9.62	0.96	10.58	
Garbage	87.79	8.78	96.57	
	<u>108.13</u>	<u>10.81</u>	<u>118.94</u>	
51216.04 GREEN, ART				93-4-123-322-0470
Clean Water	19.02	1.90	20.92	
Water	68.80	6.88	75.68	
Garbage	203.33	20.33	223.66	
	<u>291.15</u>	<u>29.11</u>	<u>320.26</u>	
51217.00 BELOKON, MARK				93-4-123-323-0379
Garbage	203.31	20.33	223.64	
Clean Water	24.92	2.49	27.41	
Water	103.65	10.36	114.01	
	<u>331.88</u>	<u>33.18</u>	<u>365.06</u>	
51270.06 CHLEWICKI, MARIA				93-4-123-292-0060
Water	55.98	5.60	61.58	
Garbage	202.36	20.24	222.60	
Clean Water	18.51	1.85	20.36	
	<u>276.85</u>	<u>27.69</u>	<u>304.54</u>	
51440.01 SANTIAGO, GILDA				93-4-123-301-0321
Clean Water	9.53	0.95	10.48	
Garbage	106.97	10.70	117.67	
Water	32.98	3.30	36.28	
	<u>149.48</u>	<u>14.95</u>	<u>164.43</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
51545.03 CIANGI, THOMAS				93-4-123-304-0155
Garbage	201.79	20.18	221.97	
Water	40.19	4.02	44.21	
Clean Water	20.74	2.07	22.81	
	<u>262.72</u>	<u>26.27</u>	<u>288.99</u>	
51550.00 ROBINSON, JESSE				93-4-123-191-1125
Clean Water	21.51	2.15	23.66	
Garbage	203.31	20.33	223.64	
Water	30.45	3.04	33.49	
	<u>255.27</u>	<u>25.52</u>	<u>280.79</u>	
51570.00 ZORC, BARBARA				93-4-123-194-0150
Clean Water	16.00	1.60	17.60	
Water	14.38	1.44	15.82	
Garbage	203.31	20.33	223.64	
	<u>233.69</u>	<u>23.37</u>	<u>257.06</u>	
51594.01 DANIELS, DAVID				93-4-123-293-1035
Water	41.08	4.11	45.19	
Garbage	202.51	20.25	222.76	
Clean Water	18.42	1.84	20.26	
	<u>262.01</u>	<u>26.20</u>	<u>288.21</u>	
51645.00 ANDERSON, ROGER				93-4-123-304-0360
Garbage	203.31	20.33	223.64	
Clean Water	18.12	1.81	19.93	
Water	26.56	2.66	29.22	
	<u>247.99</u>	<u>24.80</u>	<u>272.79</u>	
51660.00 MATUS, RONALD				93-4-123-184-0170
Clean Water	25.46	2.55	28.01	
Garbage	203.64	20.36	224.00	
Water	338.87	33.89	372.76	
	<u>567.97</u>	<u>56.80</u>	<u>624.77</u>	
51725.00 THOMPSON, HAROLD				93-4-123-184-0135
Clean Water	31.35	3.14	34.49	
Garbage	203.31	20.33	223.64	
Water	189.83	18.98	208.81	
	<u>424.49</u>	<u>42.45</u>	<u>466.94</u>	
51740.01 TRABA, MICHAEL & CHRISTINE				93-4-123-184-0150
Garbage	0.00	0.00	0.00	
Clean Water	19.12	1.91	21.03	
Water	126.85	12.68	139.53	
	<u>145.97</u>	<u>14.59</u>	<u>160.56</u>	
51755.00 YORDANOFF, SONA				93-4-123-202-0020
Water	294.97	29.50	324.47	
Clean Water	50.48	5.05	55.53	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Garbage	231.21	23.12	254.33	
	<u>576.66</u>	<u>57.67</u>	<u>634.33</u>	
52018.00 ARTAC				93-4-123-293-0875
Clean Water	23.47	2.35	25.82	
Garbage	203.31	20.33	223.64	
Water	105.58	10.56	116.14	
	<u>332.36</u>	<u>33.24</u>	<u>365.60</u>	
52040.00 PREMIER MFG INC				93-4-123-293-0307
Water	167.99	16.80	184.79	
Garbage	203.31	20.33	223.64	
Clean Water	25.21	2.52	27.73	
	<u>396.51</u>	<u>39.65</u>	<u>436.16</u>	
52095.02 BANK OF NEW YORK MELLON				93-4-123-293-0235
Water	37.58	3.76	41.34	
Clean Water	7.22	0.72	7.94	
Garbage	62.47	6.25	68.72	
	<u>107.27</u>	<u>10.73</u>	<u>118.00</u>	
55225.02 FEDERAL NATIONAL MORTGAG				93-4-123-191-1360
Water	58.61	5.86	64.47	
Garbage	203.31	20.33	223.64	
Clean Water	24.37	2.44	26.81	
	<u>286.29</u>	<u>28.63</u>	<u>314.92</u>	
55245.00 MINAGLIA, RONALD				93-4-123-194-0345
Water	23.08	2.31	25.39	
Garbage	205.04	20.50	225.54	
Clean Water	13.60	1.36	14.96	
	<u>241.72</u>	<u>24.17</u>	<u>265.89</u>	
55292.00 GUSTAFSON, JAMES				93-4-123-301-0144
Clean Water	26.10	2.61	28.71	
Garbage	191.09	19.11	210.20	
Water	67.06	6.71	73.77	
	<u>284.25</u>	<u>28.43</u>	<u>312.68</u>	
55310.00 FLOREANI, ESTELLE				93-4-123-293-1020
Clean Water	7.19	0.72	7.91	
Garbage	79.07	7.91	86.98	
Water	20.78	2.08	22.86	
	<u>107.04</u>	<u>10.71</u>	<u>117.75</u>	
55420.00 GEORGES, RICHARD				93-4-123-293-0515
Garbage	203.31	20.33	223.64	
Clean Water	21.51	2.15	23.66	
Water	36.76	3.68	40.44	
	<u>261.58</u>	<u>26.16</u>	<u>287.74</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
55430.00 CURRENT RESIDENT				93-4-123-293-0386
Water	25.66	2.57	28.23	
Clean Water	18.49	1.85	20.34	
Garbage	203.31	20.33	223.64	
	<u>247.46</u>	<u>24.75</u>	<u>272.21</u>	
55530.00 KULISEK, LAVERNE				93-4-123-293-0011
Water	23.38	2.34	25.72	
Garbage	87.45	8.74	96.19	
Clean Water	12.03	1.20	13.23	
	<u>122.86</u>	<u>12.28</u>	<u>135.14</u>	
80013.00 FIAAT INVESTMENTS				92-4-122-281-0115
Clean Water	322.06	32.21	354.27	
Water	140.05	14.00	154.05	
General (SL & Bentz)	381.23	38.12	419.35	
	<u>843.34</u>	<u>84.33</u>	<u>927.67</u>	
90023.01 COUNTRY CORNER LLC				91-4-122-043-0052
Clean Water	320.51	32.05	352.56	
Water	34.01	3.40	37.41	
	<u>354.52</u>	<u>35.45</u>	<u>389.97</u>	
90034.00 EKORNAAS, JOHN C				91-4-122-054-0102
Clean Water	157.44	15.74	173.18	
Water	22.62	2.26	24.88	
	<u>180.06</u>	<u>18.00</u>	<u>198.06</u>	
90036.01 LAKEVIEW INVESTMENTS LLC				91-4-122-054-0253
Clean Water	132.17	13.22	145.39	
Water	57.46	5.75	63.21	
	<u>189.63</u>	<u>18.97</u>	<u>208.60</u>	
90090.00 PINTER, DENNIS K				91-4-122-071-0830
Clean Water	459.54	45.95	505.49	
Water	11.75	1.18	12.93	
	<u>471.29</u>	<u>47.13</u>	<u>518.42</u>	<i>See attached</i>
90203.00 TUPANJAC, BRANKO				91-4-122-072-0110
Water	152.14	15.21	167.35	
Clean Water	312.18	31.22	343.40	
	<u>464.32</u>	<u>46.43</u>	<u>510.75</u>	
90206.00 PIGNOTTI, ARTHUR J & BONNIE				91-4-122-073-0100
Clean Water	735.58	73.56	809.14	
Water	28.86	2.89	31.75	
	<u>764.44</u>	<u>76.45</u>	<u>840.89</u>	
90335.00 HICKS, COREY S				91-4-122-133-0515
Clean Water	117.82	11.78	129.60	
Water	33.30	3.33	36.63	
	<u>151.12</u>	<u>15.11</u>	<u>166.23</u>	



VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
90344.01 NEWKIRK				91-4-122-134-0230
Water	25.99	2.60	28.59	
Clean Water	83.80	8.38	92.18	
	<u>109.79</u>	<u>10.98</u>	<u>120.77</u>	
90357.00 CANDEE, MICHAEL				91-4-122-134-0830
Clean Water	130.28	13.03	143.31	
Water	19.49	1.95	21.44	
	<u>149.77</u>	<u>14.98</u>	<u>164.75</u>	
90457.00 MEHTA LP				92-4-122-181-0271
Clean Water	1,549.00	154.90	1,703.90	
Water	64.10	6.41	70.51	
	<u>1,613.10</u>	<u>161.31</u>	<u>1,774.41</u>	
90458.00 AUM RIDGE HOMES INC				92-4-122-181-0275
Water	62.21	6.22	68.43	
Clean Water	723.34	72.33	795.67	
	<u>785.55</u>	<u>78.55</u>	<u>864.10</u>	
90459.00 AUM RIDGE HOMES INC				92-4-122-181-0541
Water	29.25	2.92	32.17	
Clean Water	104.60	10.46	115.06	
	<u>133.85</u>	<u>13.38</u>	<u>147.23</u>	
90462.00 AUM RIDGE HOMES INC				92-4-122-181-0626
Clean Water	69.57	6.96	76.53	
Water	39.50	3.95	43.45	
	<u>109.07</u>	<u>10.91</u>	<u>119.98</u>	
90466.00 TUPANJAC, BRANKO & RADMILJ				92-4-122-182-0025
Clean Water	1,369.98	137.00	1,506.98	
Water	9.72	0.97	10.69	
	<u>1,379.70</u>	<u>137.97</u>	<u>1,517.67</u>	
90485.00 MEHTA LP				92-4-122-184-0400
Water	10.75	1.08	11.83	
Clean Water	149.34	14.93	164.27	
	<u>160.09</u>	<u>16.01</u>	<u>176.10</u>	
90527.00 KATRES, PETER				92-4-122-222-0210
Water	18.86	1.89	20.75	
Clean Water	1,230.40	123.04	1,353.44	
	<u>1,249.26</u>	<u>124.93</u>	<u>1,374.19</u>	
90752.00 BRZOZOWSKI, EUGENE & IRENE				92-4-122-243-0500
Clean Water	2,433.86	243.39	2,677.25	
Water	2.49	0.25	2.74	
	<u>2,436.35</u>	<u>243.64</u>	<u>2,679.99</u>	
90761.00 ROSMANN EXCAVATING				92-4-122-251-0151

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Clean Water	201.26	20.13	221.39	
Water	6.87	0.69	7.56	
	<u>208.13</u>	<u>20.82</u>	<u>228.95</u>	
90773.00 HUXHOLD, JOHN R & LINDA L				92-4-122-252-0079
Water	21.81	2.18	23.99	
Clean Water	90.62	9.06	99.68	
	<u>112.43</u>	<u>11.24</u>	<u>123.67</u>	
90877.01 HOLTZ & SCALZO				92-4-122-272-0026
Clean Water	188.39	18.84	207.23	
Water	28.09	2.81	30.90	
	<u>216.48</u>	<u>21.65</u>	<u>238.13</u>	
90996.01 GT GROUP TELECOM LLC				92-4-122-321-0400
Clean Water	164.11	16.41	180.52	
Water	58.63	5.86	64.49	
	<u>222.74</u>	<u>22.27</u>	<u>245.01</u>	
91001.00 MENDINO, JOSEPH				92-4-122-324-0200
Water	17.85	1.78	19.63	
Clean Water	248.73	24.87	273.60	
	<u>266.58</u>	<u>26.65</u>	<u>293.23</u>	
91003.00 STIRLING, JOHN P				92-4-122-324-0351
Clean Water	450.47	45.05	495.52	
Water	37.88	3.79	41.67	
	<u>488.35</u>	<u>48.84</u>	<u>537.19</u>	
91004.00 NORTHERN PINE				92-4-122-324-0360
Clean Water	2,653.43	265.34	2,918.77	
Water	108.86	10.89	119.75	
	<u>2,762.29</u>	<u>276.23</u>	<u>3,038.52</u>	
91005.00 STIRLING, JOHN P				92-4-122-324-0400
Water	6.94	0.69	7.63	
Clean Water	105.90	10.59	116.49	
	<u>112.84</u>	<u>11.28</u>	<u>124.12</u>	
91040.01 FEDERAL NATIONAL MORTGAG				92-4-122-342-0143
Water	58.86	5.89	64.75	
Clean Water	114.46	11.45	125.91	
	<u>173.32</u>	<u>17.34</u>	<u>190.66</u>	
91131.00 HOMEOWNERS ASSOCIATION				92-4-122-361-0001
Water	0.00	0.00	0.00	
Clean Water	910.06	91.01	1,001.07	
	<u>910.06</u>	<u>91.01</u>	<u>1,001.07</u>	
91134.00 GELBUDAS, JOSEPH W & VICTOI				92-4-122-361-0045
Water	32.86	3.29	36.15	

*See attached*

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
Clean Water	97.30	9.73	107.03	
	<u>130.16</u>	<u>13.02</u>	<u>143.18</u>	
91139.00 STEIN DEVELOPMENT LCC				92-4-122-361-0502
Water	41.61	4.16	45.77	
Clean Water	92.12	9.21	101.33	
	<u>133.73</u>	<u>13.37</u>	<u>147.10</u>	
91141.00 STEIN DEVELOPMENT LCC				92-4-122-361-0504
Water	44.63	4.46	49.09	
Clean Water	119.55	11.96	131.51	
	<u>164.18</u>	<u>16.42</u>	<u>180.60</u>	
91151.00 STEIN DEVELOPMENT LCC				92-4-122-361-0514
Clean Water	86.62	8.66	95.28	
Water	45.63	4.56	50.19	
	<u>132.25</u>	<u>13.22</u>	<u>145.47</u>	
91156.00 STEIN DEVELOPMENT LCC				92-4-122-361-0519
Water	33.03	3.30	36.33	
Clean Water	99.20	9.92	109.12	
	<u>132.23</u>	<u>13.22</u>	<u>145.45</u>	
91157.00 WALTHER, ROBERT A & CATHEI				92-4-122-362-0035
Clean Water	242.80	24.28	267.08	
Water	20.30	2.03	22.33	
	<u>263.10</u>	<u>26.31</u>	<u>289.41</u>	
91183.02 LARSON, ALVAR				93-4-123-172-0010
Water	150.38	15.04	165.42	
Clean Water	17.68	1.77	19.45	
	<u>168.06</u>	<u>16.81</u>	<u>184.87</u>	
91226.00 THOMPSON, HAROLD & JUNITH				93-4-123-184-0140
Clean Water	16.55	1.66	18.21	
Water	100.16	10.02	110.18	
	<u>116.71</u>	<u>11.68</u>	<u>128.39</u>	
91329.01 KENOSHA COUNTY				93-4-123-191-0234
Water	121.40	12.14	133.54	
	<u>121.40</u>	<u>12.14</u>	<u>133.54</u>	
91335.01 COUNTY OF KENOSHA				93-4-123-191-0385
Clean Water	52.79	5.28	58.07	
Water	81.83	8.18	90.01	
	<u>134.62</u>	<u>13.46</u>	<u>148.08</u>	
92301.00 RLSR ENTERPRISES LLP				93-4-123-312-0200
Clean Water	167.54	16.75	184.29	
Water	15.35	1.54	16.89	
	<u>182.89</u>	<u>18.29</u>	<u>201.18</u>	

VILLAGE OF PLEASANT PRAIRIE  
CERTIFICATION PENALTY LISTING

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
92312.00 LAKE VIEW HOMES INC				93-4-123-314-0085
Water	161.30	16.13	177.43	
Clean Water	368.78	36.88	405.66	
	<u>530.08</u>	<u>53.01</u>	<u>583.09</u>	
92893.00 WHITE, DAVID				93-4-123-313-0200
Clean Water	831.29	83.13	914.42	
Water	87.95	8.80	96.75	
	<u>919.24</u>	<u>91.93</u>	<u>1,011.17</u>	
93001.00 BRAVO REALTY LLC				91-4-122-071-1545
Clean Water	327.43	32.74	360.17	
Water	26.56	2.66	29.22	
	<u>353.99</u>	<u>35.40</u>	<u>389.39</u>	
94209.00 WYNDHAM ESTATES LLC				92-4-122-141-0014
Clean Water	264.46	26.45	290.91	
Water	18.55	1.86	20.41	
	<u>283.01</u>	<u>28.31</u>	<u>311.32</u>	
94211.00 VACCARELLO-DUNKEL, FLOREN				92-4-122-234-0131
Clean Water	561.06	56.11	617.17	
Water	16.39	1.64	18.03	
	<u>577.45</u>	<u>57.75</u>	<u>635.20</u>	
94599.00 SOENS & ZACKER LLC				91-4-122-113-0044
Clean Water	182.23	18.22	200.45	
	<u>182.23</u>	<u>18.22</u>	<u>200.45</u>	
94626.01 COUNTY OF KENOSHA				91-4-122-134-0512
Clean Water	123.50	12.35	135.85	
Water	38.43	3.84	42.27	
	<u>161.93</u>	<u>16.19</u>	<u>178.12</u>	
94634.00 TIRABASSI INVESTMENTS LLP				92-4-122-141-0061
Clean Water	206.76	20.68	227.44	
	<u>206.76</u>	<u>20.68</u>	<u>227.44</u>	
95556.00 CREEKSIDE CROSSING HOMEOW				92-4-122-154-0701
Clean Water	111.89	11.19	123.08	
Water	0.03	0.00	0.03	
	<u>111.92</u>	<u>11.19</u>	<u>123.11</u>	
95858.00 JOEL R THERESA L WILLIAMS				93-4-123-184-0882
Clean Water	70.61	7.06	77.67	
Water	32.64	3.26	35.90 *	
	<u>103.25</u>	<u>10.32</u>	<u>113.57</u>	
96077.00 RUFFOLO, VINCENT & JOHN				91-4-122-023-0568
Clean Water	116.38	11.64	128.02	
	<u>116.38</u>	<u>11.64</u>	<u>128.02</u>	

**VILLAGE OF PLEASANT PRAIRIE**  
**CERTIFICATION PENALTY LISTING**

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
96078.00 RUFFOLO, VINCENT & JOHN				91-4-122-023-0570
Clean Water	<u>109.55</u>	<u>10.96</u>	<u>120.51</u>	
	<u>109.55</u>	<u>10.96</u>	<u>120.51</u>	
GRAND TOTALS				
Water	85,377.84	8,537.82	93,915.66	
Sewer	156,105.99	15,610.69	171,716.68	
Garbage	64,373.19	6,437.25	70,810.44	
Clean Water	47,158.46	4,715.90	51,874.36	
General (SL & Bentz)	<u>430.19</u>	<u>43.02</u>	<u>473.21</u>	
	<u>353,445.67</u>	<u>35,344.68</u>	<u>388,790.35</u>	

90090

Dennis Pinter	Tax Roll Distribution	Tax Roll Penalty	Final Tax Roll
91-4-122-071-0655	\$46.86	\$4.69	\$51.55
91-4-122-071-0705	\$62.54	\$6.25	\$68.79
91-4-122-071-0735	\$57.14	\$5.71	\$62.85
91-4-122-071-0810	\$55.41	\$5.54	\$60.95
91-4-122-071-0815	\$56.76	\$5.68	\$62.44
91-4-122-071-0820	\$91.49	\$9.15	\$100.64
91-4-122-071-0825	\$62.30	\$6.23	\$68.53
91-4-122-071-0830	\$38.78	\$3.88	\$42.66
	<u>\$471.29</u>	<u>\$47.13</u>	<u>\$518.42</u>

Clean Water	\$458.50
Clean Water Pen	\$45.85
PFP	\$11.55
PFP Pen	<u>\$1.15</u>
	\$517.05

91131

Homeowners Assoc			
92-4-122-361-0001	\$482.86	\$48.29	\$531.14
92-4-122-361-0002	\$427.21	\$42.72	\$469.93
	<u>\$910.06</u>	<u>\$91.01</u>	<u>\$1,001.07</u>

Clean Water	\$907.97
Clean Water Pen	<u>\$90.80</u>
	\$998.77

TIME RECEIVED  
November 8, 2012 4:46:44 PM CST

REMOTE CSID  
2626534320

DURATION PAGES  
76 2

STATUS  
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11/08/2012 16:49 Kenosha Water Utility

(FAX)2626534320

P.001/002

WRCTXOPD:WRCTXOPD  
11/08/12 16:42

WATER UTILITY TAXROLL REPORT  
FOR COUNTY RESIDENTS  
COUNTY TAXROLL AMOUNTS 11/08/12  
PLEASANT PRAIRIE

*Preliminary figures* PAGE 2  
*Attn: Tracy 985-6789*

DIST	ADDRESS	PARCEL#	BASE WTR	WTR +PEN	BASE SWR	SWR +PEN	BASE HHW	HHW +PEN	BASE ROLL	TOTAL ROLL
1	8036 07TH AV	9341230740465	27.58	27.58	0.00	0.00	0.00	0.00	27.58	27.58
1	9132 08TH AV	9341231840915	95.77	95.77	0.00	0.00	0.00	0.00	95.77	95.77
1	8902 20TH AV	9341231830025	39.51	39.51	0.00	0.00	0.00	0.00	39.51	39.51
1	8929 29TH AV	9141221340784	284.98	284.98	0.00	0.00	0.00	0.00	284.98	284.98
1	9016 29TH AV	9141221340935	290.68	290.68	0.00	0.00	0.00	0.00	290.68	290.68
1	9019 29TH AV	9141221340805	230.92	230.92	0.00	0.00	0.00	0.00	230.92	230.92
1	9221 29TH AV	9141221340840	177.46	177.46	0.00	0.00	0.00	0.00	177.46	177.46
1	1912 89TH PL	9341231830185	62.22	62.22	0.00	0.00	0.00	0.00	62.22	62.22
1	2619 89TH ST	9141221340551	134.01	134.01	0.00	0.00	0.00	0.00	134.01	134.01

DIST	ACCTS	WATER		SEWER		HHW		TOTAL	
		BASE	BASE+PEN	BASE	BASE+PEN	BASE	BASE+PEN	BASE	BASE+PEN
DIST 1	9	1,343.13	1,343.13	.00	.00	.00	.00	1,343.13	1,343.13
10% PENALTY AMOUNTS		.00		.00		.00		.00	

2	9053 32ND AV	9141221330470	121.82	121.82	0.00	0.00	0.00	0.00	121.82	121.82
2	8317 43RD AV	9141221140144	602.36	602.36	0.00	0.00	0.00	0.00	602.36	602.36
2	7414 45TH AV	9141220240024	263.34	263.34	0.00	0.00	0.00	0.00	263.34	263.34
2	7626 47TH AV	9141221120070	150.10	150.10	0.00	0.00	0.00	0.00	150.10	150.10
2	8349 47TH AV	9141221140122	17.01	17.01	0.00	0.00	0.00	0.00	17.01	17.01
2	7640 50TH AV	9141221120204	180.91	180.91	0.00	0.00	0.00	0.00	180.91	180.91
2	7708 50TH AV	9141221120198	134.99	134.99	0.00	0.00	0.00	0.00	134.99	134.99
2	7226 51ST AV	9141220230400	77.31	77.31	0.00	0.00	0.00	0.00	77.31	77.31
2	7024 52ND AV	9141220230633	344.73	344.73	0.00	0.00	0.00	0.00	344.73	344.73
2	7206 52ND AV	9141220230600	82.40	82.40	0.00	0.00	0.00	0.00	82.40	82.40
2	7386 52ND AV	9141220230549	440.63	440.63	0.00	0.00	0.00	0.00	440.63	440.63
2	7906 55TH AV	9141221120331	73.46	73.46	0.00	0.00	0.00	0.00	73.46	73.46
2	8102 57TH AV	9141221040351	79.81	79.81	0.00	0.00	0.00	0.00	79.81	79.81
2	7824 69TH AV	9141221020215	209.19	209.19	0.00	0.00	0.00	0.00	209.19	209.19
2	4609 73RD PL	9141220240044	72.56	72.56	0.00	0.00	0.00	0.00	72.56	72.56
2	5230 73RD ST	9141220230596	81.67	81.67	0.00	0.00	0.00	0.00	81.67	81.67
2	5316 73RD ST	9141220230592	227.92	227.92	0.00	0.00	0.00	0.00	227.92	227.92
2	5414 73RD ST	9141220230582	367.59	367.59	0.00	0.00	0.00	0.00	367.59	367.59
2	4416 75TH ST	9141220240104	83.97	83.97	0.00	0.00	0.00	0.00	83.97	83.97
2	4500 75TH ST	9141220240022	278.88	278.88	0.00	0.00	0.00	0.00	278.88	278.88
2	4500 75TH ST 1	9141220240022	111.31	111.31	0.00	0.00	0.00	0.00	111.31	111.31
2	4506 75TH ST	9141220240020	106.47	106.47	0.00	0.00	0.00	0.00	106.47	106.47
2	5210 75TH ST	9141220230540	72.70	72.70	0.00	0.00	0.00	0.00	72.70	72.70
2	5214 75TH ST	9141220230540	23.06	23.06	0.00	0.00	0.00	0.00	23.06	23.06
2	5310 75TH ST 004	9141220230526	64.23	64.23	0.00	0.00	0.00	0.00	64.23	64.23
2	5310 75TH ST 007	9141220230526	131.86	131.86	0.00	0.00	0.00	0.00	131.86	131.86
2	5310 75TH ST 009	9141220230526	38.10	38.10	0.00	0.00	0.00	0.00	38.10	38.10
2	5310 75TH ST 012	9141220230526	207.42	207.42	0.00	0.00	0.00	0.00	207.42	207.42

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WATER UTILITY TAXROLL REPORT  
FOR COUNTY RESIDENTS  
COUNTY TAXROLL AMOUNTS 11/08/12  
PLEASANT PRAIRIE

PAGE 3

DIST	ADDRESS	PARCEL#	BASE WTR	WTR +PEN	BASE SWR	SWR +PEN	BASE HHW	HHW +PEN	BASE ROLL	TOTAL ROLL
2	5310 75TH ST 017	9141220230526	175.50	175.50	0.00	0.00	0.00	0.00	175.50	175.50
2	5310 75TH ST 018	9141220230526	111.55	111.55	0.00	0.00	0.00	0.00	111.55	111.55
2	5310 75TH ST 019	9141220230526	133.84	133.84	0.00	0.00	0.00	0.00	133.84	133.84
2	5310 75TH ST 020	9141220230526	294.99	294.99	0.00	0.00	0.00	0.00	294.99	294.99
2	5310 75TH ST 023	9141220230526	127.00	127.00	0.00	0.00	0.00	0.00	127.00	127.00
2	5310 75TH ST 031	9141220230526	241.45	241.45	0.00	0.00	0.00	0.00	241.45	241.45
2	5310 75TH ST 032	9141220230526	226.00	226.00	0.00	0.00	0.00	0.00	226.00	226.00
2	5268 80TH ST	9141221120300	111.57	111.57	0.00	0.00	0.00	0.00	111.57	111.57
2	5213 81ST ST	9141221130252	181.98	181.98	0.00	0.00	0.00	0.00	181.98	181.98
2	5414 81ST ST	9141221130237	187.33	187.33	0.00	0.00	0.00	0.00	187.33	187.33
2	5714 82ND ST	9141221040335	50.36	50.36	0.00	0.00	0.00	0.00	50.36	50.36
2	5718 82ND ST	9141221040331	74.24	74.24	0.00	0.00	0.00	0.00	74.24	74.24
2	4804 83RD PL	9141221130106	46.00	46.00	0.00	0.00	0.00	0.00	46.00	46.00
2	4516 83RD ST	9141221140008	82.08	82.08	0.00	0.00	0.00	0.00	82.08	82.08
2	5009 83RD ST	9141221130066	153.86	153.86	0.00	0.00	0.00	0.00	153.86	153.86
2	4773 84TH ST	9141221130498	77.83	77.83	0.00	0.00	0.00	0.00	77.83	77.83
2	4829 84TH ST	9141221130504	202.01	202.01	0.00	0.00	0.00	0.00	202.01	202.01
2	4120 85TH ST	9141221140180	51.02	51.02	0.00	0.00	0.00	0.00	51.02	51.02
2	4011 86TH ST	9241221410118	108.84	108.84	0.00	0.00	0.00	0.00	108.84	108.84
2	7616 COOP RD	9141221120384	207.06	207.06	0.00	0.00	0.00	0.00	207.06	207.06
2	7647 COOP RD	9141221120228	71.16	71.16	0.00	0.00	0.00	0.00	71.16	71.16
2	7807 COOP RD	9141221120242	94.82	94.82	0.00	0.00	0.00	0.00	94.82	94.82
2	7915 COOP RD	9141221120252	268.13	268.13	0.00	0.00	0.00	0.00	268.13	268.13
2	8107 COOP RD	9141221130037	414.20	414.20	0.00	0.00	0.00	0.00	414.20	414.20
2	8239 COOP RD	9141221130061	231.12	231.12	0.00	0.00	0.00	0.00	231.12	231.12
2	8307 COOP RD	9141221130073	182.45	182.45	0.00	0.00	0.00	0.00	182.45	182.45
2	5103 HARR RD	9141220230486	35.91	35.91	0.00	0.00	0.00	0.00	35.91	35.91

	WATER		SEWER		HHW		TOTAL		
ACCTS	BASE	BASE+PEN	BASE	BASE+PEN	BASE	BASE+PEN	BASE	BASE+PEN	
DIST 2	55	8,788.10	8,788.10	.00	.00	.00	.00	8,788.10	8,788.10
10% PENALTY AMOUNTS		.00	.00	.00	.00	.00	.00	.00	.00

GRAND TOTALS FOR PLEASANT PRAIRIE

	WATER		SEWER		HHW		TOTAL		
ACCTS	BASE	BASE+PEN	BASE	BASE+PEN	BASE	BASE+PEN	BASE	BASE+PEN	
REPORT TOTAL	64	10,131.23	10,131.23	.00	.00	.00	.00	10,131.23	10,131.23
10% PENALTY AMOUNTS		.00	.00	.00	.00	.00	.00	.00	.00

+ penalty 1013.12  
\$ 11,144.35



**Village of Pleasant Prairie  
2012 Tax Roll Summary**

<u>Special Assessments</u>	<u>Principal</u>	<u>Interest</u>	<u>Total</u>
Paving, Road Construction & Storm Sewer	\$6,046.30	4,046.96	10,093.26
Clean Water	7,608.39	5,478.13	13,086.52
Sewer	8,973.87	6,499.05	15,472.92
TID	4,701.65	2,771.18	7,472.83
Water	33,239.42	19,543.39	52,782.81
<b>Total Special Assessments</b>	<b>\$ 60,569.63</b>	<b>\$ 38,338.71</b>	<b>\$ 98,908.34</b>

**Village of Pleasant Prairie  
Paving, Road Construction & Storm Sewer  
Special Assessments - 2012 Tax Roll**

Tax Parcel Number	Name	Outstanding Assessment Balance	Tax Roll Installment		
			Total	Principal	Interest
<u>District 9079 - First Court Paving</u>					
93-4-123-293-0610	Gurgol, Daniel P.	545.27	185.40	136.33	49.07
93-4-123-293-0625	Moore, Thomas S. & Dana L.	153.63	52.24	38.41	13.83
		<u>\$698.90</u>	<u>\$237.64</u>	<u>\$174.74</u>	<u>\$62.90</u>
<u>District 9104 - 9th Court Roadway</u>					
93-4-123-304-0926	Willis, Connie J.	1,205.81	349.68	241.16	108.52
93-4-123-304-0955	Nelson, Chard E. & Jolena J.	751.75	218.01	150.35	67.66
		<u>\$1,957.56</u>	<u>\$567.69</u>	<u>\$391.51</u>	<u>\$176.18</u>
<u>District 9117 - 80th Street Roadway</u>					
91-4-122-112-0300	Bynsdorp, Jeremiah	13,646.40	2,933.97	1,705.79	1,228.18
91-4-122-112-0340	Lawler, Jamie J. & Lisa	14,036.99	3,017.95	1,754.62	1,263.33
		<u>\$27,683.39</u>	<u>\$5,951.92</u>	<u>\$3,460.41</u>	<u>\$2,491.51</u>
<u>District 9123 - 116th St. Road Improvements</u>					
93-4-123-303-0112	Banks of Wisconsin	11,351.19	2,643.21	1,621.60	1,021.61
		<u>\$11,351.19</u>	<u>\$2,643.21</u>	<u>\$1,621.60</u>	<u>\$1,021.61</u>
<u>District 9127 - Meadowdale Paving</u>					
92-4-122-231-0467	Miceli, Louis D.	2,458.19	528.51	307.27	221.24
		<u>\$2,458.19</u>	<u>\$528.51</u>	<u>\$307.27</u>	<u>\$221.24</u>
<u>District 9133 - Meadowdale Concrete Paving</u>					
92-4-122-231-0467	Miceli, Louis D.	816.93	164.29	90.77	73.52
		<u>\$816.93</u>	<u>\$164.29</u>	<u>\$90.77</u>	<u>\$73.52</u>
<b>Grand Totals - Paving Special Assessments</b>		<u>\$44,966.16</u>	<u>\$10,093.26</u>	<u>\$6,046.30</u>	<u>\$4,046.96</u>

Village of Pleasant Prairie  
Clean Water Utility  
Special Assessments - 2012 Tax Roll

Tax Parcel Number	Name	Outstanding Assessment Balance	Tax Roll Installment		
			Total	Principal	Interest
<u>DISTRICT NO. 9120 - CAROL BEACH UNIT 2 STORM SEWER</u>					
93-4-123-293-0280	Poulos, Dorothy	1,498.56	322.18	187.31	134.87
93-4-123-293-0465	Hassan, Rafael R. & Kathleen	2,320.72	498.94	290.08	208.86
93-4-123-293-0625	Moore, Thomas S. & Dana L.	4,139.45	889.97	517.42	372.55
93-4-123-293-0640	Yordanoff, B Gordon	1,593.10	342.51	199.13	143.38
93-4-123-293-0645	Malonis, Karen	1,707.15	367.03	213.39	153.64
93-4-123-293-0825	Kosterkiewicz, Izabela	3,797.29	816.42	474.66	341.76
93-4-123-293-0875	Artac, Todd J.	2,943.97	632.95	367.99	264.96
93-4-123-293-0945	County of Kenosha	1,847.91	397.29	230.98	166.31
93-4-123-293-0980	Holden, David A. & Christine L.	3,703.45	796.23	462.92	333.31
93-4-123-293-0990	Domin, Steven G. & Stephanie M.	3,703.44	796.24	462.93	333.31
93-4-123-293-0995	Delgado, Christopher	404.06	86.87	50.50	36.37
93-4-123-293-1035	Daniels, David M.	1,321.77	284.18	165.22	118.96
93-4-123-293-1045	Hernandez, Gomez & Gisela	3,703.58	796.26	462.94	333.32
93-4-123-304-0240	Steffes, Laurel J. & Georgette G. Bates	2,071.98	445.47	258.99	186.48
93-4-123-304-0250	Harris, James Clay	3,703.58	796.26	462.94	333.32
93-4-123-304-0255	Lamb, Barry A. Jr. & Sandra J.	3,363.45	723.13	420.42	302.71
93-4-123-304-0260	Van Besien, Donald L.	3,703.59	796.26	462.94	333.32
93-4-123-304-0270	Dubois, Dean M. & Theresa L.	3,703.58	796.26	462.94	333.32
93-4-123-304-0620	Manchik, Merrill	3,419.61	735.21	427.45	307.76
		<u>\$52,650.24</u>	<u>\$11,319.66</u>	<u>\$6,581.15</u>	<u>\$4,738.51</u>
<u>DISTRICT NO. 9122 - 80TH STREET CONSTRUCTION STORM SEWER</u>					
91-4-122-112-0300	Bynsdorp, Jeremiah	4,051.02	870.96	506.37	364.59
91-4-122-112-0340	Lawler, Jamie J. & Lisa	4,166.96	895.90	520.87	375.03
		<u>\$8,217.98</u>	<u>\$1,766.86</u>	<u>\$1,027.24</u>	<u>\$739.62</u>
Grand Total - Clean Water Special Assessments		<u>\$60,868.22</u>	<u>\$13,086.52</u>	<u>\$7,608.39</u>	<u>\$5,478.13</u>

**Village of Pleasant Prairie  
Sewer Fund  
Special Assessments - 2012 Tax Roll**

Tax Parcel Number	Name	Outstanding Assessment Balance	Tax Roll Installment		
			Total	Principal	Interest
<u>District# 9004-9007 - 95th St./93rd St.Connector Project</u>					
92-4-122-222-0205	Katres, Peter	26,108.12	5,613.24	3,263.51	2,349.73
92-4-122-222-0210	Katres, Peter	18,722.32	4,025.29	2,340.28	1,685.01
		<u>\$44,830.44</u>	<u>\$9,638.53</u>	<u>\$5,603.79</u>	<u>\$4,034.74</u>
<u>District 9011-9014 - All Saints/Meadowdale Sanitary Sewer</u>					
92-4-122-143-0080	Quello, Quinn S. & Gina	3,784.50	761.11	420.50	340.61
		<u>\$3,784.50</u>	<u>\$761.11</u>	<u>\$420.50</u>	<u>\$340.61</u>
<u>District 9119 - 80th St. Sanitary Sewer</u>					
91-4-122-112-0300	Bynsdorp, Jeremaih	11,631.88	2,500.85	1,453.98	1,046.87
91-4-122-112-0340	Lawler, Jamie J. & Lisa	11,964.81	2,572.43	1,495.60	1,076.83
		<u>\$23,596.69</u>	<u>\$5,073.28</u>	<u>\$2,949.58</u>	<u>\$2,123.70</u>
Grand Total - Sewer Assessments		<u>\$72,211.63</u>	<u>\$15,472.92</u>	<u>\$8,973.87</u>	<u>\$6,499.05</u>

Village of Pleasant Prairie  
TID - Water  
Special Assessments - 2012 Tax Roll

Tax Parcel Number	Name	Outstanding Assessment Balance	Tax Roll Installment		
			Total	Principal	Interest
<u>DISTRICT NO. 9056-57 - DEFERRED WATER STH 32 AND STH 165</u>					
92-4-122-243-0550	Wincek, Scott & Lorna	4,990.50	1,003.65	554.50	449.15
93-4-123-194-0625	Nealy, Gerald E. & Carolyn F.	4,441.60	954.94	555.20	399.74
		<u>\$9,432.10</u>	<u>\$1,958.59</u>	<u>\$1,109.70</u>	<u>\$848.89</u>
<u>DISTRICT NO. 9058-59 - STH 32 (STH 165 TO 111TH ST) WATER</u>					
93-4-123-302-0006	Captain Mike's Kenosha Real Estate LLC	5,189.70	1,332.02	864.95	467.07
		<u>\$5,189.70</u>	<u>\$1,332.02</u>	<u>\$864.95</u>	<u>\$467.07</u>
<u>DISTRICT NO. 9075-76 - CTH "C" WATER (11109 88TH ST TO 128 AVE)</u>					
92-4-122-182-0070	Eubanks, William W.	7,709.50	1,932.36	1,238.50	693.86
92-4-122-182-0080	Eubanks, William W.	7,709.50	1,932.36	1,238.50	693.86
		<u>\$15,419.00</u>	<u>\$3,864.72</u>	<u>\$2,477.00</u>	<u>\$1,387.72</u>
<u>DISTRICT NO. 9077-78 - SPRINGBROOK RD WATER (26 - 29 AVE)</u>					
91-4-122-134-0860	Rintoul, Wayne & Sandra	750.00	317.50	250.00	67.50
		<u>\$750.00</u>	<u>\$317.50</u>	<u>\$250.00</u>	<u>\$67.50</u>
Grand Total - TID Water Special Assessments		<u>\$30,790.80</u>	<u>\$7,472.83</u>	<u>\$4,701.65</u>	<u>\$2,771.18</u>

**Village of Pleasant Prairie  
Water Fund  
Special Assessments - 2012 Tax Roll**

Tax Parcel Number	Name	Outstanding Assessment Balance	Tax Roll Installment		
			Total	Principal	Interest
<u>District 8573, 8756-57 - 116th St(39th Ave To Sheridan) Water Main, Laterals &amp; Connection</u>					
92-4-122-362-0040	Owens, David M.	1,739.00	1,026.01	869.50	156.51
		<u>\$1,739.00</u>	<u>\$1,026.01</u>	<u>\$869.50</u>	<u>\$156.51</u>
<u>District 8797-98 - Miscellaneous Deferred Water Main &amp; Lateral</u>					
91-4-122-081-0070	Jecvicus II, Charles T.	560.00	120.40	70.00	50.40
		<u>\$560.00</u>	<u>\$120.40</u>	<u>\$70.00</u>	<u>\$50.40</u>
<u>District 9008-10 - 95/93rd Street Connector Project Water Main &amp; Lateral</u>					
92-4-122-222-0205	Katres, Peter	11,485.84	2,469.47	1,435.74	1,033.73
92-4-122-222-0210	Katres, Peter	13,134.04	2,823.81	1,641.75	1,182.06
		<u>\$24,619.88</u>	<u>\$5,293.28</u>	<u>\$3,077.49</u>	<u>\$2,215.79</u>
<u>District 9015-16 - 93rd Street (Cooper Rd. to 48th Ave.) Water Main &amp; Lateral</u>					
92-4-122-143-0080	Quello, Quinn S. & Gina	1,840.00	395.60	230.00	165.60
		<u>\$1,840.00</u>	<u>\$395.60</u>	<u>\$230.00</u>	<u>\$165.60</u>
<u>District 9060-61 55th Ave. (South of 104th St.) Water Main &amp; Service</u>					
92-4-122-262-0495	Hornickel, Geraldine J.	428.60	467.17	428.60	38.57
		<u>\$428.60</u>	<u>\$467.17</u>	<u>\$428.60</u>	<u>\$38.57</u>
<u>District 9066-67 22nd Ave. (South of 104th St.) Water Main &amp; Service</u>					
92-4-122-251-0070	Fonk, Kim S. & Penny L.	504.09	549.46	504.09	45.37
		<u>\$504.09</u>	<u>\$549.46</u>	<u>\$504.09</u>	<u>\$45.37</u>
<u>District 9070-71 Sheridan Rd. (116-128th St.) Water Main &amp; Service</u>					
93-4-123-311-0201	BMW Land LLC	5,819.59	3,433.52	2,909.76	523.76
93-4-123-311-0275	Radigan, Michael	1,614.37	952.47	807.18	145.29
93-4-123-311-0310	Ruffolo, Francesco & Giulianna	1,214.34	716.44	607.15	109.29
93-4-123-314-0005	Dorau, Robert A.	885.79	522.61	442.89	79.72
93-4-123-314-0085	Lake View Homes Inc.	325.02	191.78	162.53	29.25
93-4-123-314-0090	Lake View Homes Inc.	325.06	191.79	162.53	29.26
93-4-123-314-0158	Lake View Homes Inc.	325.06	191.79	162.53	29.26
93-4-123-314-0160	Lake View Homes Inc.	325.06	191.79	162.53	29.26
93-4-123-314-0162	Lake View Homes Inc.	325.06	191.79	162.53	29.26
93-4-123-314-0164	Lake View Homes Inc.	325.06	191.79	162.53	29.26
93-4-123-314-0225	Lyons, George R.	834.07	492.10	417.03	75.07
93-4-123-314-0298	Meek, Edward & Teresa	887.39	523.53	443.66	79.87
93-4-123-314-0360	LaMacchia, Robert M.	730.63	431.08	365.31	65.77
		<u>\$13,936.50</u>	<u>\$8,222.48</u>	<u>\$6,968.16</u>	<u>\$1,254.32</u>
<u>District 9072-73 103rd Ave. (North of Bain Station Rd.) Water Main &amp; Service</u>					
91-4-122-083-0101	Rasch, Kenneth & Laura	993.66	586.22	496.79	89.43
		<u>\$993.66</u>	<u>\$586.22</u>	<u>\$496.79</u>	<u>\$89.43</u>
<u>District 9080-81 - 8915-35 Old Green Bay Rd. Water Main &amp; Service</u>					
92-4-122-153-0030	Landers, Gary A.	2,314.26	979.69	771.41	208.28
		<u>\$2,314.26</u>	<u>\$979.69</u>	<u>\$771.41</u>	<u>\$208.28</u>
<u>District 9082-83 - Municipal Water in the Vicinity of 3122 93rd St.</u>					
91-4-122-133-0275	Lawler, Barry P.	2,113.78	894.83	704.59	190.24
91-4-122-133-0280	Briese, Alex	1,480.20	626.62	493.40	133.22
91-4-122-133-0533	Kauth, Kris	1,397.84	591.73	465.92	125.81
		<u>\$4,991.82</u>	<u>\$2,113.18</u>	<u>\$1,663.91</u>	<u>\$449.27</u>
<u>District 9096-97 - Municipal Water to 5222 Springbrook Rd.</u>					
92-4-122-263-0220	Guido, Linda J.	1,221.24	415.21	305.30	109.91
		<u>\$1,221.24</u>	<u>\$415.21</u>	<u>\$305.30</u>	<u>\$109.91</u>

**Village of Pleasant Prairie  
Water Fund  
Special Assessments - 2012 Tax Roll**

Tax Parcel Number	Name	Outstanding	Tax Roll Installment		
		Assessment Balance	Total	Principal	Interest
<u>District 9108-09 - Municipal Water on 63rd Ave. (from 85th St. North to 84th St.) and 84th St. (West of 63rd Ave.)</u>					
91-4-122-104-0065	Byars, Danelle S.	7,494.00	2,173.26	1,498.80	674.46
		<u>\$7,494.00</u>	<u>\$2,173.26</u>	<u>\$1,498.80</u>	<u>\$674.46</u>
<u>District 9118 - 80th St. Water (Cooper Rd. to 57 Ave.)</u>					
91-4-122-112-0300	Bynsdorp, Jeremiah	9,900.32	2,128.57	1,237.54	891.03
91-4-122-112-0340	Lawler, Jamie J. & Lisa	10,183.69	2,189.49	1,272.96	916.53
		<u>\$20,084.01</u>	<u>\$4,318.06</u>	<u>\$2,510.50</u>	<u>\$1,807.56</u>
<u>District 9121 - 80th St. Addition Municipal Water Services</u>					
91-4-122-112-0302	Kray, Linda Rose	1,520.88	390.36	253.48	136.88
91-4-122-113-0015	Madrigano, Barbara J.	1,520.88	390.36	253.48	136.88
		<u>\$3,041.76</u>	<u>\$780.72</u>	<u>\$506.96</u>	<u>\$273.76</u>
<u>District 9137 - 77th St./109th Ave. Water Main Extension</u>					
91-4-122-071-0955	AM Community Credit Union	10,985.30	2,087.21	1,098.53	988.68
91-4-122-071-0960	AM Community Credit Union	10,985.30	2,087.21	1,098.53	988.68
91-4-122-071-1015	AM Community Credit Union	9,710.41	1,844.98	971.04	873.94
91-4-122-071-1020	AM Community Credit Union	6,424.32	1,220.62	642.43	578.19
91-4-122-071-1025	AM Community Credit Union	5,938.00	1,128.22	593.80	534.42
91-4-122-071-1030	AM Community Credit Union	6,234.90	1,184.63	623.49	561.14
91-4-122-071-1035	AM Community Credit Union	5,938.00	1,128.22	593.80	534.42
91-4-122-071-1040	AM Community Credit Union	6,234.90	1,184.63	623.49	561.14
91-4-122-071-1540	AM Community Credit Union	10,896.23	2,070.28	1,089.62	980.66
91-4-122-071-1545	AM Community Credit Union	7,062.66	1,341.90	706.26	635.64
91-4-122-071-1550	AM Community Credit Union	5,702.86	1,083.54	570.28	513.26
91-4-122-071-1555	AM Community Credit Union	8,016.30	1,523.10	801.63	721.47
91-4-122-071-1560	AM Community Credit Union	6,828.70	1,297.45	682.87	614.58
91-4-122-071-1565	AM Community Credit Union	7,422.50	1,410.28	742.25	668.03
91-4-122-071-1570	AM Community Credit Union	7,184.98	1,365.14	718.49	646.65
91-4-122-071-1575	AM Community Credit Union	5,938.00	1,128.22	593.80	534.42
91-4-122-071-1580	AM Community Credit Union	5,938.00	1,128.22	593.80	534.42
91-4-122-071-1585	AM Community Credit Union	5,938.00	1,128.22	593.80	534.42
		<u>\$133,379.36</u>	<u>\$25,342.07</u>	<u>\$13,337.91</u>	<u>\$12,004.16</u>
<b>Grand Total - Water Special Assessments</b>		<u>\$217,148.18</u>	<u>\$52,782.81</u>	<u>\$33,239.42</u>	<u>\$19,543.39</u>

**ORDINANCE NO. 12-41**

**ORDINANCE TO AMEND CHAPTER 23 OF THE  
MUNICIPAL CODE OF THE VILLAGE OF PLEASANT PRAIRIE,  
KENOSHA COUNTY, WISCONSIN  
RELATING TO WORTHLESS PAYMENT CHARGES  
AND OVERPAYMENTS**

**BE IT ORDAINED AND ESTABLISHED** by the Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin that Section 23-8 of the Municipal Code is hereby created as follows:

**23-8. WORTHLESS PAYMENT CHARGE, OVERPAYMENTS**

- A. Purpose. It is the intent of the Village of Pleasant Prairie Board that this ordinance will promote the efficient collection of money owed to the Village, or handling minor overpayments, thereby promoting the public welfare by eliminating wasteful expenditures of time and tax dollars incurred as the result of the return of a worthless check or minor overpayment.
- B. Definitions.
  - (a) "Person" includes any individual, sole proprietorship, partnership, corporation, joint venture or association.
  - (b) "Worthless check" means a check which is returned unpaid by the bank on which it is drawn.
  - (c) "Worthless payment" means a debit card or credit card transaction which is not paid by the bank upon which demand is made.
- C. Additional Charge; Amount. Any person who tenders a worthless check or worthless payment to any Village of Pleasant Prairie official, employee, department, or office, shall be liable to the Village for payment of the amount for which the check or payment was tendered and an additional charge of up to \$50. This additional charge shall be uniform in amount and application, and shall be comparable to charges for worthless checks and payments made by establishments in the private sector.
- D. Overpayments. The Village may retain overpayments made when such overpayment does not exceed \$10.00, unless a written request for a refund of such overpayment is made within 90 days.

Passed and adopted this 19th day of November, 2012.

VILLAGE OF PLEASANT PRAIRIE

\_\_\_\_\_  
John P. Steinbrink, President

ATTEST:

\_\_\_\_\_  
Jane M. Romanowski, Clerk

Posted: \_\_\_\_\_



ORDINANCE NO. 12-42

ORDINANCE TO AMEND CHAPTER 30  
OF THE MUNICIPAL CODE OF THE  
VILLAGE OF PLEASANT PRAIRIE,  
KENOSHA COUNTY, WISCONSIN  
RELATING TO CONCRETE DRIVEWAYS

**BE IT ORDAINED AND ESTABLISHED** by the Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin that Section 30 of the Municipal Code be amended as follows:

§ 30-1. Municipal Judge.

- A. Office created. Pursuant to § 755.01 Wis. Stats., there is created the office of Municipal Judge for the Village.
- B. Election; term. The Municipal Judge shall be elected at large at the spring election in odd-numbered years for a term of ~~four~~ two years, or until his successor is elected and qualifies, commencing on May 1 next succeeding his election.
- C. Salary. The Municipal Judge shall receive when present, \$420 per court session, plus an additional payment for two session per year when not able to attend (vacation pay) ~~a salary determined by the Village Board~~, which shall be in lieu of fees and costs. No salary shall be paid to the Judge for any time during his term for which he has not executed and filed his official bond and oath as required by Subsection D of this section.
- D. Bond; oath. The Municipal Judge shall execute and file with the Clerk of the Circuit Court for Kenosha County the oath prescribed by § 755.03, Wis. Stats., and a bond in the penal sum of \$10,000.
- E. Jurisdiction. The Municipal Judge shall have jurisdiction as provided by law and § 755.045, Wis. Stats., and exclusive jurisdiction of violations of Village ordinances.

§ 30-2. Court established.

The Municipal Court for the Village of Pleasant Prairie is established pursuant to § 755.01, Wis. Stats.

§ 30-3. Court procedure.

- A. The Municipal Court of the Village shall be open as determined by order of the Municipal Judge and approved by the Village Board.
- B. The Municipal Judge shall keep his/her office and hold court in the Municipal Court room located at the ~~Roger Prange Municipal Center~~ Village Hall.
- C. The procedure in Municipal Court for the Village shall be as provided by this chapter and state law, including, without limitation because of enumeration, §§ 23.66 to 23.99, 778.14, 778.15, 778.18 and 345.20 to 345.53 and Chs. 755 and 800, Wis. Stats.

D. The ~~Village Treasurer~~ ~~Municipal Judge~~ shall ~~receipt collect~~ all forfeitures, penalty assessments, fees and taxable costs in any action or proceeding before ~~the Municipal Judge~~ ~~him and shall pay over such moneys to the Village Treasurer upon receipt.~~ ~~At such time t~~ The Municipal Judge shall reconcile monthly receipts, and pursue enforcement of any unpaid citations.

The Municipal Judge shall submit a ~~also~~ report ~~monthly~~ to the Village Treasurer. ~~the title, nature of offenses and total amount of judgments imposed in actions and proceedings in which such moneys were collected.~~ ~~This monthly reporting shall include the State of Wisconsin “Municipal Court Monthly Financial Report” and a financial accounting of the court’s receivables for all citations issued by the Village in a format acceptable to the Village Treasurer. The Municipal Court’s financial records shall be maintained per the Government Accounting Standards Board (GASB).~~

Passed and adopted this 19th day of November, 2012.

VILLAGE OF PLEASANT PRAIRIE

\_\_\_\_\_  
John P. Steinbrink, President

ATTEST:

\_\_\_\_\_  
Jane M. Romanowski, Clerk

Posted: \_\_\_\_\_



Consider the request of Fair Oaks Farms and Central Storage Warehouse located at 7600 and 7800 95<sup>th</sup> Street, respectively, for approval of the **Certified Survey Map** to adjust the lot lines and to dedicate a share fire lane access easement.

**Recommendation:** Plan Commission, at their November 12, 2012 meeting, recommended that the Village Board approve the **Certified Survey Map** subject to the comments and conditions of the Village Staff Report of November 19, 2012.

## VILLAGE STAFF REPORT OF NOVEMBER 19, 2012

Consider the request of Fair Oaks Farms and Central Storage Warehouse located at 7600 and 7800 95<sup>th</sup> Street, respectively, for approval of the **Certified Survey Map** to adjust the lot lines and to dedicate a share fire lane access easement.

*The petitioner is proposing to amend the lot lines between Fair Oaks Farms located at 7600 95<sup>th</sup> Street and Central Storage Warehouse located at 7800 95<sup>th</sup> Street in the LakeView Corporate Park. The purpose of the CSM is to reflect the Fair Oaks Farms purchase of 95 feet of land from Central Storage Warehouse.*

The CSM shows both the existing and proposed easements and restrictions on the properties. The two new easements are for shared cross access on the south side of the properties (parallel to 95<sup>th</sup> Street) between the parking lots of the businesses and a shared fire lane proposed along the new common lot line. The north-south fire lane will be constructed as part of a building addition proposed to be constructed by Central Storage Warehouse (which was conditionally approved by the Plan Commission on October 8, 2012) that will connect to the existing fire lane on the Central Storage Warehouse property. The fire lane access connecting the existing parking areas on Fair Oaks Farms property to the new north/south fire lane will be constructed at the time of the Fair Oaks Farms expansion.

Both owners have agreed to record an agreement which defines the shared financial responsibilities pertaining to the construction and maintenance of the 30' wide, paved private access fire lane which will benefit each of the Parcels, including the associated snow plowing related activities and adjacent landscaping improvements within the 40 foot wide easement area.

The proposed CSM complies with the Village's Land Division and Development Control Ordinance, Zoning Ordinance and Comprehensive Plan.

Plan Commission, at their November 12, 2012 meeting, recommended that the Village Board approve the **Certified Survey Map** subject to the above comments and the following conditions:

1. Any outstanding taxes or special assessments shall be paid prior to recording the CSM (*All taxes and/or special assessments have been paid*)
2. Receiving written approval from the LakeView Commercial Owner's Association and providing a copy of the approval letter to the Village.
3. Upon Village Board approval of the CSM and within 30 days of said approval the owners shall be responsible for recording the CSM at the Kenosha County Register of Deeds Office and providing proof of recording to the Village.



Filed 10/24 2012  
 Fee Paid 10/24 2012  
 PC Meeting Date 11/12 2012  
 VB Meeting Date 11/19 2012  
 Approved \_\_\_\_\_ 20\_\_\_\_  
 Denied \_\_\_\_\_ 20\_\_\_\_

**VILLAGE OF PLEASANT PRAIRIE  
CERTIFIED SURVEY MAP APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be <sup>added to Owner's property (lot line adjustment)</sup> subdivided with a Certified Survey Map (CSM)  
 The property petitioned to be <sup>added to Owner's property</sup> subdivided is located at: 7800 95th Street, Pleasant Prairie, Wisconsin and  
 owned by Central Storage & Warehouse Co., Inc. ("CSW")  
 and is legally described as follows: the easterly 95ft or approximately 57,703 SqFt of Parcel 47 of CSM No. 1499, Document No. 874775.

Tax Parcel Number(s): CSW Parcel 47 Tax Key No. 92-4-122-211-0108

Property Owner parcel 48 of CSM No. 1499, Document No. 874775, Tax Key No. 92-4-122-211-0115.

- The property abuts or adjoins a State Trunk Highway  Yes  No
- The property abuts or adjoins a County Trunk Highway  Yes  No
- Municipal Sanitary Sewer is available to service said properties  Yes  No
- Municipal Water is available to service said properties  Yes  No

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine additional information that may be needed to consider the request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

**PROPERTY OWNER:**

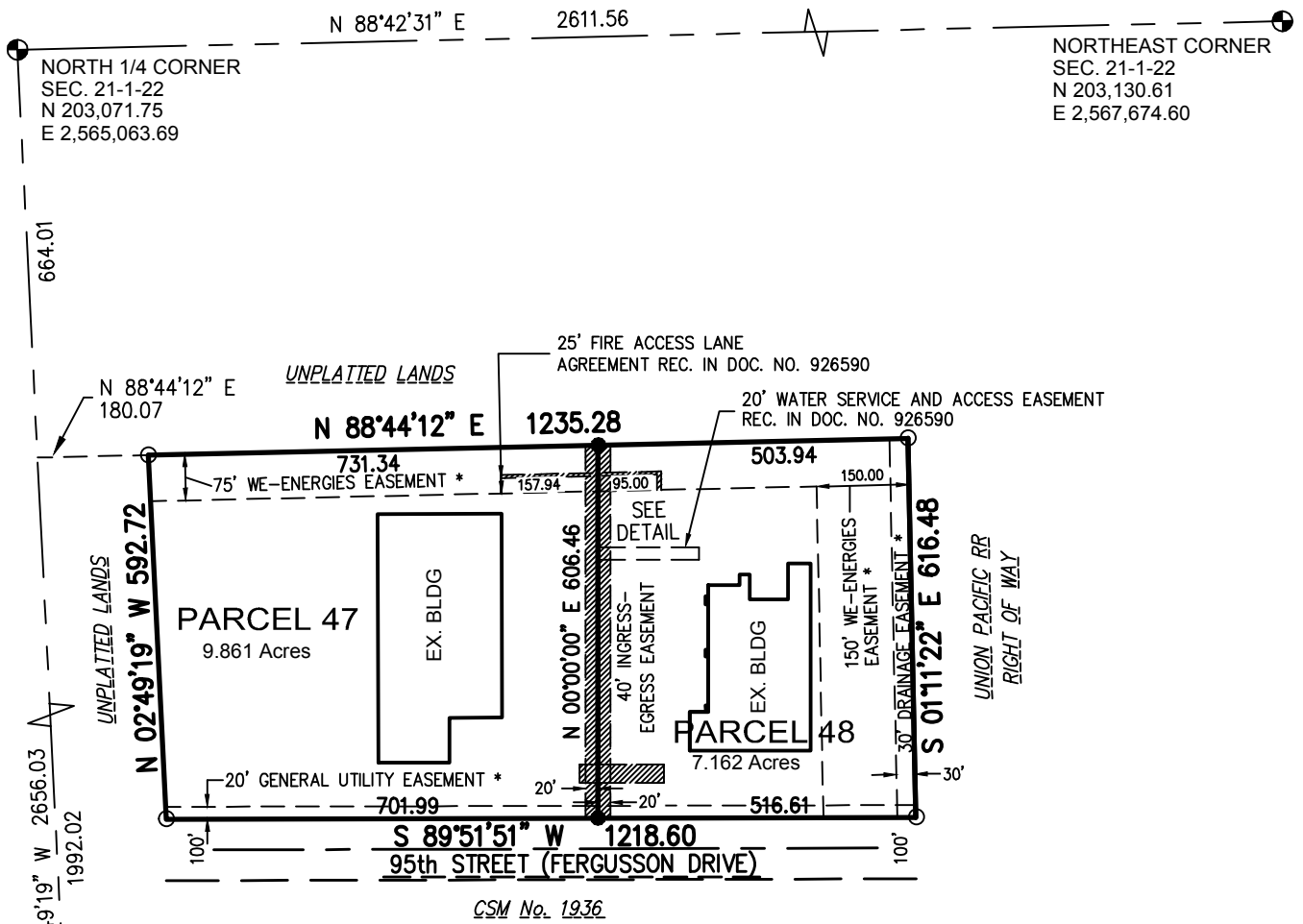
Print Name: Fair Oaks Farms, LLC  
 Signature: [Signature]  
 Joe Beredetti, Vice President  
 Address: 7600 95th Street  
Pleasant Prairie, Wisconsin 53158  
 (City) (State) (Zip)  
 Phone: (262) 947-0320  
 Fax: (262) 947-0346  
 Date: 10-24-2012

**OWNER'S AGENT:**

Robert A. Dudek  
 Print Name: Gonzalez Saggio & Harlan LLP  
 Signature: \_\_\_\_\_  
 Address: 111 E. Wisconsin Avenue, Suite 1000  
Milwaukee, Wisconsin 53202  
 (City) (State) (Zip)  
 Phone: (414) 277-8500  
 Fax: (414) 277-8521  
 Date: \_\_\_\_\_

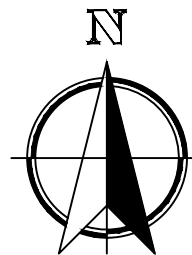
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

THE REDIVISION OF C.S.M. 1499 IN THE NE 1/4 AND THE NW 1/4 OF THE NE 1/4 OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.



\* REFERS TO EASEMENTS DEDICATED ON CSM 1499 RECORDED IN V. 1461 ON PAGES 187-190 AS DOC. NO. 874775

CENTER OF SEC. 21-1-22 (NOT MONUMENTED)  
N 200,418.94  
E 2,565,194.45



**SCALE 1"=300'**

**NOTES:**

ZONING OF PARCELS IS M-2 GENERAL MANUFACTURING DISTRICT

OWNERS: FAIR OAKS FARMS, LLC & CENTRAL STORAGE & WAREHOUSE CO.

SURVEYOR: NIELSEN MADSEN & BARBER, S.C. 1458 HORIZON BLVD. SUITE 200, RACINE, WI 53406

ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929.

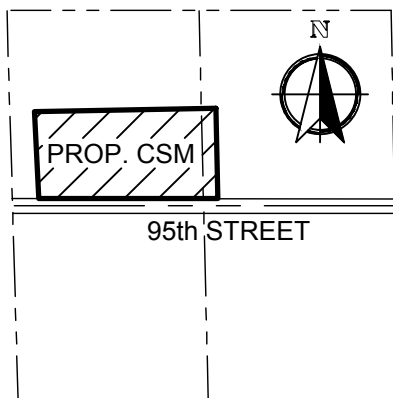
BEARINGS BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE.

BASED UPON NAD 1927. THE WEST LINE OF THE NE 1/4 OF SECTION 21-1-22 IS ASSUMED TO BEAR N 02°49'19" W.

**LEGEND:**

- 1" O.D. IRON PIPE FOUND
- 1.315" O.D.x18" IP - 1.68LBS/LIN FT. SET
- ⊙ 6" CONC. MON. W / BRASS CAP FOUND

**LOCATION MAP**



NE 1/4 SEC. 21-1-22

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

THE REDIVISION OF C.S.M. 1499 IN THE NE 1/4 AND THE NW 1/4 OF THE NE 1/4 OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

## SURVEYOR'S CERTIFICATE

I, James E. Robinson, Registered Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped a redivision of Certified Survey Map (CSM) No. 1499 as recorded in Document # 874775 in the NE 1/4 and NW 1/4 of the NE 1/4 of Section 21, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, described as follows: Commence at the North 1/4 corner of said Section 21; thence S02°49'19" E along the West line of the Northeast 1/4 of section 21, 664.01 feet; thence N88°44'12"E, 180.07 feet to the Northwest corner of said CSM No. 1499 and the point of beginning of this description; run thence N88°44'12"E 1235.28 feet along the North line of said CSM; thence S01°11'20"E 616.48 feet along the East line of said CSM; thence S89°51'51"W 1218.60 feet along the South line of said CSM and the North line of 95th Street; thence N02°49'19"W 592.72 feet along the West line of said CSM to the point of beginning. Containing 17.023 acres.

THAT I have made this survey, land division and map by the direction of the Owner.

THAT such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and Chapter 18 of the Village Municipal Code, Land Division and Development Control Ordinance of the Village of Pleasant Prairie. October 10, 2012

\_\_\_\_\_  
James E. Robinson, R.L.S. #1283  
Nielsen Madsen & Barber, S.C.  
1458 Horizon Blvd. Suite 200  
Racine WI 53406  
(262)634-5588

Prepared for:  
Fair Oaks Farms LLC  
7600 95th Street  
Pleasant Prairie, WI 53158  
Central Storage & Warehouse Company  
7800 95th Street  
Pleasant Prairie, WI 53158

## VILLAGE PLAN COMMISSION APPROVAL

Approved by the Village Plan Commission, Village of Pleasant Prairie on this \_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
Thomas W. Terwall, Chairman

## VILLAGE BOARD APPROVAL

Approved by the Village Board, Village of Pleasant Prairie on this \_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
John P. Steinbrink, Village President

Attest: \_\_\_\_\_  
Jane M. Romanowski, Village Clerk



**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

**THE REDIVISION OF C.S.M. 1499 IN THE NE 1/4 AND THE NW 1/4 OF THE NE 1/4 OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.**

CORPORATE OWNERS' CERTIFICATE OF DEDICATION

Fair Oaks Farms LLC, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, Michael L.Thompson, President and CEO, does hereby certify that said corporation caused the land described on the this CSM to be surveyed, divided, mapped and dedicated as represented on this plat. Fair Oakes Farms LLC does further certify that this CSM is required by Section 236.10 or Section 236.12 to be submitted to the following for approval or objection: Village of Pleasant Prairie.

IN WITNESS WHEREOF the said Fair Oaks Farms LLC has caused these presents to be signed by Michael L.Thompson, President and CEO of Fair Oaks Farms LLC and its seal affixed hereunto this \_\_\_\_\_ day of \_\_\_\_\_, 2012. In the presence of:

\_\_\_\_\_  
Fair Oaks Farms LLC

WITNESS:

\_\_\_\_\_  
Michael L.Thompson, President and CEO

STATE OF WISCONSIN)

) ss

COUNTY OF RACINE )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2012, Michael L.Thompson, President and CEO of the above-named corporation to me known to be the person who executed the foregoing as said President and CEO and acknowledged the same.

Signed: \_\_\_\_\_

\_\_\_\_\_  
Notary Public, State of Wisconsin

My commission expires/is permanent: \_\_\_\_\_

CORPORATE OWNERS' CERTIFICATE OF DEDICATION

Central Storage & Warehouse Company, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as Owner, does hereby certify that said corporation caused the land described on the this CSM to be surveyed, divided, mapped and dedicated as represented on this plat. Central Storage & Warehouse Company does further certify that this CSM is required by Section 236.10 or Section 236.12 to be submitted to the following for approval or objection: Village of Pleasant Prairie.

IN WITNESS WHEREOF the said Central Storage & Warehouse Company has caused these presents to be signed by John Winegarden, CEO, and its seal affixed hereunto this \_\_\_\_\_ day of \_\_\_\_\_, 2012. In the presence of:

\_\_\_\_\_  
Central Storage & Warehouse Company

WITNESS:

\_\_\_\_\_  
John Winegarden, CEO

STATE OF WISCONSIN)

) ss

COUNTY OF RACINE )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2012, John Winegarden, CEO of the above-named corporation to me known to be the person who executed the foregoing as said CEO and acknowledged the same.

Signed: \_\_\_\_\_

\_\_\_\_\_  
Notary Public, State of Wisconsin

My commission expires/is permanent: \_\_\_\_\_

Date: October 10, 2012

This Instrument was drafted by James E. Robinson

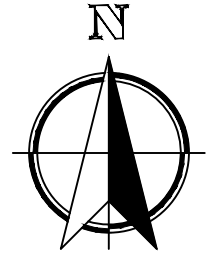
2012.0033.01.DWG

SHEET 3 OF 4 SHEETS

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

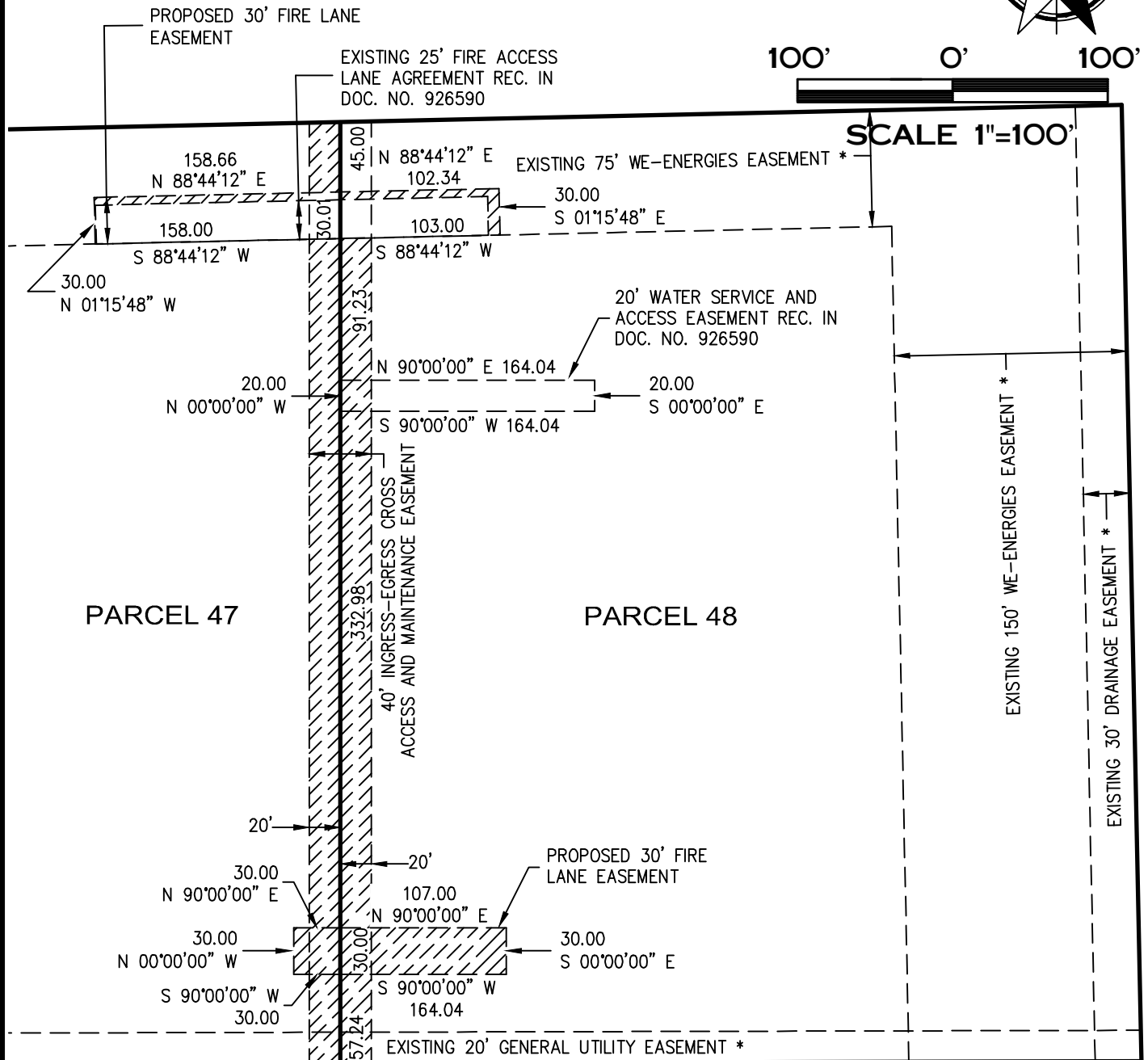
THE REDIVISION OF C.S.M. 1499 IN THE NE 1/4 AND THE NW 1/4 OF THE NE 1/4 OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

## EASEMENT DETAILS



100'      0'      100'

**SCALE 1"=100'**



\* REFERS TO EASEMENTS DEDICATED ON CSM 1499 RECORDED IN V. 1461 ON PAGES 187-190 AS DOC. NO. 874775

**40' Ingress-Egress, Cross Access and Maintenance Easement**

A non-exclusive easement coextensive with the area shown as a 40' Ingress-Egress, Cross Access, and Maintenance Easement on Parcels 47 and 48 of this Certified Survey Map is hereby dedicated, given, granted and conveyed from the land-divider(s) to the Owners of Parcels 47 and 48 and the Village of Pleasant Prairie for ingress-egress, cross access and fire-lane easement purposes. The Owners of Parcels 47 and 48 shall record an agreement which defines the shared financial responsibilities pertaining to the construction and maintenance of the 30' wide, paved private access fire lane which will benefit each of the Parcels, including the associated snow plowing related activities and adjacent landscaping improvements within the 40 foot wide easement area.

## PRIVATE SHARED ACCESS AND FIRE LANE AGREEMENT

THIS PRIVATE SHARED ACCESS AND FIRE LANE AGREEMENT (the "Agreement"), is made and entered into this \_\_\_ day of \_\_\_\_\_, 2012, by and between **Central Storage & Warehouse Company, a/k/a Central Storage & Warehouse Co., Inc.** having an address of 4309 Cottage Grove Road, Madison, Wisconsin 53716 ("Central Storage"), and **Fair Oaks Farms, LLC** having an address of 7600 95<sup>th</sup> Street, Pleasant Prairie, Wisconsin 53158 ("Fair Oaks").

### Recitals:

A. Central Storage is the owner of certain land and improvements located in the Village of Pleasant Prairie, Kenosha County, Wisconsin ("Village"), more particularly described as Parcel 47 in Certified Survey Map No. 1499, and commonly referred to as 7800 95<sup>th</sup> Street, Pleasant Prairie, Wisconsin ("Parcel 47"); and

B. Fair Oaks is the owner of certain land and improvements located in the Village that adjoins Parcel 47 to the east, more particularly described as Parcel 48 in Certified Survey Map No. 1499, and commonly referred to as 7600 95<sup>th</sup> Street, Pleasant Prairie, Wisconsin ("Parcel 48"); and

C. Fair Oaks has received approval from the Village ("Village Approval") for its application for a lot line adjustment whereby Fair Oaks has acquired the east 95' of Parcel 47 from Central Storage pursuant to a Purchase and Sale Agreement entered into between the parties dated September 6, 2012.

D. Village Approval required the preparation and filing of a new Certified Survey Map recorded in the Office of the Register of Deeds of Kenosha County, Wisconsin on \_\_\_\_\_, 2012, as Document No. \_\_\_\_\_ ("New CSM"), reflecting the lot line adjustment as well as certain other conditions, including the parties entering into an agreement for the construction and maintenance of a private shared service drive, access and fire lane intended to promote improved vehicular access and circulation for the parties as well as for local law enforcement, fire and emergency personnel, and which shall be located within the 40' wide, non-exclusive Ingress-Egress Cross Access and Maintenance Easement (the "Easement") running along and on either side of the property line of Parcel 47 and Parcel 48 (the "Easement Area"), all as depicted on the New CSM.

E. In satisfaction of the condition set forth in Recital D above by the Village Approval, the parties wish to enter into this Agreement immediately following the recording of the New CSM for the construction and maintenance of a private shared access and fire lane within the easement area of the Easement.

NOW THEREFORE, for and in consideration of the mutual promises contained herein, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Central Storage and Fair Oaks agree as follows:

1. Central Storage is the owner of Parcel 47 under the New CSM as more fully described in **Exhibit A** attached hereto, and Fair Oaks is the owner of Parcel 48 under the New CSM as more fully described in **Exhibit B** attached hereto.

2. Central Storage and Fair Oaks agree to construct or cause to be constructed within the Easement Area a 30' wide, paved roadway (the "Access and Fire Lane") substantially in accordance with the Site Plan attached hereto as **Exhibit C**, to serve as an internal service drive for passage of vehicles used by the parties, including their respective officers, directors/members, employees, and their contractors and invitees (but which shall not serve as a public driveway or access way), and which Access and Fire Lane may also be used at any and all times by local law enforcement, fire and emergency personnel. The Access and Fire Lane shall remain open and accessible at all times.

3. The Access and Fire Lane shall be constructed in 2012, weather permitting and otherwise as soon as practicable in 2013, in accordance with those plans and specifications developed by Central Storage which shall be approved by Fair Oaks ("Plans"). Central Storage shall oversee and manage the construction of the Access and Fire Lane and otherwise secure all permits and requisite approvals of all local, state or federal governmental authorities (each a "Governmental Authority" or more than one, the "Governmental Authorities") necessary for the construction of the Access and Fire Lane. Fair Oaks shall approve in advance the construction schedule and completion date for the Access and Fire Lane. Fair Oaks shall provide all necessary approvals that may be required by or requested of, and otherwise reasonably cooperate with, any Governmental Authorities.

4. Fair Oaks shall pay to Central Storage one-half (1/2) of all documented costs incurred by Central Storage in the planning, design and construction of the Access and Fire Lane. Upon completion of the Access and Fire Lane, Central Storage shall furnish to Fair Oaks an invoice reflecting Fair Oaks' share of such costs, and which shall include a detailed schedule of all supporting documents and information (form and content reasonably satisfactory to Fair Oaks). Provided the invoice is in a form reasonable satisfactory to Fair Oaks, it shall remit payment to Central Storage within ten (10) days of receipt of the invoice.

5. Fair Oaks and Central Storage shall each, at their sole cost and expense, add to and otherwise include in their existing policies with limits of coverage that are at levels customarily maintained by businesses similar to those operated by the parties by endorsement or other proper wording, general liability insurance for bodily injury, personal injury and property damage, those portions of the improvements consisting of the Access and Fire Lane and other improvements as located on their respective parcels. Each party shall be an "additional insured" under each other's policy for any casualty occurring within the easement area of the Easement and each shall provide the other with a waiver of subrogation.

6. Fair Oaks and Central Storage shall maintain, or cause to be maintained, the Access and Fire Lane and any other improvements (such as grass, trees and landscaping) within the Easement Area with materials equal to the materials contemplated in the Plans and in a proper, safe condition and good state of repair. The maintenance and repair obligations ("Maintenance Obligations") shall include, but not be limited to,

- a. Maintaining all paved surfaces in a smooth and evenly covered condition, including, without limitation, filling and sealing any holes, repair and replacement of base, skin patch, resealing and resurfacing (an overlay of the Access and Fire Lane shall be considered a maintenance item);
- b. The regular and periodic removal of snow and ice

- c. Maintaining any and all lighting, if any, and paying the utility cost for such lighting.
- d. The periodic removal of paper, litter, trash, and broom sweeping of the roadway surface to keep it free from the buildup of stones, dirt or mud and otherwise keep same in a clean and orderly condition.
- e. Periodic grass cutting, weed control, the placement or replacement of mulch/ground cover, bushes, flowers and other landscape features as the parties may decide or as may be required by Government Authorities.

Notwithstanding the foregoing, any replacement, resurfacing or overlay of the Access and Fire Lane shall be subject to the prior approval of both of the parties hereto, which approval shall not be unreasonably withheld.

All costs associated with the Maintenance Obligations shall be shared equally. Unless otherwise agreed to by the parties, upon the completion of the construction and installation of the Access and Fire Lane and any other improvements, Central Storage shall be responsible for the Maintenance Obligations for 2013 and every other year thereafter. Fair Oaks shall be responsible for the Maintenance Obligations of the Access and Fire Lane and any other improvements for 2014 and every other year thereafter. The party responsible for Maintenance Obligations shall submit a detailed invoice to the other party (which form and content shall be to the reasonable satisfaction of the other party) on a semi-annual basis for its share of such costs. The party responsible for payment shall remit payment directly to the other party within ten (10) days of receipt of the invoice. Central Storage and FOF shall pay any third party vendor on a timely basis and shall not allow any lien to be placed on either parcel for non-payment or breach.

7. Each party agrees to defend, protect, indemnify and hold harmless the other from and against all claims or demands, including any action or proceedings brought thereon, and all costs, losses, expenses and liability of any kind relating thereto, including reasonable attorney's fees, arising out of or resulting from injury to or death of any person or damage to the property of any person located on the parcel owned by each indemnifying party; provided, however, the foregoing obligation shall not apply to claims caused by the negligence or willful act or omission of such other parcel owner, its officers, directors, shareholders/members, employees, or other invitees.

8. Central Storage and Fair Oaks shall each pay prior to delinquency, all taxes and assessments with respect to their respective parcels, which shall include that portion of the Easement located on that party's parcel.

9. In the event either party shall default hereunder or otherwise breach a term or obligation required under this Agreement, the non-defaulting party shall notify the other party in writing of such default. The defaulting party shall have ten (10) days to cure the default. If a cure is not made within such 10-day period to the reasonable satisfaction of the party claiming default, the non-defaulting party shall have the right, but not the obligation, to cure such default by the payment of money or the performance of an action for the account of and at the expense of the defaulting party. In the event the default shall constitute an emergency condition, the non-defaulting party, acting in good faith, shall have the right to cure such default upon such advance notice as is reasonably possible under the circumstances or, if necessary, without advance notice, so long as notice is given as soon as possible thereafter. To effectuate any such cure, the non-

defaulting party shall have the right to enter upon that portion of the easement area within the Easement located on the other party's parcel to perform any necessary work, repairs or maintenance.

10. All notices, demands or requests required or permitted to be given under this Agreement must be in writing and sent by hand delivery, US certified mail, courier service or by facsimile as follows:

If to Central Storage: Central Storage & Warehouse Company  
4309 Cottage Grove Road  
Madison, Wisconsin 53716  
Attn: Chief Executive Officer  
  
Phone: (608) 221-7600  
Facsimile: (608) 221-7615

If to Fair Oaks: Fair Oaks Farms, LLC  
7600 95<sup>th</sup> Street  
Pleasant Prairie, Wisconsin 53158  
Attn: President  
  
Phone: (262) 947-0320  
Facsimile: (262) 947-0346

11. Nothing herein contained shall be deemed to be a gift or dedication by either party of their portion of the Easement located on their respective parcels to the general public or to any Governmental Authority, or for public use or purpose or use by any Governmental Authority other than as set forth herein.

12. The rights and responsibilities set forth in this Agreement and the Easement granted under the New CSM shall constitute covenants running with the land and shall bind the real estate described herein and inure to the benefit of and be binding upon the signatories hereto and their respective heirs, successors and assigns. This Agreement shall be recorded.

13. Invalidity of any provision of this Agreement shall in no way affect any of the other provisions hereof and the same shall remain in full force and effect. This Agreement may be executed in counterparts, each of which shall be deemed an original.

14. This agreement shall be governed by the laws of the State of Wisconsin.

(signatures on following page)

IN WITNESS WHEREOF, the parties have executed this Agreement effective as of the date first above written.

**Central Storage & Warehouse Company, a/k/a  
Central Storage & Warehouse Co., Inc.**

**Fair Oaks Farms, LLC**

By: \_\_\_\_\_  
Steve Sharrat, Vice President

By: \_\_\_\_\_  
Joe Benedetti, Vice President

STATE OF WISCONSIN        )  
  ) ss.  
COUNTY OF \_\_\_\_\_ )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2012, by Steve Sharrat, Vice President of Central Storage & Warehouse Company, a/k/a Central Storage & Warehouse Co., Inc., for and on behalf of the corporation.

\_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_

STATE OF WISCONSIN        )  
  ) ss.  
COUNTY OF KENOSHA        )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2012, by Joe Benedetti, Vice President of Fair Oaks Farms, LLC, for and on behalf of the limited liability company.

\_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_

This instrument was drafted by:  
Robert A. Dudek  
Gonzalez Saggio & Harlan LLP  
111 East Wisconsin Avenue, Suite 1000  
Milwaukee, Wisconsin 53202

**Exhibit A**  
Legal Description of Property of  
Central Storage & Warehouse Co., Inc.



**Exhibit B**  
Legal Description of Property of  
Fair Oaks Farms, LLC

**Exhibit C**  
Access and Fire Lane Site Plan

Consider the request of William and Catherine Wamboldt for a **Lot Line Adjustment** between 11934 28<sup>th</sup> Avenue and 11904 28<sup>th</sup> Avenue.

**Recommendation:**

Plan Commission recommended, at the November 12, 2012 meeting, that the Village Board approve the **Lot Line Adjustment** subject to the comments and conditions of the November 19, 2012 Village Staff Report.

## **VILLAGE STAFF REPORT OF NOVEMBER 19, 2012**

Consider the request of William and Catherine Wamboldt for a **Lot Line Adjustment** between 11934 28<sup>th</sup> Avenue and 11904 28<sup>th</sup> Avenue.

*The petitioners are requesting to adjust the lot lines between 11934 28<sup>th</sup> Avenue (Tax Parcel Number 92-4-122-361-0306) owned by William and Catherine Wamboldt and 11904 28<sup>th</sup> Avenue (Tax Parcel Number 92-4-122-362-0012) owned by Erika H. Willkomm Revocable Trust. The proposed Lot Line Adjustment is to adjust the common lot line (north side of 11934 28<sup>th</sup> Avenue by adding (73,686 square feet) to the property at 11904 28<sup>th</sup> Avenue.*

The property at 11934 28<sup>th</sup> Avenue is zoned R-4 and will be over 3.5 acres and the wooded property at 11904 28<sup>th</sup> Avenue is zoned C-2, Upland Resource Conservancy District and will be over 9.5 acres. Both lots after the Lot Line Adjustment, exceed the minimum lot area requirements of the zoning districts they are located.

The existing buildings on the properties will remain conforming with the proposed Lot Line Adjustment and comply with the requirements set forth in the Village Zoning Ordinance and Land Division and Development Control Ordinance.

Plan Commission recommended, at the November 12, 2012 meeting, that the Village Board approve the Lot Line Adjustment subject to the petitioner recording the proper transfer documents with the Plat of Survey for the Lot Line Adjustment as an Exhibit with the Kenosha County Register of Deeds Office within 30 days of final Village approval.

RECEIVED  
OCT 26 2012

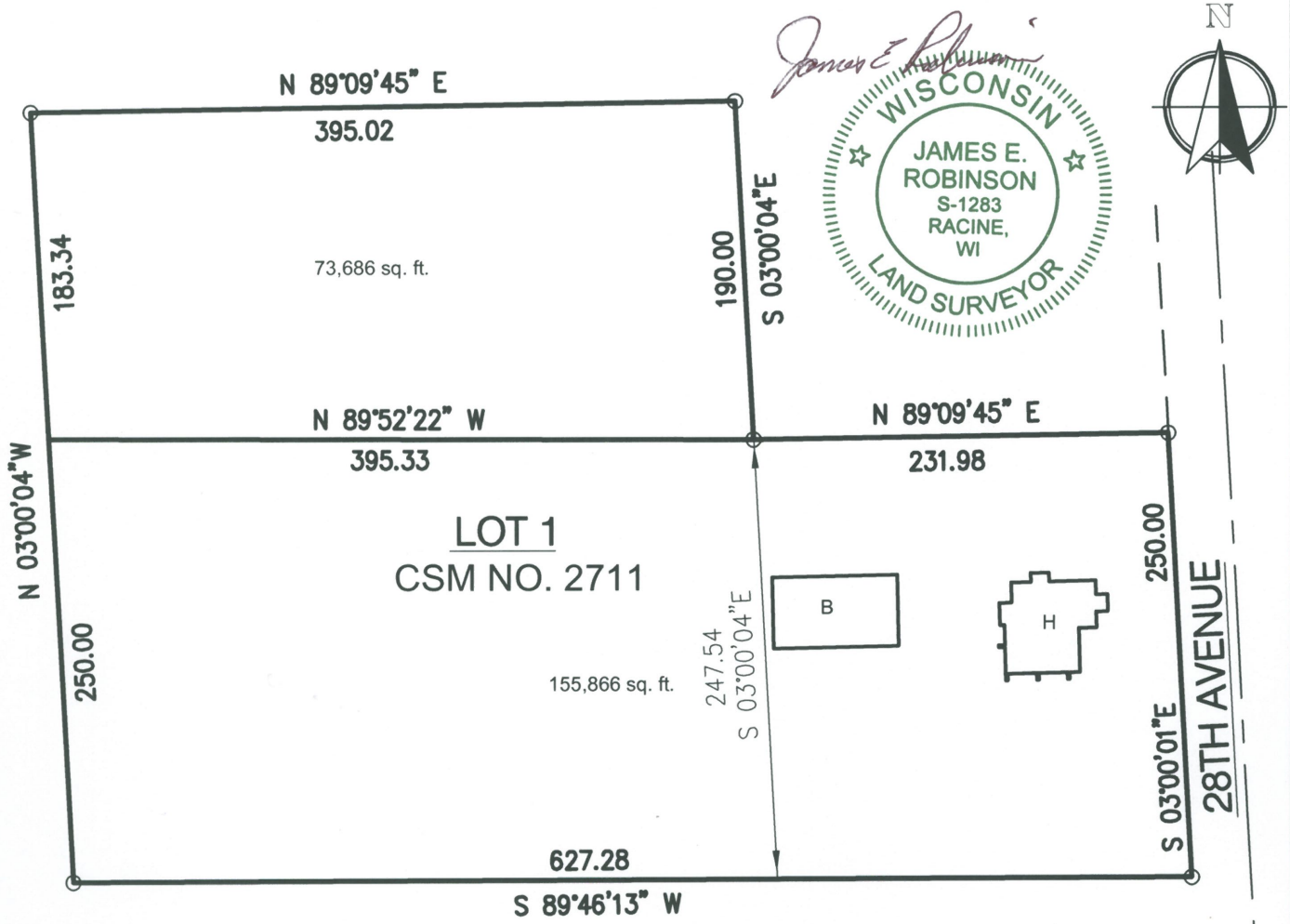
BY: \_\_\_\_\_

WE ARE REQUESTING APPROVAL TO SELL A  
PORTION OF OUR NEWLY PURCHASED PROPERTY AT  
11934-28<sup>th</sup> AVE. TO OUR NEIGHBOR MICHAEL  
WILLKOMM. THE 73,686 SQ. FT. OF ACREAGE WILL  
BE ADDED TO MR. WILLKOMM'S PARCEL #  
92-4-122-362-0012. A DRAWING AND LEGAL  
DESCRIPTION IS ATTACHED.

Bill & Cathy Dumbold  
10-26-2012

W220 NIPPERSINK RD  
GENOA CITY, WI 53128  
262-279-9810 (hm)

**DRAWING AND DESCRIPTION FOR** Bill and Cathy Wamboldt of lands to detached from that part of Lot 1 of Certified Survey Map Number 2711, as recorded in Document Number 1685242, in the Office of the Register of Deeds for Kenosha County Wisconsin and being in the Northeast 1/4 of Section 36, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin and described as follows: Begin at the Northwest corner of Lot 1, said CSM; run thence N89°09'45"E 395.02 feet along the North line of Lot 1; thence S03°00'04"E 190.00 feet; thence N89°52'22"W 395.33 feet to the West line of said Lot 1; thence N03°00'04"W 183.34 feet along said West line to the point of beginning. Said lands to be added to Parcel 92-4-122-362-0012



This Drawing and description for lot line adjustment is hereby submitted to and approved by the Village Board of the Village of Pleasant Prairie as being in compliance with the Village Land Division and Development Control Ordinance on this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

Plan Commission Chairman \_\_\_\_\_  
 Thomas W. Terwall, Chairman

Village President \_\_\_\_\_  
 John P. Steinbrink

Village Clerk \_\_\_\_\_  
 Jane M. Romanowski

- LEGEND**
- = SET 1" IRON PIPE
  - = IRON STAKE FOUND
  - ⊙ = P.K. NAIL
  - ⊖ = SET CHISEL "V"

**NOTES**

BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1927.

FIELD WORK --- BY ---  
 DRAWN 10-23-12 BY JER  
 SCALE 1" = 100'  
 SHEET 1 OF 1 SHEETS  
 JOB NO. 2012.0071.02

## ***MEMORANDUM***

TO: Village Board of Trustees

FROM: Jane M. Romanowski  
Village Clerk

DATE: November 14, 2012

RE: DG Hardware (f/k/a Ace Hardware) Christmas Tree License Application

DG Hardware, 4523 - 75<sup>th</sup> Street has submitted an application to sell Christmas trees and wreaths. DG Hardware proposes to place the trees and wreaths in the fenced-in garden center located east of the store, string clear lights in the enclosed area along with the existing exterior lighting and no off-site signage.

The application of DG Hardware is identical to the applications filed since 1998 for this site. The application is in order, and I would recommend this license be granted for the period November 20, 2012 to December 25, 2012 subject to the regulations set forth in Chapter 146 of the Municipal Code.

\* \* \* \* \*

# ***Statewide Services, Inc.***

---

## **Claim Division**

1241 John Q. Hammons Dr.  
P.O. Box 5555  
Madison, WI 53705-0555  
877-204-9712

October 26, 2012

VILLAGE OF PLEASANT PRAIRIE  
ATTN: J ROMANOWSKE AND KATHLEEN GOESSL  
9915 39<sup>TH</sup> AVE  
PLEASANT PRAIRIE WI 53158

RE: Our Claim #: WM000301740048  
Date of Loss: 06/05/2012  
Claimant: PATRICIA CARRIER  
10086 COOPER RD, PLEASANT PRAIRIE WI 53158

Dear Insured:

Statewide Services, Inc. administers the claims for the League of Wisconsin Municipalities Mutual Insurance, which provides the insurance coverage for the Village of Pleasant Prairie. We are in receipt of the above-stated claim, in which the claimant alleges she sustained injuries as a result of the villages negligence.

Our investigation has revealed that the Village of Pleasant Prairie was not negligent or liable for this incident. Therefore, we recommend that the Village of Pleasant Prairie disallow this claim pursuant to the Wisconsin Statute for disallowance of claim 893.80(1g). The disallowance of the claim in this manner will allow us to shorten the statute of limitations period to six months.

Please send your disallowance, on your letterhead, directly to the claimant at the above listed address. This should be sent certified or registered (restricted) mail and must be received by the claimant within 120 days after you received the claim. Please send me a copy of the letter for our file.

If you have any questions, please feel free to contact me. Thank you.

Sincerely,



Joel Meixelsperger  
Casualty Claim Specialist  
Office: 608.828.5792  
Fax: 800.720.3512  
[jmeixelsperger@statewidesvcs.com](mailto:jmeixelsperger@statewidesvcs.com)

CC: R & R Insurance Services



# ***Statewide Services, Inc.***

---

## **Claim Division**

1241 John Q. Hammons Dr.  
P.O. Box 5555  
Madison, WI 53705-0555  
877-204-9712

November 9, 2012

PATRICIA CARRIER  
10086 COOPER RD  
PLEASANT PRAIRIE WI 53158

Regarding: Our Insured: Village of Pleasant Prairie  
Claim No: WM000301740048  
Date/Loss: 06/05/2012

Dear Patricia:

Statewide Services, Inc. administers the claims for the League of Wisconsin Municipalities Mutual Insurance, which provides the insurance coverage for the Village of Pleasant Prairie. We are in receipt of the above-stated claim, in which you allege you sustained injuries as a result of our insured's negligence on June 5, 2012.

Please be advised that we recommended that the Village of Pleasant Prairie disallow your claim. The basis of the denial is that our investigation has found no negligence on the Village of Pleasant Prairie. Therefore, Statewide Services will be unable to pay for your damages.

Sincerely,



Joel Meixelsperger  
Casualty Claim Specialist  
Office: 608.828.5792  
Fax: 800.720.3512  
[jmeixelsperger@statewidesvcs.com](mailto:jmeixelsperger@statewidesvcs.com)

CC: Village of Pleasant Prairie

September 25th, 2012



Attention:  
Mr. Joel Meixelsperger

Statewide Services, Inc.  
Claim Division  
1241 John Q. Hammons Drive  
Madison, WI 53705

Pursuant to Wisconsin Statute 893.80 a claim is hereby made against the Pleasant Prairie RecPlex Center.

Dear Mr. Meixelsperger, Thank you for your letter in response to my accident on June 5th, 2012. Here is the information I wish submit, please contact me for additional information as needed.

Insured: Village of Pleasant Prairie

---

Claim No:WM000301740048

This claim is for:

- A. Past and future pain, suffering and disability
- B. Past and future medical expenses
- C. Past and future wage loss

My address is:

10086 Cooper Rd  
Pleasant Prairie, WI 53158

Sincerely,  
Patti Carrier  
847-567-6054

# ***Statewide Services, Inc.***

---

Claim Division

1241 John Q. Hammons Dr.  
P.O. Box 5555  
Madison, WI 53705-0555  
877-204-9712

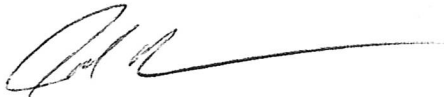
September 17, 2012

PATRICIA CARRIER  
10086 COOPER ROAD  
PLEASANT PRAIRIE, WI 53158

Insured : Village of Pleasant Prairie  
Claimant: Patricia Carrier  
Claim No: WM000301740048  
Date of Loss: 06/05/2012

Statewide Services, Inc. administers the claims for the League of Wisconsin Municipalities Mutual Insurance, which provides the insurance coverage for the Village of Pleasant Prairie. Please be advised that the above-referenced claim file has been transferred to me for further handling. Please forward any future correspondence directly to me, or call me at the number listed below if you have any questions regarding this matter.

Sincerely,



Joel Meixelsperger  
Casualty Claim Specialist  
Office: 608.828.5792  
Fax: 800.720.3512  
[jmeixelsperger@statewidesvcs.com](mailto:jmeixelsperger@statewidesvcs.com)

Cc: Village of Pleasant Prairie  
R & R Insurance Services

August 15, 2012

Aetna Signature Trustmark  
P.O. Box 2942  
Clinton, IA 52733

Claims Division,

This letter is to advise you an accident I had on June 5<sup>th</sup>, 2012; Election Day at the entrance of the Rec Plex in Pleasant Prairie, WI. I exited the Rec Plex to the left area because of the incoming traffic entering centrally. My daughter Breanne Carrier was following me as my left foot caught a deviation in the pavement and I fell to my left side hitting my left shoulder, cheek knee and hand. I heard a crack and had immediate pain from my left side. As I lay there my daughter saw my hand swelling and felt she should get me to St. Catherine's Hospital as soon as possible because my ring was stuck. I do not remember much after that though my daughter states I had an exam and x-rays. It was determined I broke my left ring and pinkie finger and sprang my hand. I was referred to South Shore Orthopedics the next day and the Dr. tried to reset my fingers but because of the break it could not be accomplished. I was asked to come back to see their hand specialist on June 11<sup>th</sup>. Dr. Clark examined my hand and I was scheduled for surgery on June 13<sup>th</sup>. A plate and two screws were placed and as of today I'm still continuing physical therapy and am to see Dr. Clark to verify progress. The physical therapist has discussed the removal of the plate and screw because the range of motion is hindered.

I have been in contact with an adjuster from the liability insurance the Rec Plex has, her name is Ginger Kimpton with Statewide Insurance; Casualty Claims Adjuster 608-828-5515. I have filed a verbal and have until October 5<sup>th</sup>, 2012 to file a written claim. I do not want to do that until I have the release from Dr. Clark.

I can give you additional information regarding future treatment after I see Dr. Clark. I hope this letter gives you the information you asked for to process claim.

Sincerely,

Patricia Carrier  
10086 Cooper Road  
Pleasant Prairie, WI 53158  
Group JY461  
ID 2590-8302  
Spouse Steven L. Carrier

**From:** [Vesna Savic](mailto:Vesna.Savic@statewidesvcs.com)  
**To:** "[gkimpton@statewidesvcs.com](mailto:gkimpton@statewidesvcs.com)"; [lreynolds@statewidesvcs.com](mailto:lreynolds@statewidesvcs.com)  
**Subject:** FW: Injury at the Rec Plex Tuesday June 5th,2012 Claim # WM000301740048  
**Date:** Monday, June 11, 2012 8:55:34 AM  
**Attachments:** [6-5-12 RecPlex fall Carrier .pdf](#)

---

Below is the information submitted by Ms. Carrier.

-----Original Message-----

From: pcarrier@wi.rr.com [<mailto:pcarrier@wi.rr.com>]  
Sent: Thursday, June 07, 2012 4:57 PM  
To: Human Resources  
Cc: RecPlexGuestServices  
Subject: Injury at the Rec Plex Tuesday June 5th,2012

June 7th,2012

Attention:  
Accident Notification Department  
Village Of Pleasant Prairie

Thank you for returning my call regarding the fall I had on Tuesday June 5th, 2012. I arrived at the Rec Plex to vote, upon leaving I caught my left foot on a corner of cement of the entry way. It happened so quickly and I landed on my left side; hand, cheek, knee, shoulder. As I hit the ground I heard cracking in my hand and face. My daughter Breanne Carrier was with me at the time. I only remember the pain and Breanne saying Mom I've got to get you to the ER. We went directly to St. Catherine's Hospital in Pleasant Prairie. I was taken in immediately and was given Vicdin and a series if x-rays were taken; head, neck and hand. The Dr. diagnosed two fractures, my hand was placed in a temporary cast. I was given instructions to see an Orthopedic specialist which I did on Wednesday June 6th, 2012. Dr. Barnhsrdt of South Shore Orthopedics did the exam and explained my options; to try and set the fractures or schedule surgery to place pins and reconstruct the fractures. I had the anesthetic and reset in the office. I had a cast placed and additional x-rays were taken. The reset only accomplished half of what was needed and I was scheduled to come back Monday June 11th, 2012 to see the hand specialist at South Shore Orthopedics. Unfortunately this has been a very painful process and I'm sorry I couldn't get this to you sooner.

Sincerely,

Patricia Carrier  
10086 Cooper Road  
Pleasant Prairie,WI 53158

11-9-54

847-567-6054

Vesna Savic  
Executive Secretary  
Village of Pleasant Prairie  
9915 39th Avenue  
Pleasant Prairie, WI 53158  
(262) 925-6721  
[pleasantprairieonline.com](http://pleasantprairieonline.com)

-----Original Message-----

From: Vesna Savic  
Sent: Friday, June 08, 2012 9:02 AM

To: statewideclaimsreporting@statewidesvcs.com  
Cc: Carol Willke; Chris Finkel  
Subject: FW: Injury at the Rec Plex Tuesday June 5th,2012

Please see attached claim regarding an incident which occurred on Tuesday, June 5, 2012 at the RecPlex. Below is a summary of the incident which Ms. Carrier submitted.

Vesna Savic  
Executive Secretary  
Village of Pleasant Prairie  
9915 39th Avenue  
Pleasant Prairie, WI 53158  
(262) 925-6721  
pleasantprairieonline.com

-----Original Message-----

From: Jane Snell On Behalf Of Human Resources  
Sent: Friday, June 08, 2012 8:02 AM  
To: Mike Pollocoff; Carol Willke; Jane Romanowski  
Cc: Vesna Savic  
Subject: FW: Injury at the Rec Plex Tuesday June 5th,2012

FYI

-----Original Message-----

From: pcarrier@wi.rr.com [<mailto:pcarrier@wi.rr.com>]  
Sent: Thursday, June 07, 2012 4:57 PM  
To: Human Resources  
Cc: RecPlexGuestServices  
Subject: Injury at the Rec Plex Tuesday June 5th,2012

June 7th,2012

Attention:  
Accident Notification Department  
Village Of Pleasant Prairie

Thank you for returning my call regarding the fall I had on Tuesday June 5th, 2012. I arrived at the Rec Plex to vote, upon leaving I caught my left foot on a corner of cement of the entry way. It happened so quickly and I landed on my left side; hand, cheek, knee, shoulder. As I hit the ground I heard cracking in my hand and face. My daughter Breanne Carrier was with me at the time. I only remember the pain and Breanne saying Mom I've got to get you to the ER. We went directly to St. Catherine's Hospital in Pleasant Prairie. I was taken in immediately and was given Vicdin and a series if x-rays were taken; head, neck and hand. The Dr. diagnosed two fractures, my hand was placed in a temporary cast. I was given instructions to see an Orthopedic specialist which I did on Wednesday June 6th, 2012. Dr. Barnhsrdt of South Shore Orthopedics did the exam and explained my options; to try and set the fractures or schedule surgery to place pins and reconstruct the fractures. I had the anesthetic and reset in the office. I had a cast placed and additional x-rays were taken. The reset only accomplished half of what was needed and I was scheduled to come back Monday June 11th, 2012 to see the hand specialist at South Shore Orthopedics. Unfortunately this has been a very painful process and I'm sorry I couldn't get this to you sooner.

Sincerely,

Patricia Carrier  
10086 Cooper Road  
Pleasant Prairie,WI 53158

11-9-54

847-567-6054